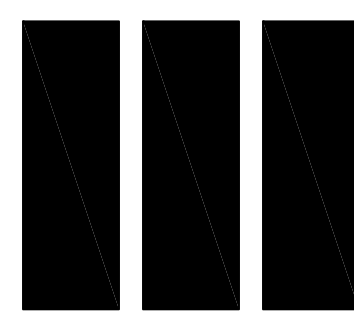




AZUL

TRIANGLE PARCEL, STUART, FLORIDA



THE MARTIN ARCHITECTURAL GROUP, P.C.
Coconut Creek, Florida

PERMIT SET
October 05, 2017

NOT FOR CONSTRUCTION

OWNER: Timothy L. Hernandez, Principal
New Urban Communities
398 NE 6th Avenue
Delray Beach, FL 33483
(561) 279-8706 x 201

ARCHITECT: THE MARTIN ARCHITECTURAL GROUP, P.C.
6810 Lyons Technology Circle, Suite 185
Coconut Creek, FL 33073
(954) 428-1618
(215) 665-1080 (PA Office)

STRUCTURAL ENGINEER: Quantum Engineering Associates Inc
3001 PGA Boulevard, Suite 203
Palm Beach Gardens, FL 33410
(561) 202-6994

MECHANICAL ENGINEER: FORMICA & ASSOCIATES Inc.
3500 NW Boca Raton Blvd #711
Boca Raton, FL 33431
(561) 368-3611 ext. 226

CIVIL ENGINEER: CAPTEC Engineering, Inc.
301 NW Flagler Avenue
Stuart, FL 34994
(772) 692-4344

NO.	REVISION	DATE
1.	OWNER SET	07/06/17
2.	PERMIT SET	10/03/17

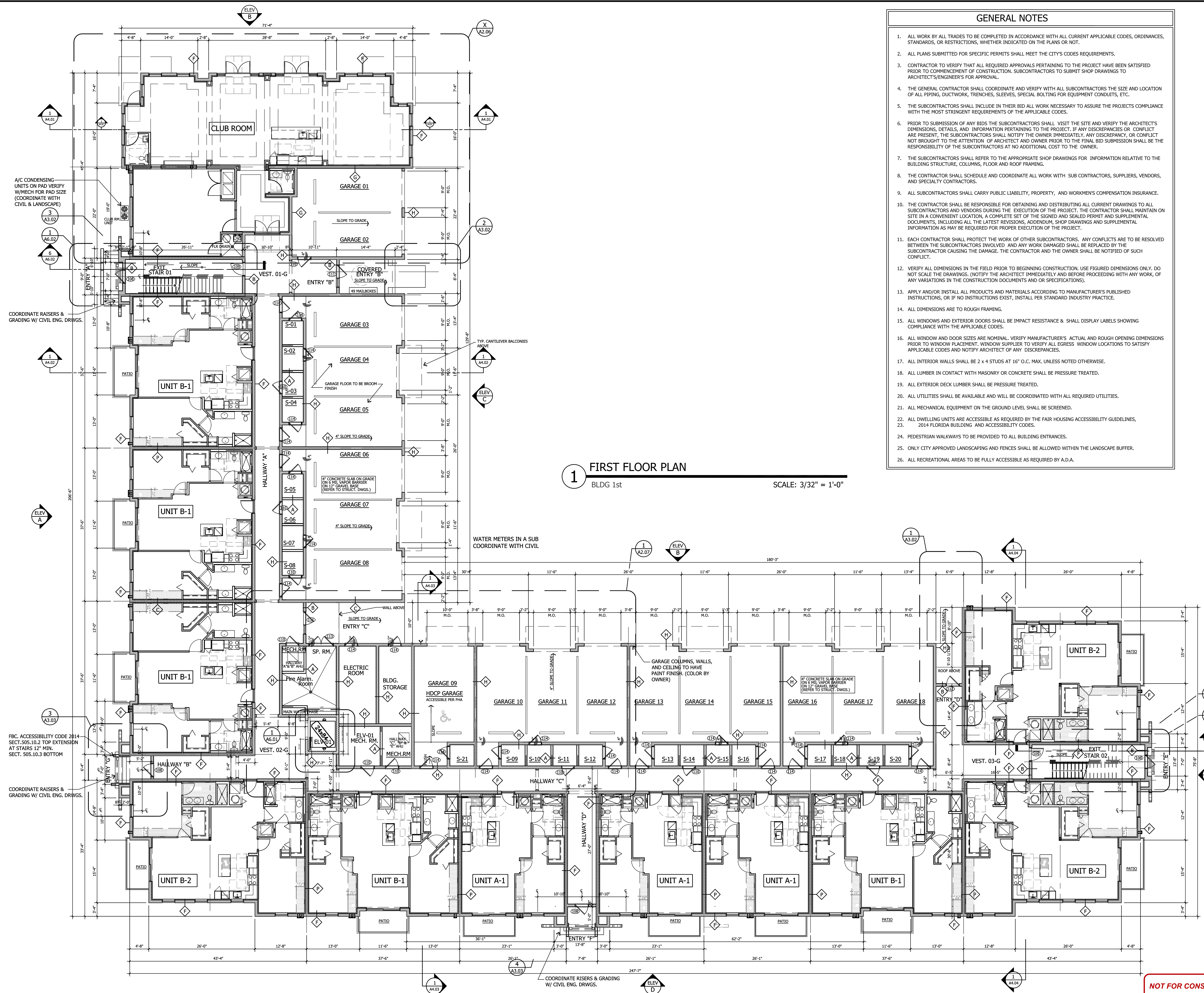


AZUL APARTMENTS
TRIANGLE PARCEL, STUART, FLORIDA



1856-01

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1 FIRST FLOOR PLAN
 BLDG 1st
 SCALE: 3/32" = 1'-0"

- ### GENERAL NOTES
1. ALL WORK BY ALL TRADES TO BE COMPLETED IN ACCORDANCE WITH ALL CURRENT APPLICABLE CODES, ORDINANCES, STANDARDS, OR RESTRICTIONS, WHETHER INDICATED ON THE PLANS OR NOT.
 2. ALL PLANS SUBMITTED FOR SPECIFIC PERMITS SHALL MEET THE CITY'S CODES REQUIREMENTS.
 3. CONTRACTOR TO VERIFY THAT ALL REQUIRED APPROVALS PERTAINING TO THE PROJECT HAVE BEEN SATISFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION. SUBCONTRACTORS TO SUBMIT SHOP DRAWINGS TO ARCHITECT/ENGINEER'S FOR APPROVAL.
 4. THE GENERAL CONTRACTOR SHALL COORDINATE AND VERIFY WITH ALL SUBCONTRACTORS THE SIZE AND LOCATION OF ALL PIPING, DUCTWORK, TRENCHES, SLEEVES, SPECIAL BOLTING FOR EQUIPMENT CONDUITS, ETC.
 5. THE SUBCONTRACTORS SHALL INCLUDE IN THEIR BID ALL WORK NECESSARY TO ASSURE THE PROJECTS COMPLIANCE WITH THE MOST STRINGENT REQUIREMENTS OF THE APPLICABLE CODES.
 6. PRIOR TO SUBMISSION OF ANY BIDS THE SUBCONTRACTORS SHALL VISIT THE SITE AND VERIFY THE ARCHITECT'S DIMENSIONS, DETAILS, AND INFORMATION PERTAINING TO THE PROJECT. IF ANY DISCREPANCIES OR CONFLICT ARE PRESENT, THE SUBCONTRACTORS SHALL NOTIFY THE OWNER IMMEDIATELY. ANY DISCREPANCY, OR CONFLICT NOT BROUGHT TO THE ATTENTION OF ARCHITECT AND OWNER PRIOR TO THE FINAL BID SUBMISSION SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTORS AT NO ADDITIONAL COST TO THE OWNER.
 7. THE SUBCONTRACTORS SHALL REFER TO THE APPROPRIATE SHOP DRAWINGS FOR INFORMATION RELATIVE TO THE BUILDING STRUCTURE, COLUMNS, FLOOR AND ROOF FRAMING.
 8. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL WORK WITH SUB CONTRACTORS, SUPPLIERS, VENDORS, AND SPECIALTY CONTRACTORS.
 9. ALL SUBCONTRACTORS SHALL CARRY PUBLIC LIABILITY, PROPERTY, AND WORKMENS COMPENSATION INSURANCE.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND DISTRIBUTING ALL CURRENT DRAWINGS TO ALL SUBCONTRACTORS AND VENDORS DURING THE EXECUTION OF THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ON SITE IN A CONVENIENT LOCATION, A COMPLETE SET OF THE SIGNED AND SEALED PERMIT AND SUPPLEMENTAL DOCUMENTS, INCLUDING ALL THE LATEST REVISIONS, ADDENDUM, SHOP DRAWINGS AND SUPPLEMENTAL INFORMATION AS MAY BE REQUIRED FOR PROPER EXECUTION OF THE PROJECT.
 11. EACH CONTRACTOR SHALL PROTECT THE WORK OF OTHER SUBCONTRACTORS. ANY CONFLICTS ARE TO BE RESOLVED BETWEEN THE SUBCONTRACTORS INVOLVED AND ANY WORK DAMAGED SHALL BE REPLACED BY THE SUBCONTRACTOR CAUSING THE DAMAGE. THE CONTRACTOR AND THE OWNER SHALL BE NOTIFIED OF SUCH CONFLICT.
 12. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. USE FIGURED DIMENSIONS ONLY. DO NOT SCALE THE DRAWINGS. (NOTIFY THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH ANY WORK, OF ANY VARIATIONS IN THE CONSTRUCTION DOCUMENTS AND OR SPECIFICATIONS).
 13. APPLY AND/OR INSTALL ALL PRODUCTS AND MATERIALS ACCORDING TO MANUFACTURER'S PUBLISHED INSTRUCTIONS, OR IF NO INSTRUCTIONS EXIST, INSTALL PER STANDARD INDUSTRY PRACTICE.
 14. ALL DIMENSIONS ARE TO ROUGH FRAMING.
 15. ALL WINDOWS AND EXTERIOR DOORS SHALL BE IMPACT RESISTANCE & SHALL DISPLAY LABELS SHOWING COMPLIANCE WITH THE APPLICABLE CODES.
 16. ALL WINDOW AND DOOR SIZES ARE NOMINAL. VERIFY MANUFACTURER'S ACTUAL AND ROUGH OPENING DIMENSIONS PRIOR TO WINDOW PLACEMENT. WINDOW SUPPLIER TO VERIFY ALL EGRESS WINDOW LOCATIONS TO SATISFY APPLICABLE CODES AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 17. ALL INTERIOR WALLS SHALL BE 2 x 4 STUDS AT 16" O.C. MAX. UNLESS NOTED OTHERWISE.
 18. ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
 19. ALL EXTERIOR DECK LUMBER SHALL BE PRESSURE TREATED.
 20. ALL UTILITIES SHALL BE AVAILABLE AND WILL BE COORDINATED WITH ALL REQUIRED UTILITIES.
 21. ALL MECHANICAL EQUIPMENT ON THE GROUND LEVEL SHALL BE SCREENED.
 22. ALL DWELLING UNITS ARE ACCESSIBLE AS REQUIRED BY THE FAIR HOUSING ACCESSIBILITY GUIDELINES, 2014 FLORIDA BUILDING AND ACCESSIBILITY CODES.
 23. PEDESTRIAN WALKWAYS TO BE PROVIDED TO ALL BUILDING ENTRANCES.
 24. ONLY CITY APPROVED LANDSCAPING AND FENCES SHALL BE ALLOWED WITHIN THE LANDSCAPE BUFFER.
 25. ALL RECREATIONAL AREAS TO BE FULLY ACCESSIBLE AS REQUIRED BY A.D.A.

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THE MARTIN ARCHITECTURAL GROUP, P.C.
 ARCHITECTS AND LAND PLANNERS
 A PROFESSIONAL CORPORATION
 6810 Lyons Technology Circle, Suite 185, Coconut Creek FL 33073
 P (954) 428-1618 F (954) 428-4416

James M. Rivello & Dominick Ranieri
 P.M.: A. Garda
 DRAWN BY: AG/AP/DR
 PROJECT NO.: 1856-01

NO.	REVISION	DATE
1 <td>PERMIT SET <td>10/05/17 </td></td>	PERMIT SET <td>10/05/17 </td>	10/05/17

FIRST FLOOR PLAN

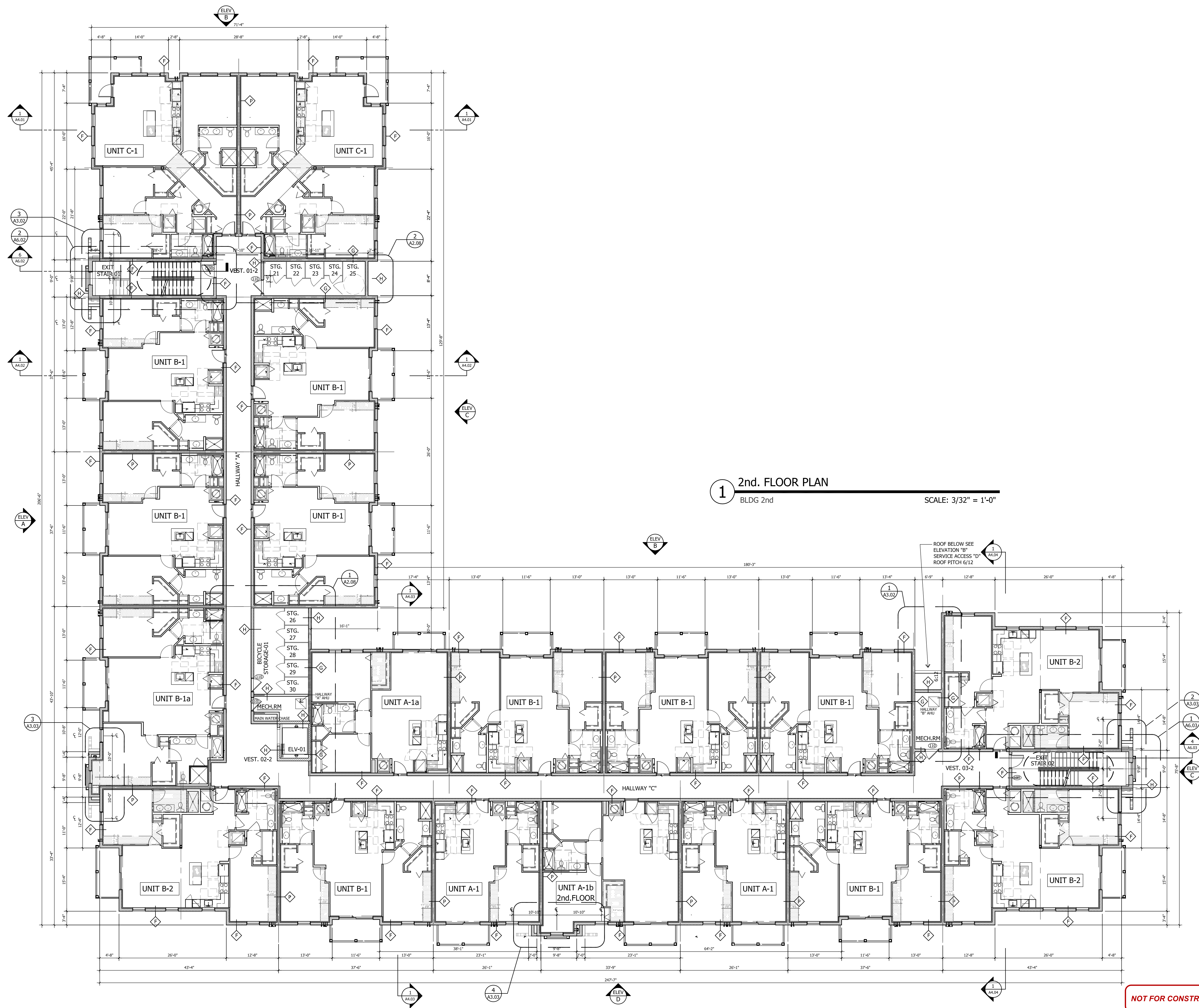
AZUL APARTMENTS
 TRIANGLE PARCEL, STUART, FLORIDA

New Urban Communities

SCALE: AS NOTED
 DATE: 04/03/2017

A2.02

NOT FOR CONSTRUCTION



1 2nd. FLOOR PLAN
 BLDG 2nd SCALE: 3/32" = 1'-0"

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 ARCHITECTS AND LAND PLANNERS
 A PROFESSIONAL CORPORATION
 6810 Lyons Technology Circle, Suite 185, Coconut Creek FL 33073
 P (954) 428-1618 F (954) 428-4416

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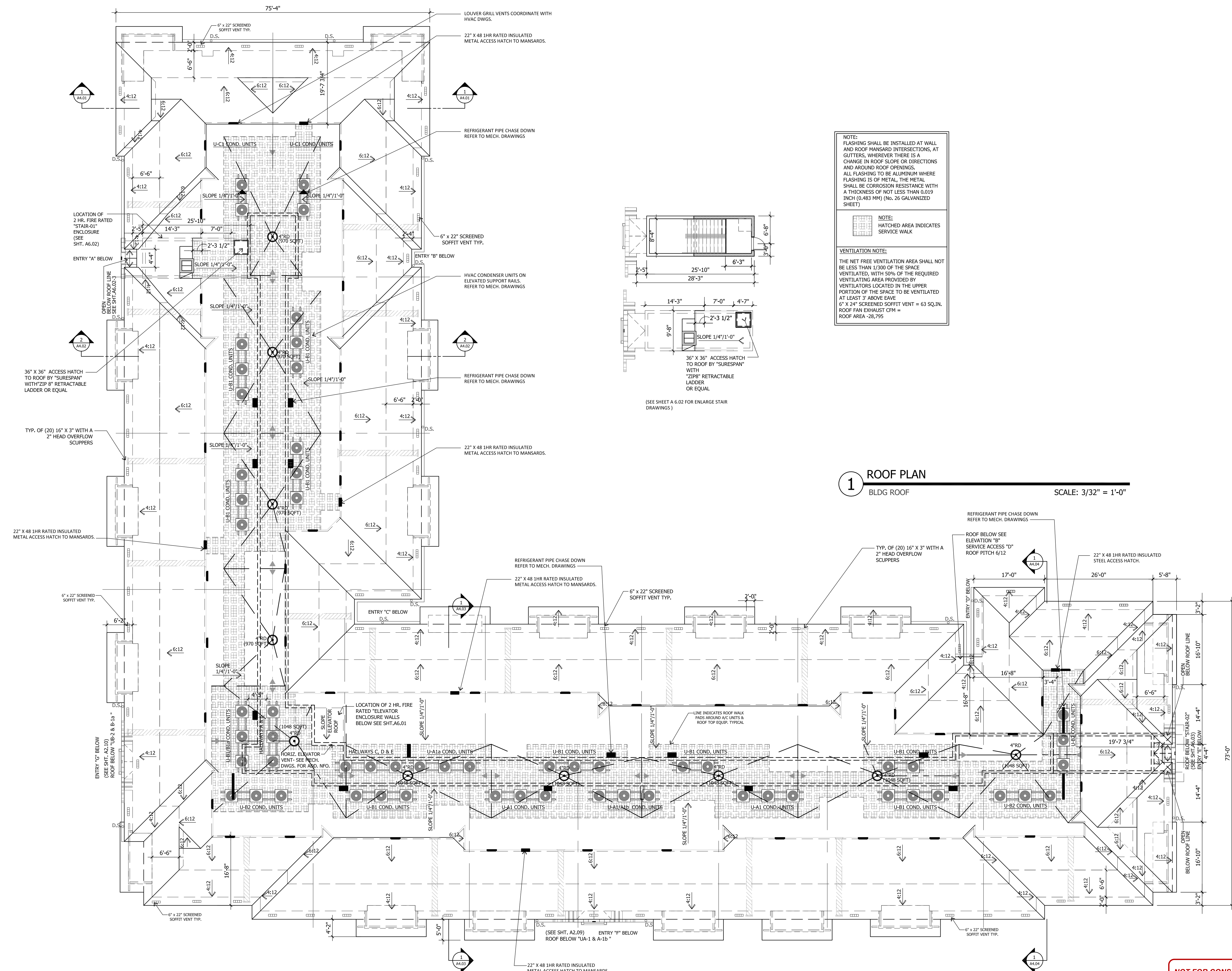
2nd. FLOOR PLAN

AZUL APARTMENTS
 TRIANGLE PARCEL, STUART, FLORIDA

New Urban Communities

SCALE: AS NOTED
 DATE: 04/03/2017

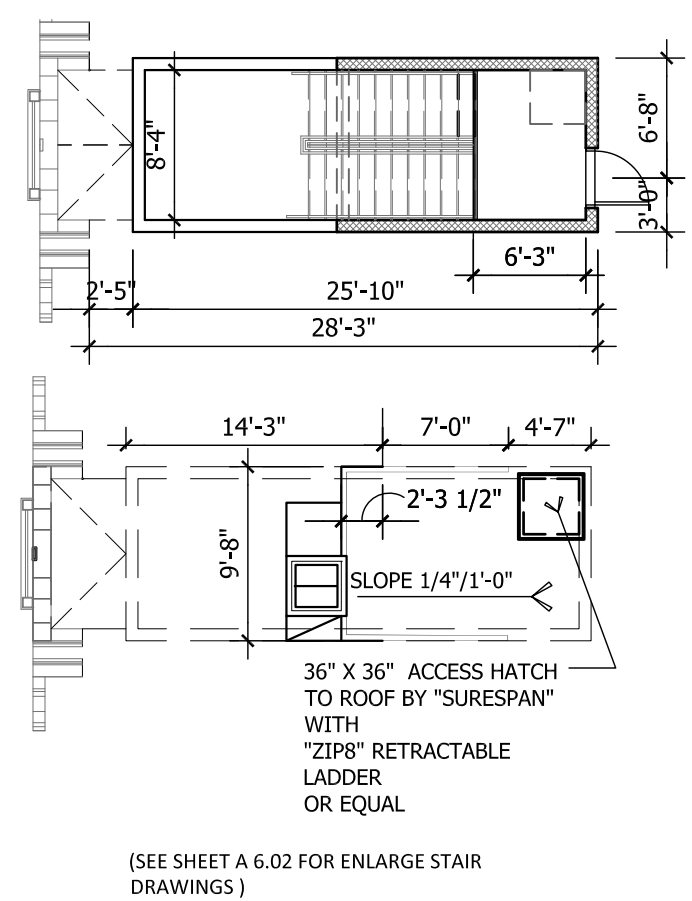
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NOTE:
FLASHING SHALL BE INSTALLED AT WALL AND ROOF MANSARD INTERSECTIONS, AT GUTTERS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTIONS AND AROUND ROOF OPENINGS. ALL FLASHING TO BE ALUMINUM WHERE FLASHING IS OF METAL. THE METAL SHALL BE CORROSION RESISTANCE WITH A THICKNESS OF NOT LESS THAN 0.019 INCH (0.483 MM) (No. 26 GALVANIZED SHEET)

NOTE:
HATCHED AREA INDICATES SERVICE WALK

VENTILATION NOTE:
THE NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/300 OF THE SPACE VENTILATED, WITH 50% OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3' ABOVE EAVE
6" X 24" SCREENED SOFFIT VENT = 63 SQ. IN.
ROOF FAN EXHAUST CFM = ROOF AREA - 28,795



1 ROOF PLAN
BLDG ROOF SCALE: 3/32" = 1'-0"

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ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION
6810 Lyons Technology Circle, Suite 185, Coconut Creek FL 33073
P (954) 428-1618 F (954) 428-4416

P.A.: James M. Rivello & Dominick Ranieri
P.M.: A. Garcia
DRAWN BY: AG/AP/DR
PROJECT NO.: 1856-01

NO.	REVISION	DATE
1	PERMIT SET	10/05/17

ROOF PLAN

AZUL APARTMENTS
TRIANGLE PARCEL, STUART, FLORIDA

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DATE: 04/03/2017

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NO.	REVISION	DATE
1	PERMIT SET	10/05/17

ENLARGE CLUB ROOM

AZUL APARTMENTS
TRIANGLE PARCEL, STUART, FLORIDA

New Urban Communities

SCALE: AS NOTED
DATE: 04/03/2017

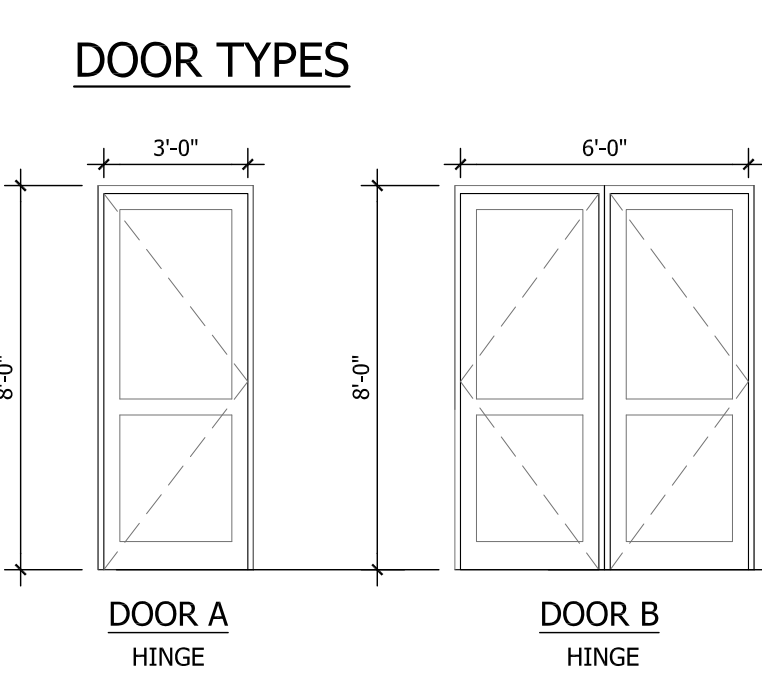
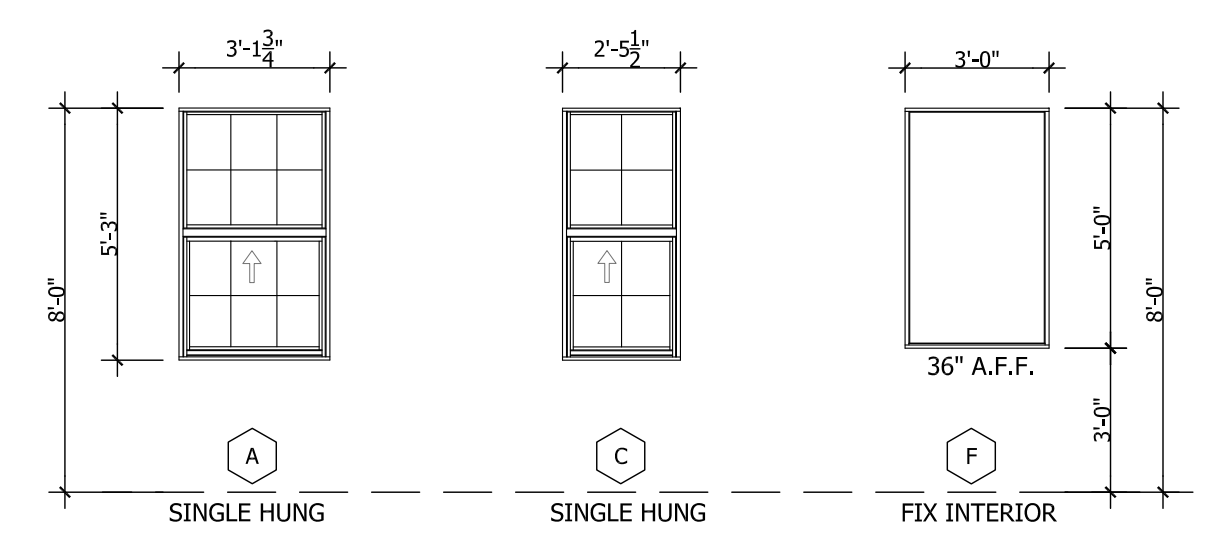
- ### # CLUB ROOM KEY-NOTES
- 5 SHELVES LAMINATED OR EQUAL SHELVES
 - AIR HANDLER UNIT
 - REFRIGERATOR
 - COUNTERTOP +34" A.F.F.
 - UNDERCOUNTER MICROWAVE OVEN
 - LINE OF CABINETS ABOVE
 - S.S. SINK W/ GARBAGE DISPOSAL
 - DISHWASHER
 - 1/2" METAL HANDICAP THRESHOLD
 - VANITY (SEE UNIT PLAN)
 - MIRROR (MATCH LENGTH OF VANITY)
 - E.W.H.
 - SERVICE SINK
 - SERVICE ISLAND (SEE KITCHEN CABINETS SPECS)
 - DROP CEILING (REFER TO SHT. A7.03, DWG. 8 COORDINATE WITH INTERIOR DESIGNER DWGS.)
 - JAN. CL. & BATHROOMS EXHAUST DUCT (REF. TO MECH DRAWINGS FOR INFO.)

WINDOW SCHEDULE

MARK	TYPE	UNIT SIZE	FINISH	SPECIALTIES	FRAME	MAX. POS.	MAX. NEG.	N.O.A.	REMARKS
A	SH	37 1/4" x 63"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+45.08	-59.56	10-1000001 APPROVAL DATE: DEC. 15, 2016 EXPIRATION DATE: DEC. 27, 2021	LAWSON INDUSTRIES SERIE 7700-EGRESS
C	SH	29 1/2" x 63"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+46.30	-62.00	10-1000001 APPROVAL DATE: DEC. 15, 2016 EXPIRATION DATE: DEC. 27, 2021	LAWSON INDUSTRIES SERIE 7700
F	FIX	36" x 60"	ESP. WHITE	-	ALUM.	-	-	-	-

NOTES:

- SEE GENERAL PROTECTION NOTES FOR PROTECTION FOR IMPACTS FROM WIND, BORNE DEBRIS.
- HIGH IMPACT GLAZING FOR ALL WINDOWS SHALL BE D.S.B. VERIFY REQUIRED INCREASES IN STRENGTH DUE TO WINDOW AREA AND/OR HEIGHT ABOVE GRADE. WINDOW TINT AS SELECTED BY OWNER. VALUES FOR GLAZING U=0.66 SHGC=0.25
- REQUIRED EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SF. 24" NET CLEAR OPENING HEIGHT AND 20" MIN NET CLEAR OPENING WIDTH, COMPLY WITH FBC 2014
- WINDOWS SHALL COMPLY WITH PRODUCT APPROVAL DATA
- FIELD VERIFY ALL WINDOW SIZES AND OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
- SEC.1013.8 WINDOW SILLS, WHERE WINDOW SILLS ARE BELOW THE REQUIRED 36" ABOVE FINISHED FLOOR SURFACE OF A ROOM IN WHICH THE WINDOW IS LOCATED, PROVIDE FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090.
- WINDOWS SHALL BE INSTALLED AND FLASHED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. WRITTEN INSTALLATION INSTRUCTIONS SHALL BE PROVIDED BY MANUFACTURER FOR EACH WINDOW.



DOOR / HARDWARE SCHEDULE - CLUB ROOM

MARK	DOOR TYPE	DOOR SIZE	DOOR THICK.	DOOR CONST.	FINISH	FRAME CONST.	MAX. POS.	MAX. NEG.	HARDWARE GROUP	REMARKS
101	B	6'-0" X 8'-0"	1 3/4"	AG	PAINT	AL	+40.45	-44.37	HW-1	STOREFRONT * TUBELITE NOTE OR EQUAL
102	A	3'-0" X 8'-0"	1 3/4"	HM	PAINT	MTL	-	-	HW-7	1 H. RATED- INSULATED
103	B	6'-0" X 8'-0"	1 3/4"	HM	PAINT	MTL	-	-	HW-7	1 H. RATED- INSULATED
104	A	3'-0" X 8'-0"	1 3/4"	HM	PAINT	MTL	-	-	HW-2	
105	A	3'-0" X 8'-0"	1 3/4"	AG	PAINT	AL	+44.22	-57.83	HW-1	STOREFRONT * TUBELITE NOTE OR EQUAL
106	B	10'-4" X 8'-0"	1 3/4"	AG	PAINT	AL	+40.05	-43.97	HW-1	STOREFRONT * TUBELITE NOTE OR EQUAL
107	A	3'-0" X 8'-0"	1 3/4"	AG	PAINT	AL	+41.46	-45.38	HW-2	STOREFRONT * TUBELITE NOTE OR EQUAL STOREFRONT AT FITNESS ENTRANCE ROOM

*HARDWARE SETS

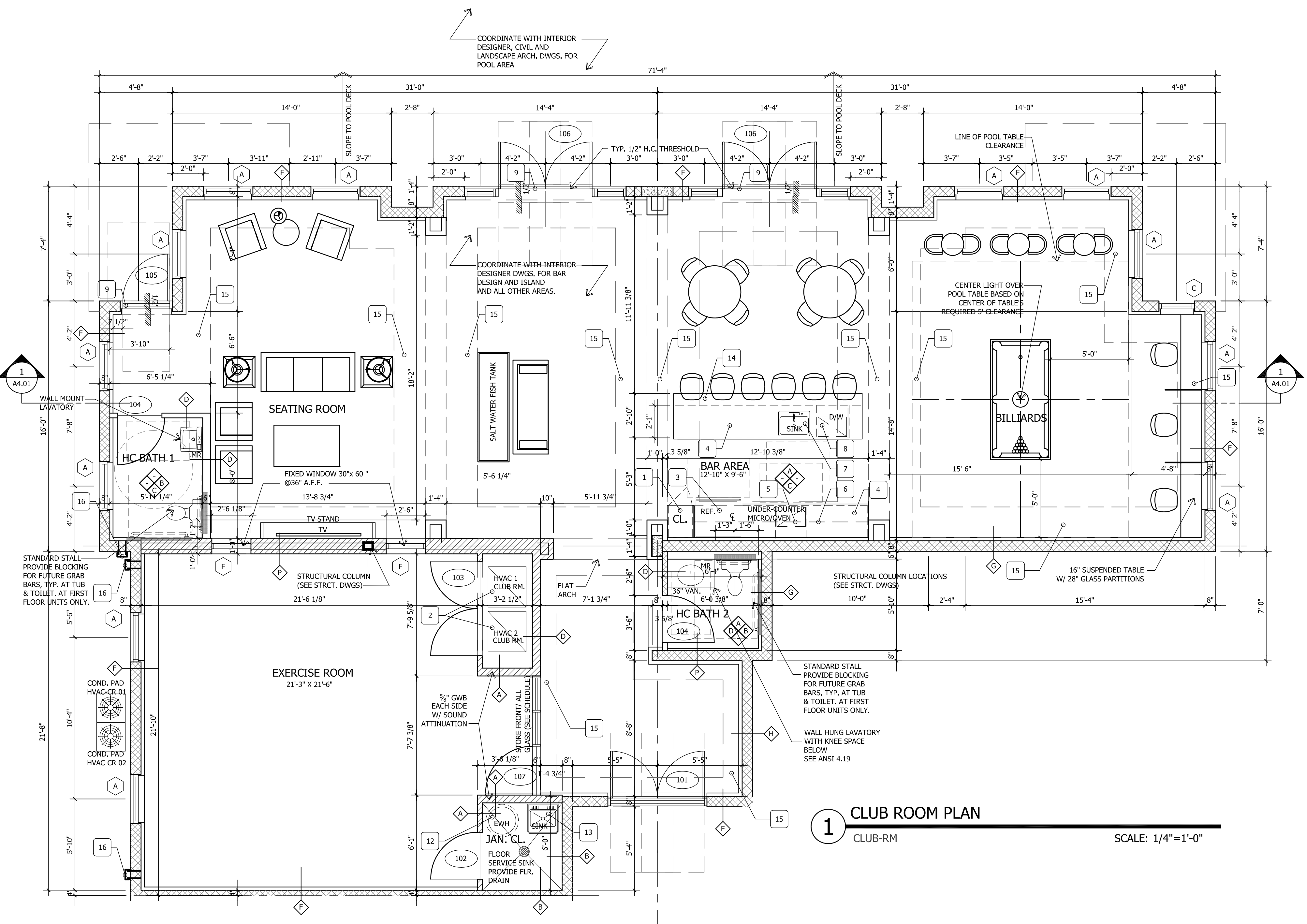
HW-1	PANIC HARDWARE, SELF CLOSER, ACCESSIBLE THRESHOLD, HINGES W/CARD READER
HW-2	PRIVACY TYPE MORTISE LOCKSET, CLOSER, ACCESSIBLE THRESHOLD, SWEEP, HINGES
HW-3	CLASSROOM TYPE MORTISE LOCKSET, CLOSER, SOUND GASKETING, SWEEP, HINGES
HW-4	CLASSROOM TYPE MORTISE LOCKSET, CLOSER, COORDINATOR, SOUND GASKETING, SWEEP, HINGES
HW-5	DOOR PULL, PUSH PLATE, KICK PLATE, CLOSER ACCESSIBLE THRESHOLD, HINGES
HW-6	OFFICE TYPE MORTISE LOCKSET, DOOR SILENCERS, HINGES
HW-7	STORAGE TYPE LOCKSET, GASKETING, HINGES
HW-8	BI-FOLD DOOR HARDWARE
HW-9	AS SPECIFIED BY INTERIOR DESIGNER. DOOR MUST HAVE ACCESSIBLE THRESHOLD AND HARDWARE
HW-10	BASED ON FINAL DOOR SELECTION BY OWNER. DOOR MUST HAVE ACCESSIBLE THRESHOLD AND HARDWARE AND MUST BE LOCKABLE

DOOR CONSTRUCTION KEY		FRAME CONSTRUCTION KEY	
EM	EXTERIOR METAL	WD	WOOD
HM	HOLLOW METAL	MTL	METAL FRAME
SR	WOOD STILE AND RAIL	AL	ALUMINIUM
AG	ALUMINIUM / GLASS	TG	TEMPERED GLAZING

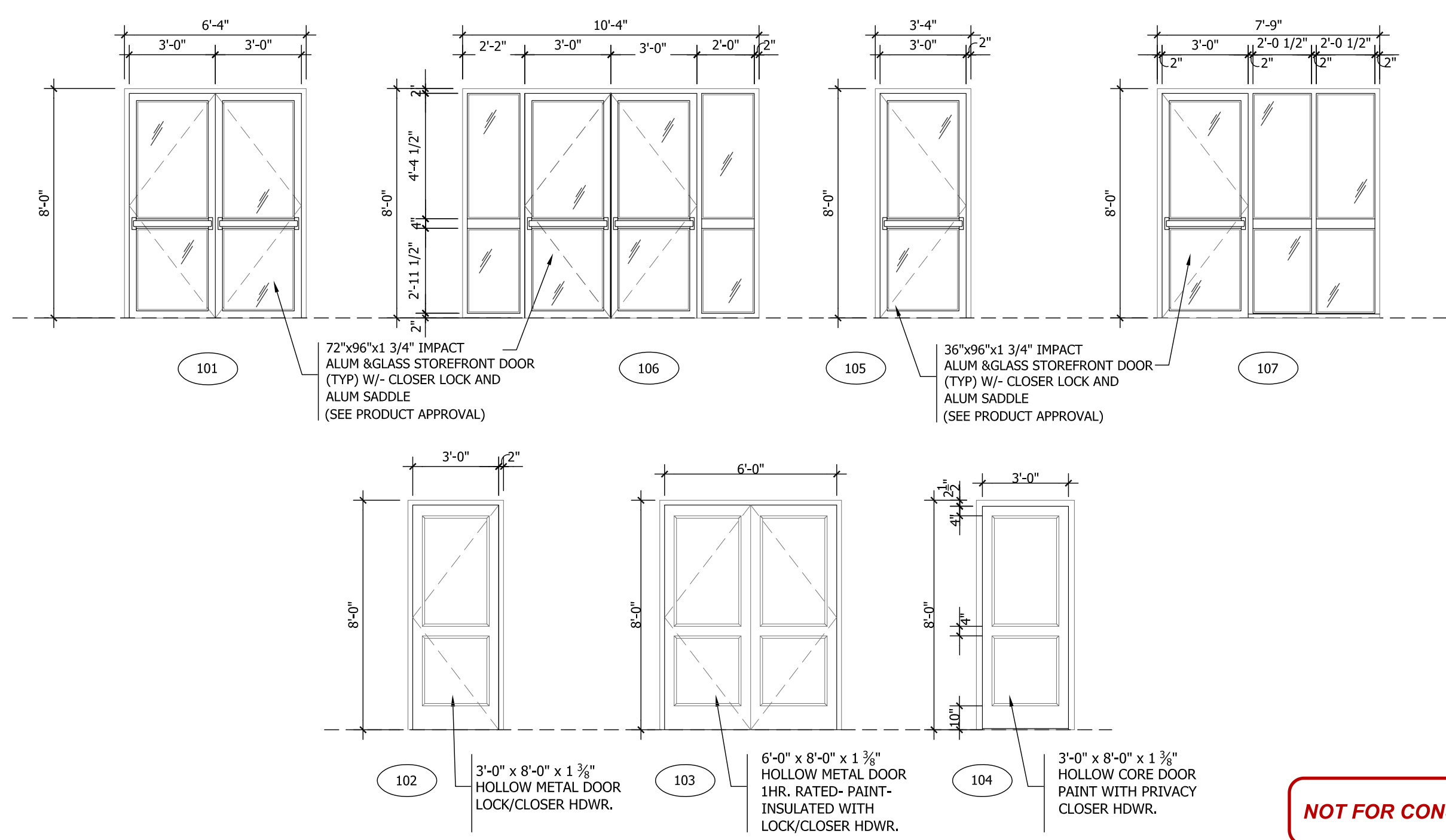
DOOR & FRAME NOTES:

- ALL DOOR HARDWARE SHALL MEET ADA REQUIREMENTS, FOR: DOOR HARDWARE AND OPERATION
- PACK OUT BEHIND DOOR TRIM (DUE TO HM JAMBS THAT WRAP GWB).
- ADD PLINTH BLOCKS AT BASE OF DOORS AND CASED OPENINGS.
- PROVIDE 1x4 TRIM AT ALL DOORS AND CASED OPENINGS.
- ALL EXTERIOR DOORS AND SIDELITES TO HAVE 1" INSULATED GLAZING.
- ALL GLAZING IN DOORS, SIDELITES AND VISION PANELS TO BE TEMPERED GLASS
- TUBELITE OR EQUAL E 3400 HURRICANE IMPACT SERIES, FORCE RESISTANT STORM STOREFRONT WET GLAZE, NEW THERMAL

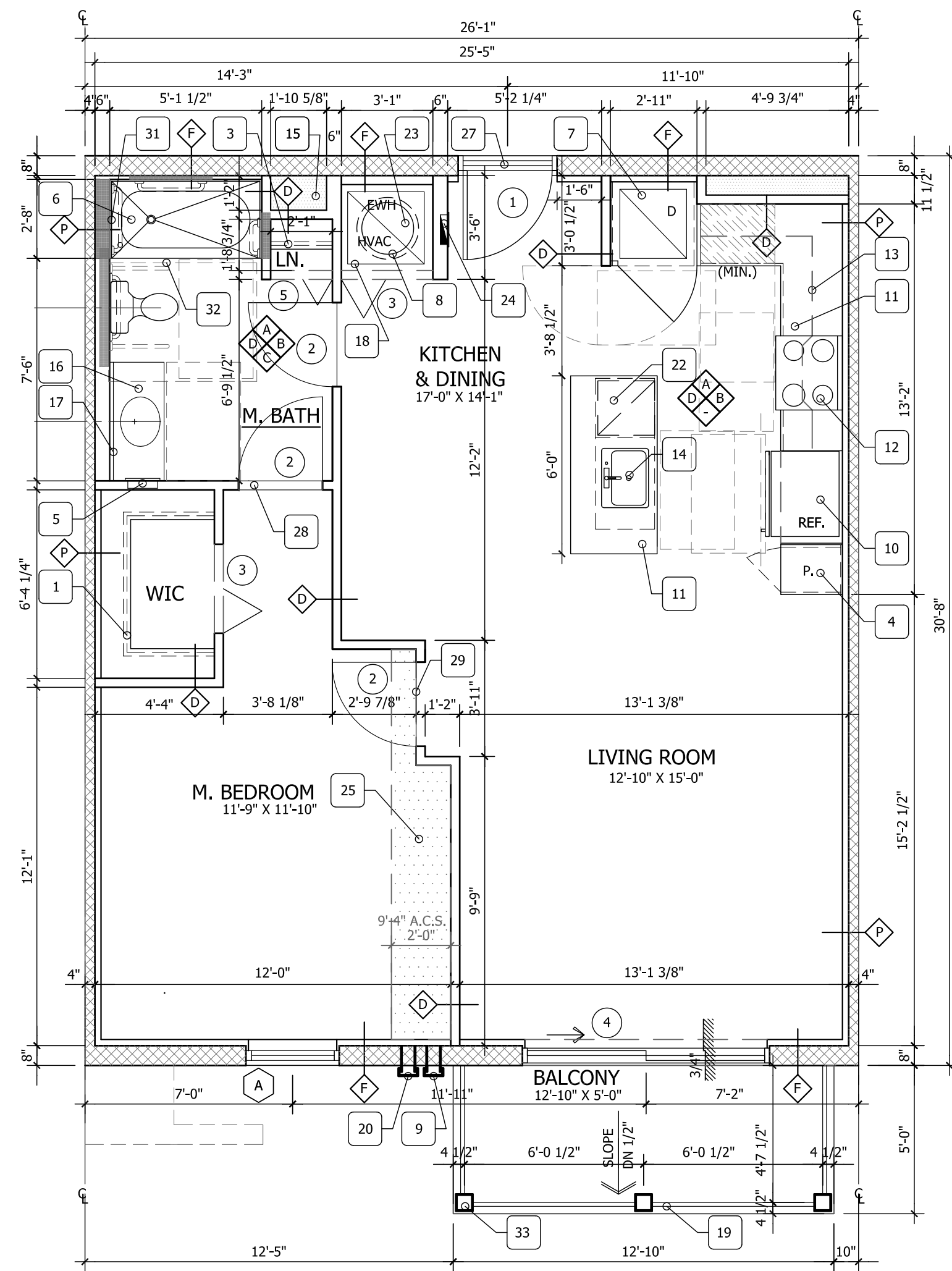
*HARDWARE SETS ARE FOR PRICING AND PERMITTING USE ONLY. SUBMIT FINAL HARDWARE GROUPS TO ARCHITECT FOR REVIEW. FINAL HARDWARE SELECTION BY OWNER.



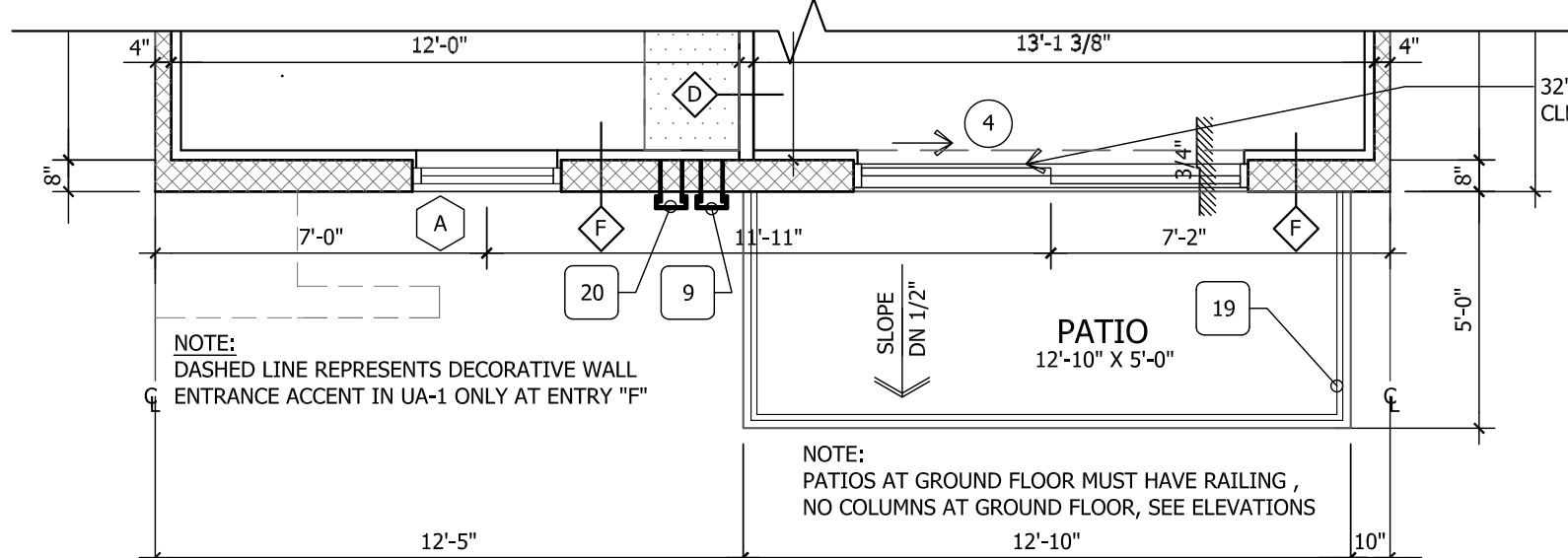
1 CLUB ROOM PLAN
CLUB-RM
SCALE: 1/4"=1'-0"



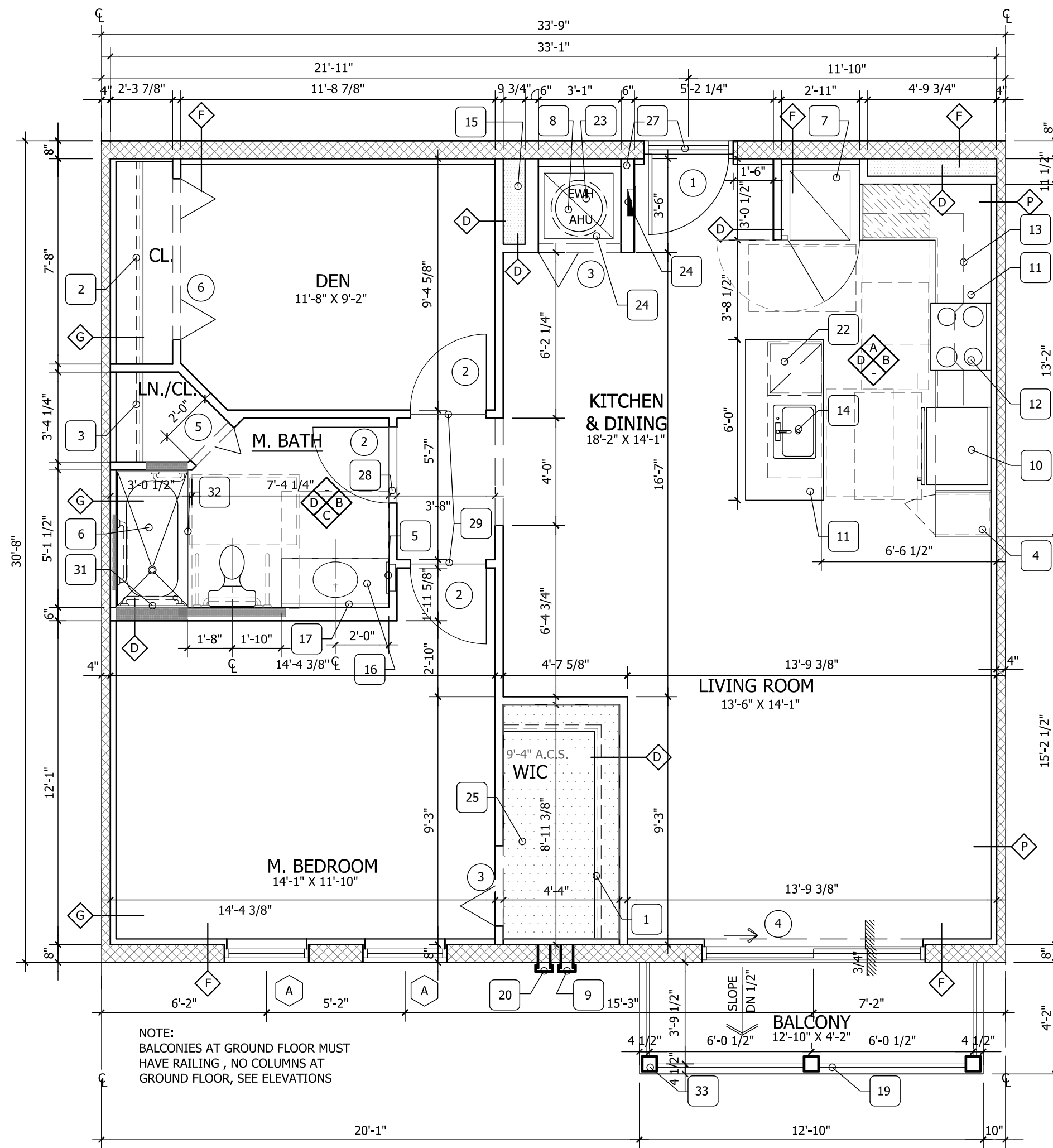
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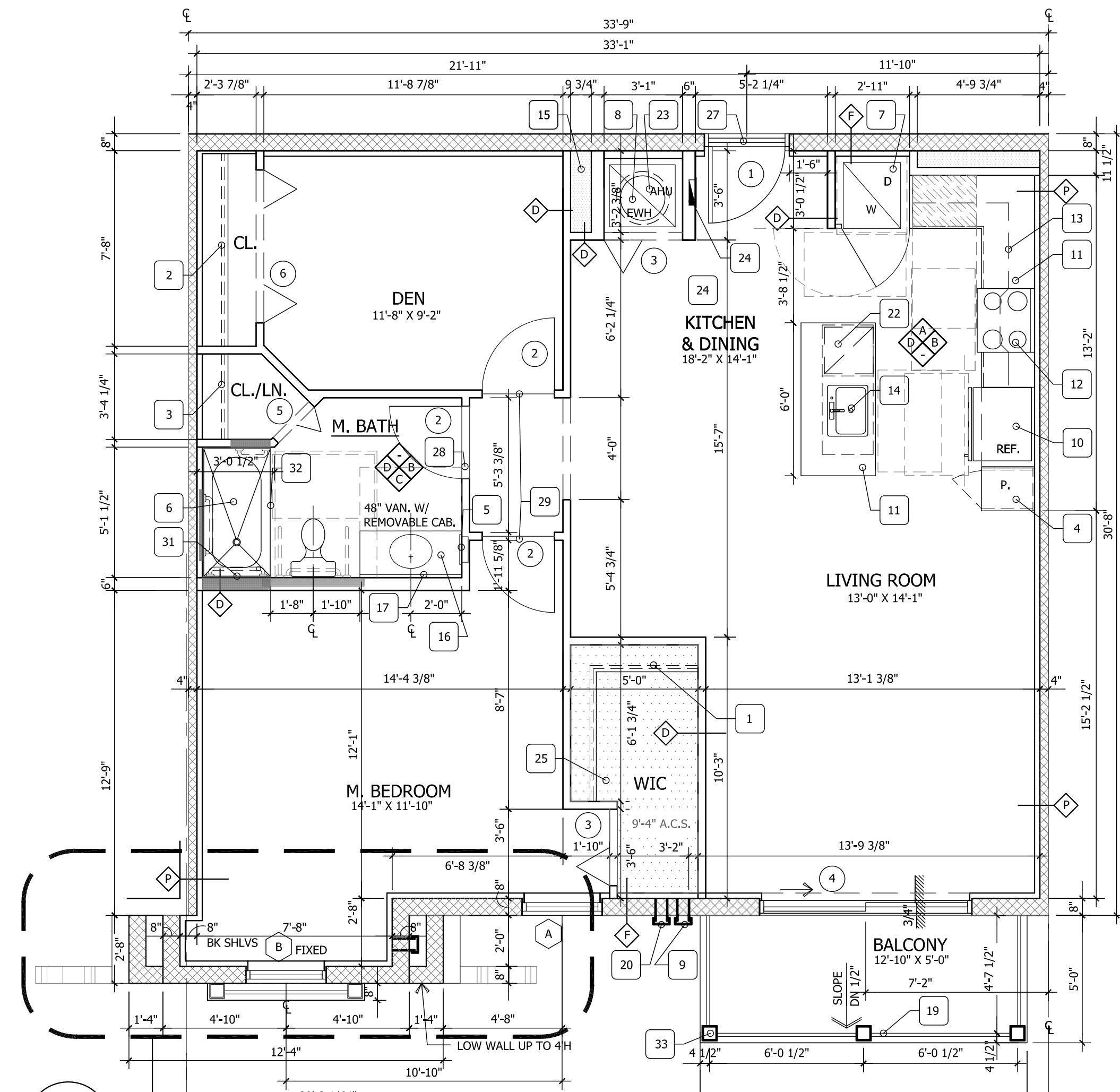
1 UNIT A1 FLOOR PLAN
BLDG 1ST SCALE: 1/4"=1'-0"



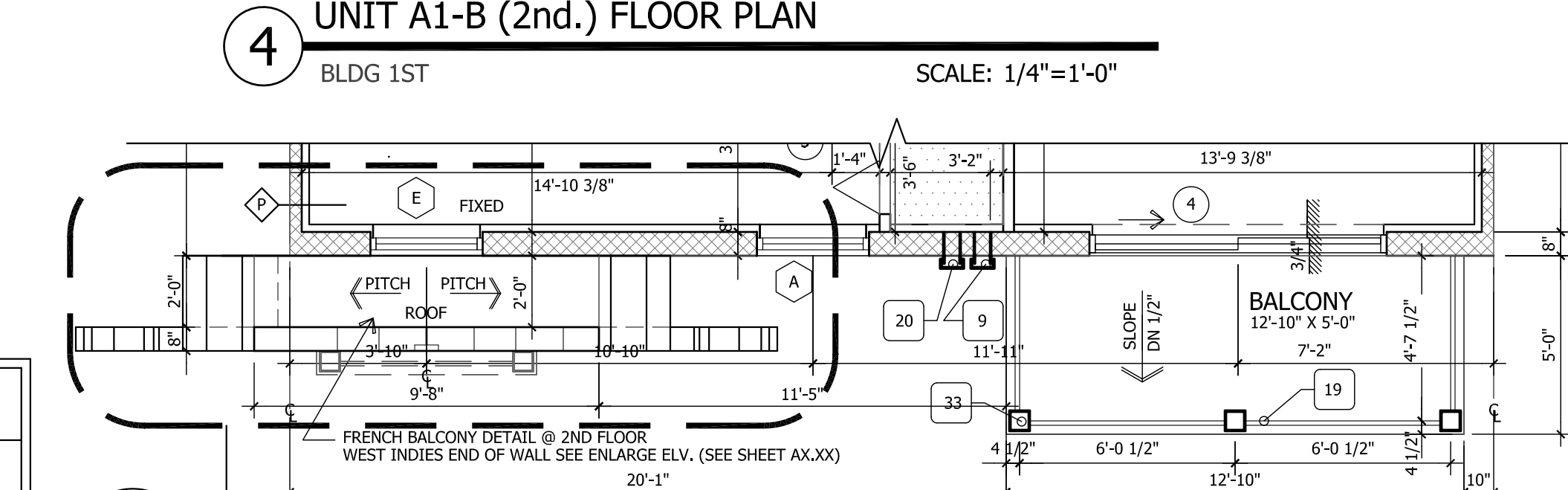
2 UNIT A1 GROUND PARTIAL FLOOR PLAN
BLDG 1ST SCALE: 1/4"=1'-0"



3 UNIT A1-A FLOOR PLAN
BLDG 1ST SCALE: 1/4"=1'-0"



4 UNIT A1-B (2nd.) FLOOR PLAN
BLDG 1ST SCALE: 1/4"=1'-0"

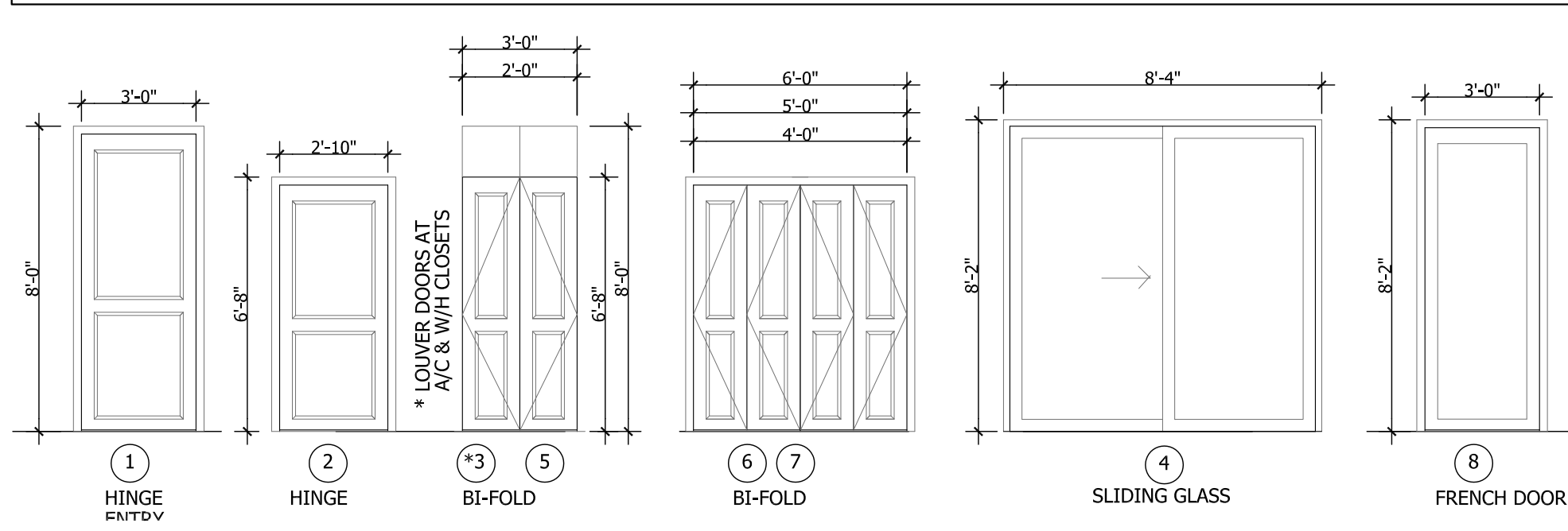


5 UNIT A1-B (3rd.) PARTIAL FLOOR PLAN
BLDG 1ST SCALE: 1/4"=1'-0"

DOOR SCHEDULE - DWELLING UNITS

MARK	DOOR SIZE	THICK.	MATERIAL	TYPE	GLASS	FIRE RATING	FRAME	MAX. POS.	MAX. NEG.	REMARKS
1	3'-0"x8'-0"	1-3/4"	MTL	SWING		D-LABEL 20 min.	HOLLOW METAL	-	-	ACCESSIBLE THRESHOLD, WEATHER STRIPPING, SWEEP, SPRING HINGE, INSULATED DOOR, PEEP HOLE, DEAD BOLT W/ THUMBTURN, 2 PANEL, LEVER HARDWARE & LOCKSET. (SELF-LATCHING) HARDWARE PER FHA
2	2'-10"x6'-8"	1-3/8"	HC	SWING			WOOD	-	-	
3*	3'-0"x6'-8"	1-3/8"	HC	BI-FOLD			WOOD	-	-	PROVIDE LOUVER DOORS AT W/H & A/C CLOSET, MTD. @ 3'-4" & 6'-6" A.F.F. SEE GENERAL PROTECTION NOTES
4	8'-4"x8'-0"	1-3/8"	GLASS/ALUM	SLIDING	HIGH IMPACT		ALUM. ESP. WHITE	+40.67	-50.73	
5	2'-0"x6'-8"	1-3/8"	HC	BI-FOLD			WOOD	-	-	(2) BIFOLD
6	6'-0"x6'-8"	1-3/8"	HC	BI-FOLD			WOOD	-	-	(2) BIFOLD
7	5'-0"x6'-8"	1-3/8"	HC	BI-FOLD			WOOD	-	-	(2) BIFOLD
8	3'-0"x8'-0"	1-3/8"	GLASS/ALUM	SWING	HIGH IMPACT		ALUM. ESP. WHITE	+44.22	-48.14	SEE GENERAL PROTECTION NOTES

HARDWARE NOTES
NOTE: HARDWARE SELECTED, I.E. DOOR LATCH, SHALL BE OPENABLE FROM BOTH SIDES (PER NFPA 101, SECTION 24.2.4.1.10)
NOTE: ALL BATH DOORS SHALL HAVE PRIVACY LOCKS WITH MECHANISM TO OPEN FROM OUTSIDE (NFPA 101, SECTION 24.2.4.5)
NOTE: EXTERIOR SIDE OF ENTRY DOOR (DOOR #1) SHALL HAVE LEVER HARDWARE PER FHA.

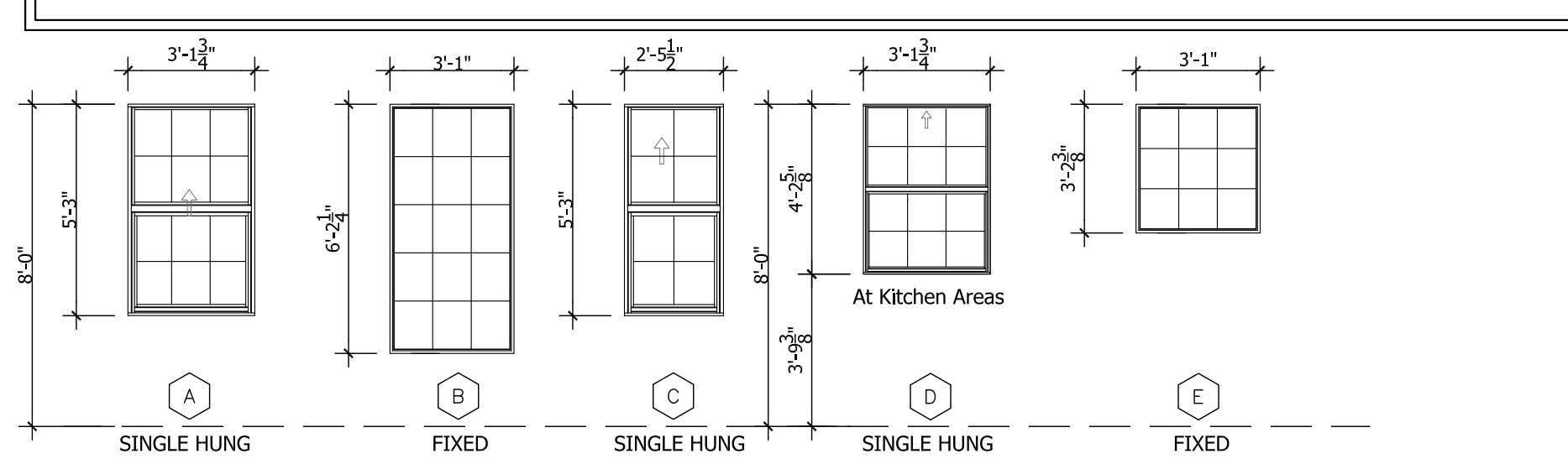


WINDOW SCHEDULE

MARK	TYPE	UNIT SIZE	FINISH	SPECIALTIES	FRAME	MAX. POS.	MAX. NEG.	N.O.A.	REMARKS
A	SH	37 1/4" x 63"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+49.08	-59.56	16-1003.01 APPROVAL DATE: DEC. 13, 2016 EXPIRATION DATE: DEC. 22, 2021	LAWSON INDUSTRIES SERIE 7700-EGRESS
B	FIXED	53 1/8" x 63"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+44.22	-48.14	14-998.18 APPROVAL DATE: DEC. 11, 2014 EXPIRATION DATE: AUG. 22, 2017	LAWSON INDUSTRIES SERIE 6200
C	SH	29 1/2" x 63"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+46.30	-50.23	16-1003.01 APPROVAL DATE: DEC. 13, 2016 EXPIRATION DATE: DEC. 22, 2021	LAWSON INDUSTRIES SERIE 7700
D	SH	37 3/4" x 50 3/8"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+46.30	-50.23	16-1003.01 APPROVAL DATE: DEC. 13, 2016 EXPIRATION DATE: DEC. 22, 2021	LAWSON INDUSTRIES SERIE 7700
E	FIXED	37" x 38 3/8"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+46.30	-50.23	14-998.18 APPROVAL DATE: DEC. 11, 2014 EXPIRATION DATE: AUG. 22, 2017	LAWSON INDUSTRIES SERIE 6200

NOTES:
• SEE GENERAL PROTECTION NOTES FOR PROTECTION FOR IMPACTS FROM WIND, BORNE DEBRIS.
• HIGH IMPACT GLAZING FOR ALL WINDOWS SHALL BE D.S.B. VERIFY REQUIRED INCREASES IN STRENGTH DUE TO WINDOW AREA AND/OR HEIGHT ABOVE GRADE. WINDOW TINT AS SELECTED BY OWNER. VALUES FOR GLAZING U=0.66 SHGC= 0.25
• REQUIRED EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SF. 24" NET CLEAR OPENING HEIGHT AND 20" MIN NET CLEAR OPENING WIDTH, COMPLY WITH FBC 2014

• WINDOWS SHALL COMPLY WITH PRODUCT APPROVAL DATA & FIELD VERIFY ALL WINDOW SIZES AND OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
• SEC. 1012.9 WINDOW SILLS, WHERE WINDOW SILLS ARE BELOW THE REQUIRED 36" ABOVE FINISHED FLOOR SURFACE OF A ROOM IN WHICH THE WINDOW IS LOCATED, PROVIDE FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090.
• WINDOWS SHALL BE INSTALLED AND FLASHED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS. WRITTEN INSTALLATION INSTRUCTIONS SHALL BE PROVIDED BY MANUFACTURER FOR EACH WINDOW.



UNIT KEY-NOTES

- VINYL COATED WIRE ROD & SHELF MTD. @ 5'-7" A.F.F. W/ SHOE RACK AT W.I.C.
- VINYL COATED WIRE ROD & SHELF MTD. @ 3'-4" & 6'-6" A.F.F.
- VINYL COATED WIRE SHELF LINEN RACK 5 SHELVES MTD. @ 5'-7" A.F.F.
- 5 SHELVES LAMINATED OR EQUAL SHELVES
- RECESSED MEDICINE CABINET
- 5" TUB/SHOWER
- STACKED WASHER AND DRYER
- AIR HANDLER UNIT
- DRYER EXHAUST DUCT (REF. TO MEP DWG'S)
- REFRIGERATOR
- COUNTERTOP +36" A.F.F.
- OVEN/ RANGE W/ MICROWAVE HOOD ABOVE *
- LINE OF CABINETS ABOVE
- S.S. SINK W/ GARBAGE DISPOSAL
- REFRIGERANT LINES (COORDINATE WITH MEP)
- VANITY (SEE UNIT PLAN)
- MIRROR (MATCH LENGTH OF VANITY)
- AHU METAL STAND
- 42" HIGH ALUMINUM RAILING (SEE SHT. AX.XX)
- EXHAUST DUCT (REF. TO MEP DWG'S)
- SHOWER PAN ENSEMBLE (SEE DETAILS FOR SIZES)
- DISHWASHER
- E.W.H.
- RECESSED ELECTRICAL PANEL
- DROP CEILING (REFER TO DETAILS)
- STEEL TUBE COLUMN
- 1/2" METAL HANDICAP THRESHOLD
- MARBLE THRESHOLD
- METAL CARPET TACK STRIP
- ALUMINUM FRAMED GLASS ENCLOSURE
- MOUNT SHOWER HEAD AT +7'-2" A.F.F.
- CHROME SHOWER ROD MOUNTED AT +84" A.F.F.
- 6" x 6" P.T WOOD COLUMNS W/ PVC WRAP OR EQUAL
- 4" ROOF DRAIN ONLY WHERE REQUIRED. SEE ROOF PLAN FOR LOCATIONS. SEE PLUMBING & CIVIL FOR STORM CONNECTIONS.
- 3/4" METAL THRESHOLD

ROOM FINISH SCH.-DWELLING UNITS

SPACE	FLOOR	BASE	WALLS	CEILINGS	REMARKS
FOYER/ENTRY	VINYL PLANKS OR CERAMIC TILE	WOOD	GTP.BD. TO ACHIEVE SMOOTH LEVEL FINISH.	SKIN COAT PLASTER TO ACHIEVE SMOOTH LEVEL FINISH.	
KITCHEN	VINYL PLANKS OR CERAMIC TILE	WOOD	GTP.BD. TO ACHIEVE SMOOTH LEVEL FINISH.	SKIN COAT PLASTER TO ACHIEVE SMOOTH LEVEL FINISH.	
LAUNDRY DINING RM.					
BATHS					
KITCHEN CLOSETS/WIC BEDROOMS	CARPET				
UTILITY	CARPET				

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A PROFESSIONAL CORPORATION
6810 Lyons Technology Circle, Suite 185, Coconut Creek FL 33073
P (954) 428-1618 F (954) 428-4416

James M. Rivello & Dominick Ranieri
P.A.:
A. Garca
P.M.:
AG/AP/DR
DRAWN BY:
PROJECT NO.: 1856-01

NO.	REVISION	DATE
1	PERMIT SET	10/05/17

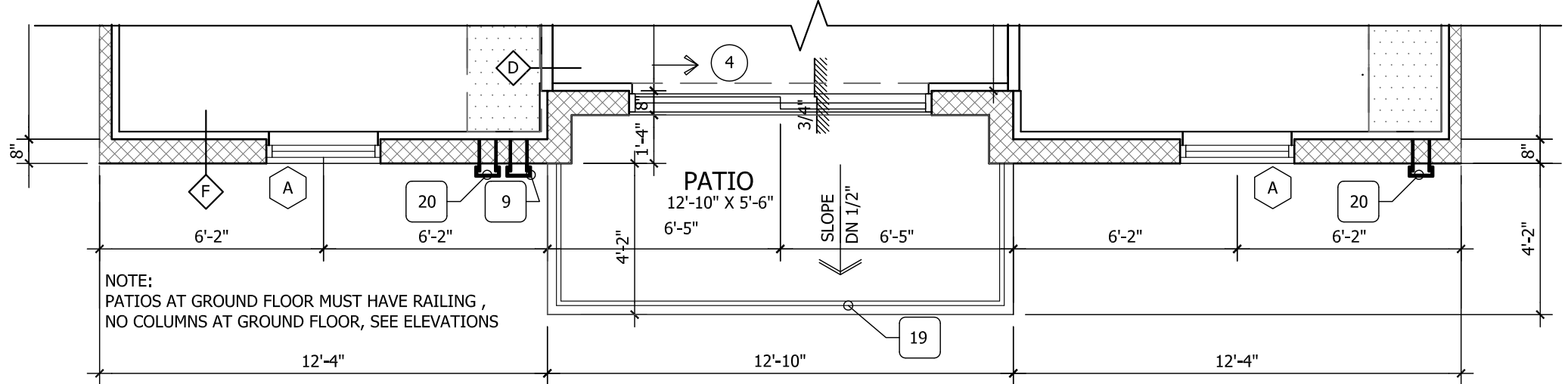
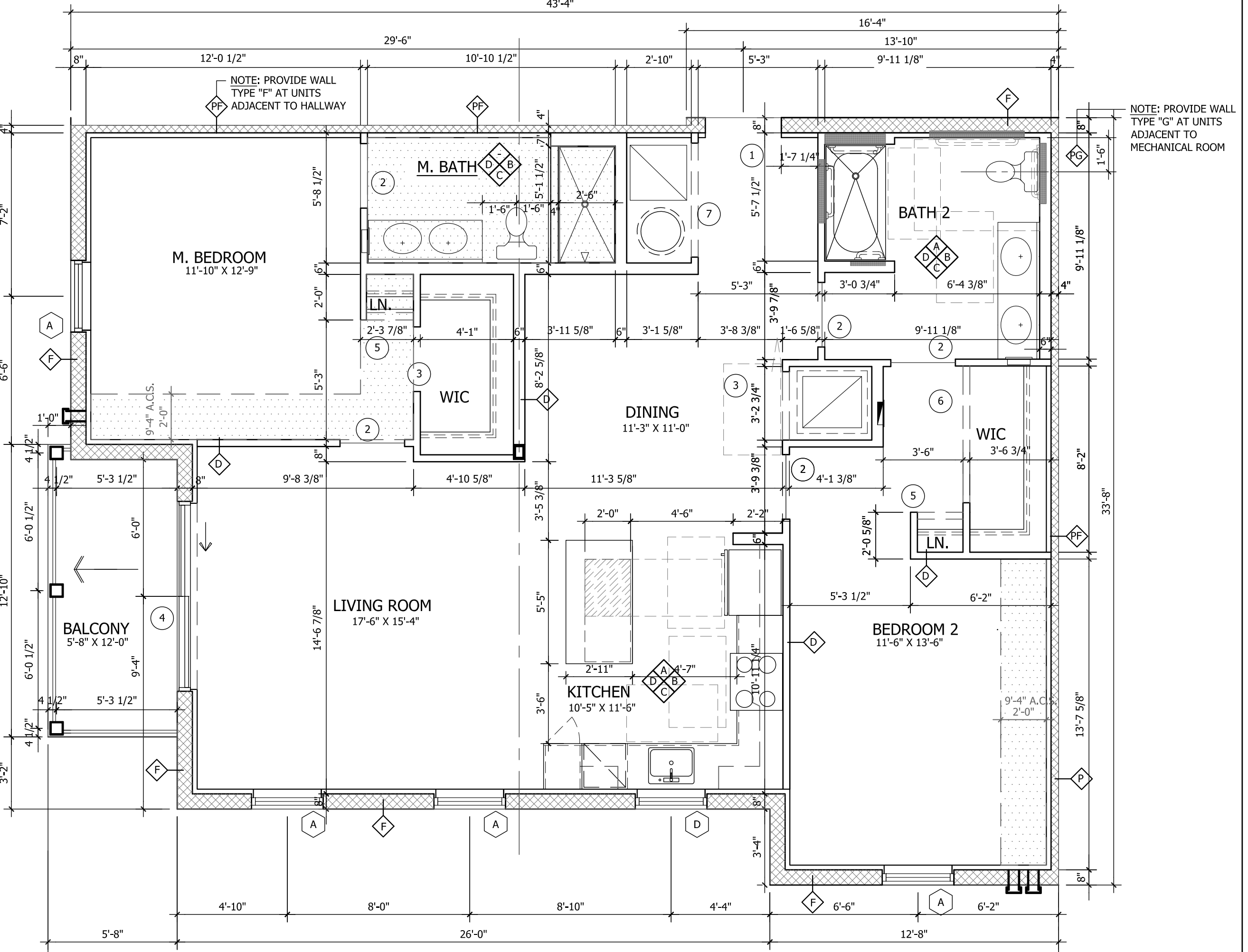
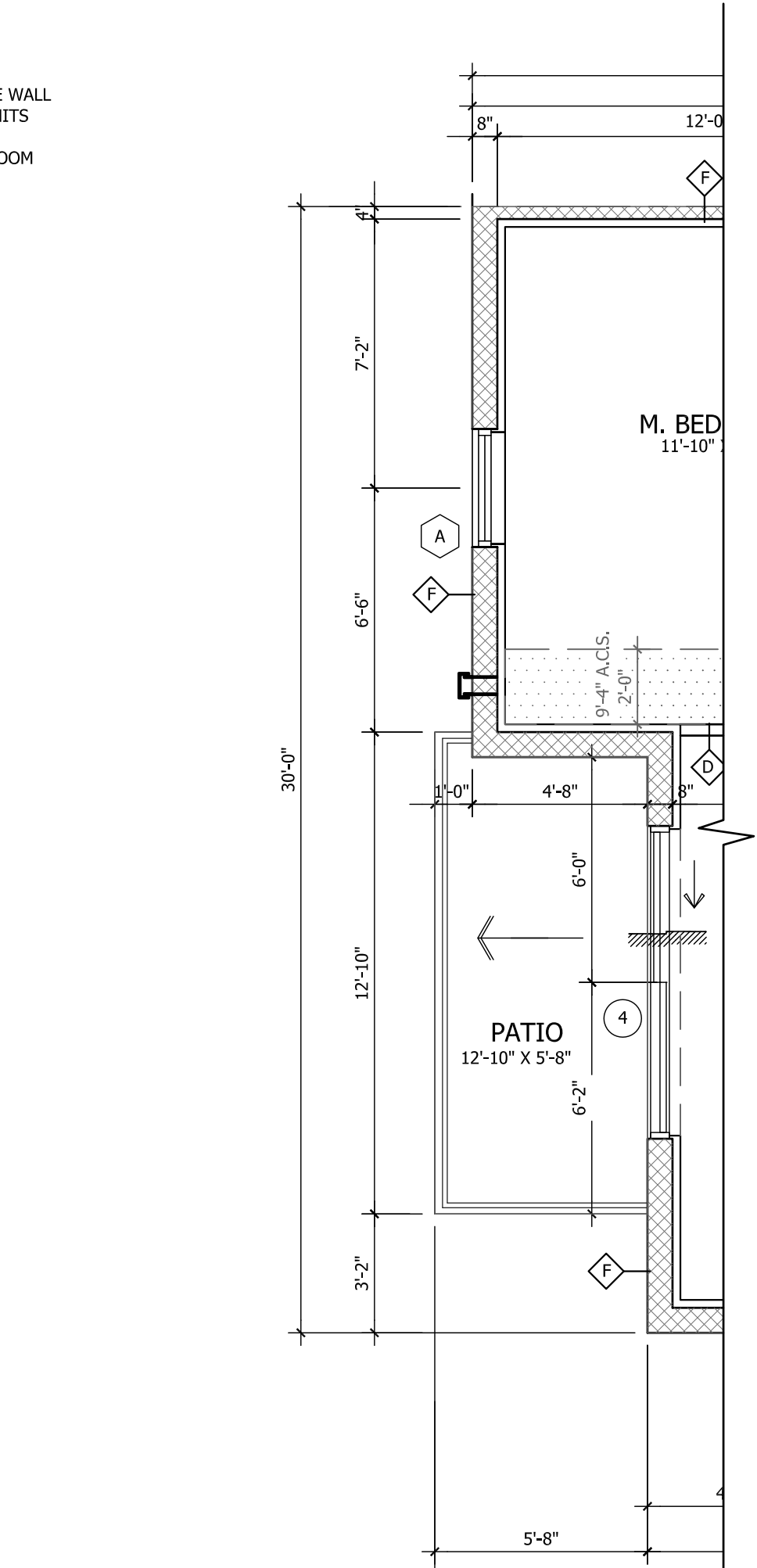
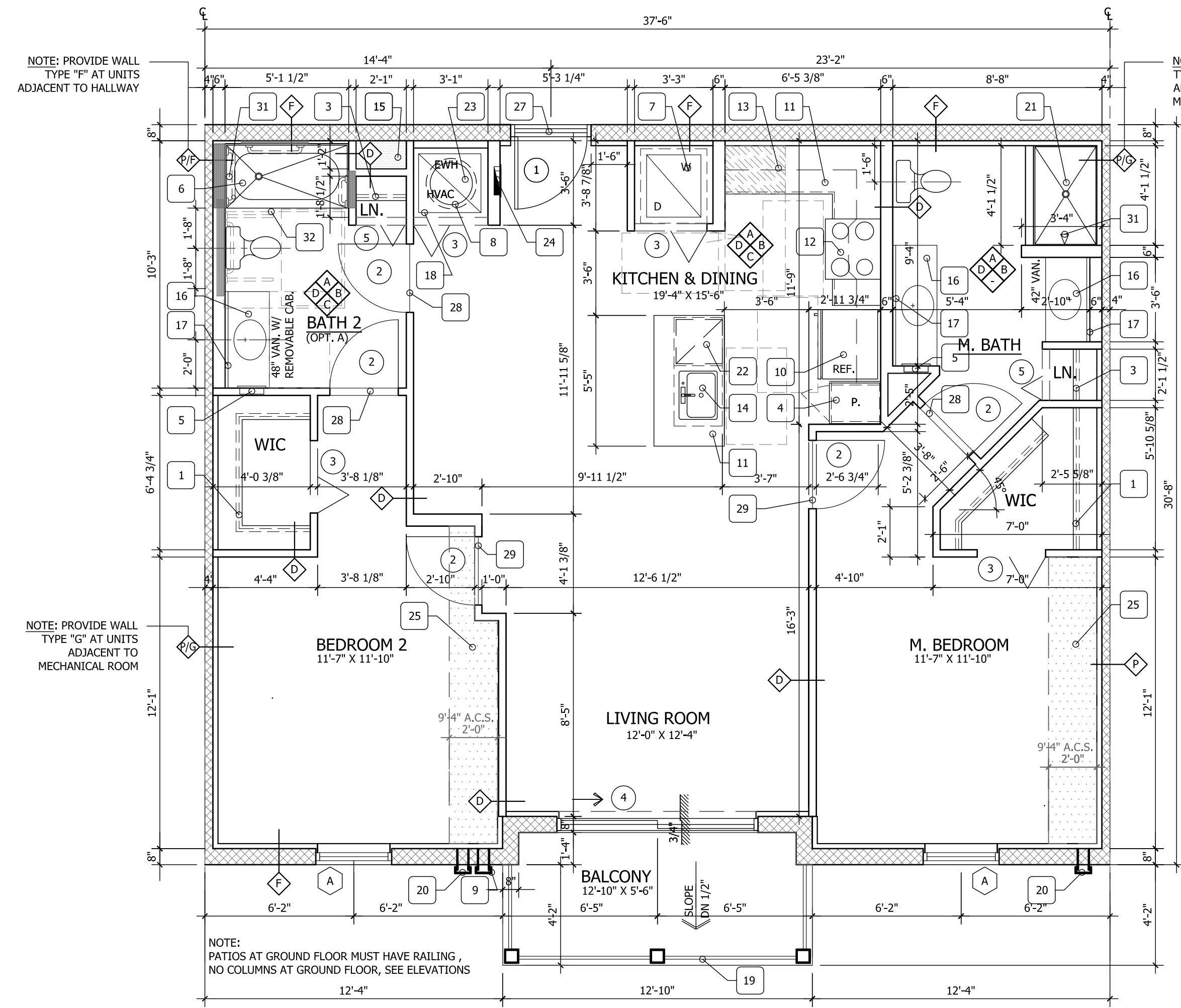
UNITS A FLOOR PLAN

AZUL APARTMENTS
TRIANGLE PARCEL, STUART, FLORIDA

New Urban Communities

SCALE: AS NOTED
DATE: 04/03/2017

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WINDOW SCHEDULE

MARK	TYPE	UNIT SIZE	FINISH	SPECIALTIES	FRAME	MAX. POS.	MAX. NEG.	N.O.A.	REMARKS
A	SH	37 1/4" x 63"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+49.08	-59.56	16-1003.01 APPROVAL DATE: DEC. 15, 2016 EXPIRATION DATE: DEC. 22, 2021	LAWSON INDUSTRIES SERIE 7700-EGRESS
B	FIXED	53 1/8" x 63"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+44.22	-48.14	14-9098.18 APPROVAL DATE: DEC. 11, 2014 EXPIRATION DATE: AUG. 22, 2017	LAWSON INDUSTRIES SERIE 6200
C	SH	29 1/2" x 63"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+46.30	-50.23	16-1003.01 APPROVAL DATE: DEC. 15, 2016 EXPIRATION DATE: DEC. 22, 2021	LAWSON INDUSTRIES SERIE 7700
D	SH	37 3/4" x 50 3/8"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+46.30	-50.23	16-1003.01 APPROVAL DATE: DEC. 15, 2016 EXPIRATION DATE: DEC. 22, 2021	LAWSON INDUSTRIES SERIE 7700
E	FIXED	37" x 38 3/8"	ESP. WHITE	SCREENS & MUNTINS	ALUM.	+46.30	-50.23	14-9098.18 APPROVAL DATE: DEC. 11, 2014 EXPIRATION DATE: AUG. 22, 2017	LAWSON INDUSTRIES SERIE 6200

NOTES:

- SEE GENERAL PROTECTION NOTES FOR PROTECTION FOR IMPACTS FROM WIND-BORNE DEBRIS.
- HIGH IMPACT GLAZING FOR ALL WINDOWS SHALL BE D.S.B. VERIFY REQUIRED INCREASES IN STRENGTH DUE TO WINDOW AREA AND/OR HEIGHT ABOVE GRADE. WINDOW TINT AS SELECTED BY OWNER. VALUES FOR GLAZING U=0.65 SHGC= 0.25
- REQUIRED EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7' SF, 24" NET CLEAR OPENING HEIGHT AND 20" MIN NET CLEAR OPENING WIDTH, COMPLY WITH FBC 2014
- WINDOWS SHALL COMPLY WITH PRODUCT APPROVAL DATA FIELD VERIFY ALL WINDOW SIZES AND OPENINGS PRIOR TO ORDERING FROM SUPPLIER.
- SEC.1013.8 WINDOW SILLS, WHERE WINDOW SILLS ARE BELOW THE REQUIRED 36" ABOVE FINISHED FLOOR SURFACE OF A ROOM IN WHICH THE WINDOW IS LOCATED, PROVIDE FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F2090.
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DOOR SCHEDULE - DWELLING UNITS

MARK	DOOR SIZE	THICK.	MATERIAL	TYPE	GLASS	FIRE RATING	FRAME	MAX. POS.	MAX. NEG.	REMARKS
1	3'-0"x8'-0"	1-3/4"	MTL	SWING		D-LABEL 20 min.	HOLLOW METAL	-	-	ACCESSIBLE THRESHOLD, WEATHER STRIPPING, SWEEP, SPRING HINGE, INSULATED DOOR, PEEP HOLE, DEAD BOLT W/ THUMBTURN, 2 PANEL, LEVER HARDWARE & LOCKSET. (SELF-LATCHING) HARDWARE PER FHA
2	2'-10"x6'-8"	1-3/8"	HC	SWING			WOOD	-	-	
3*	3'-0"x6'-8"	1-3/8"	HC	BI-FOLD			WOOD	-	-	PROVIDE LOUVER DOORS AT W/H & A/C CLOSET, * DOOR NO.3 AT EWH & HVAC MUST BE 6H.
4	8'-4"x8'-0"	1-3/8"	GLASS/ ALUM	SLIDING	HIGH IMPACT		ALUM. ESP. WHITE	+40.67	-50.73	SEE GENERAL PROTECTION NOTES
5	2'-0"x6'-8"	1-3/8"	HC	BI-FOLD			WOOD	-	-	
6	6'-0"x6'-8"	1-3/8"	HC	BI-FOLD			WOOD	-	-	(2) BIFOLD
7	5'-0"x6'-8"	1-3/8"	HC	BI-FOLD			WOOD	-	-	(2) BIFOLD
8	3'-0"x8'-0"	1-3/8"	GLASS/ ALUM	SWING	HIGH IMPACT		ALUM. ESP. WHITE	+44.22	-48.14	SEE GENERAL PROTECTION NOTES

HARDWARE NOTES

NOTE: HARDWARE SELECTED, I.E. DOOR LATCH, SHALL BE OPENABLE FROM BOTH SIDES (PER NFPA 101, SECTION 24.2.4.10)

NOTE: ALL BATH DOORS SHALL HAVE PRIVACY LOCKS WITH MECHANISM TO OPEN FROM (OUTSIDE (NFPA 101, SECTION 24.2.4.5))

NOTE: EXTERIOR SIDE OF ENTRY DOOR (DOOR #1) SHALL HAVE LEVER HARDWARE PER FHA.

NOTE: ALL SLIDING GLASS DOORS TO BE IMPACT GLAZING (NO SHUTTERS). U=.66 SHGC=.22

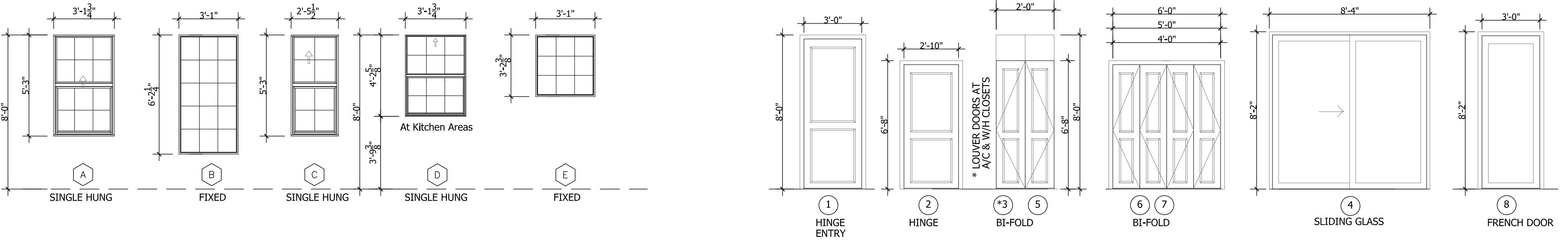
UNIT KEY-NOTES

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- VINYL COATED WIRE ROD & SHELF MTD. @ 3'-4" & 6'-6" A.F.F.
- VINYL COATED WIRE SHELF LINEN RACK 5 SHELVES MTD. @ 5'-7" A.F.F.
- 5 SHELVES LAMINATED OR EQUAL SHELVES RECESSED MEDICINE CABINET
- 5" TUB/SHOWER
- STACKED WASHER AND DRYER
- AIR HANDLER UNIT
- DRYER EXHAUST DUCT (REF. TO MEP DWG'S)
- REFRIGERATOR
- COUNTERTOP +36" A.F.F.
- OVEN/ RANGE W/ MICROWAVE HOOD ABOVE *
- LINE OF CABINETS ABOVE
- S.S. SINK W/ GARBAGE DISPOSAL
- REFRIGERANT LINES (COORDINATE WITH MEP)
- VANITY (SEE UNIT PLAN)
- MIRROR (MATCH LENGTH OF VANITY)
- AHU METAL STAND
- 42" HIGH ALUMINUM RAILING (SEE SHT.AX.XX)
- EXHAUST DUCT (REF. TO MEP DWG'S)
- SHOWER PAN ENSEMBLE (SEE DETAILS FOR SIZES)
- SHOWERHEAD
- E.W.H.
- RECESSED ELECTRICAL PANEL
- DROP CEILING (REFER TO DETAILS)
- STEEL TUBE COLUMN
- 3/4" METAL THRESHOLD
- MARBLE THRESHOLD
- METAL CARPET TACK STRIP
- ALUMINUM FRAMED GLASS ENCLOSURE
- MOUNT SHOWER HEAD AT +7'-2" A.F.F.
- 6" x 6" P.T. WOOD COLUMNS W/ PVC WRAP OR EQUAL
- 4" ROOF DRAIN ONLY WHERE REQUIRED. SEE ROOF PLAN FOR LOCATIONS. SEE PLUMBING & CIVIL FOR STORM CONNECTIONS.
- 3/4" METAL THRESHOLD

* NOTE: WHEN A HANDICAPPED PERSON IS OCCUPYING A UNIT THE MICROWAVE OVEN SHALL BE PLACED ON THE COUNTERTOP

ROOM FINISH SCH.-DWELLING UNITS

SPACE	FLOOR	BASE	WALLS	CEILING	REMARKS
FOYER/ENTRY	VINYL PLANKS OR CERAMIC TILE	WOOD	GYP.BD. ORANGE PEEL	SKIN COAT PLASTER TO ACHIEVE SMOOTH LEVEL FINISH.	
KITCHEN	VINYL PLANKS OR CERAMIC TILE	WOOD	GYP.BD. ORANGE PEEL	SKIN COAT PLASTER TO ACHIEVE SMOOTH LEVEL FINISH.	
LAUNDRY DINING RM.	CARPET				
BATHS	CARPET				
KITCHEN CLOSETS/WIC	CARPET				
BEDROOMS	CARPET				
UTILITY	CONCRETE FLOOR				



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ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION

6810 Lyons Technology Circle, Suite 185, Coconut Creek FL 33073
P (954) 428-1618 F (954) 428-4416

James M. Riviello & Dominick Ranieri
P.A.:
A. Garcla
P.M.:
AG/AP/DR
DRAWN BY:
PROJECT NO.: 1856-01

DATE: 10/05/17

REVISION PERMIT SET

NO.	REVISION
1	PERMIT SET

UNITS B1 & B2 FLOOR PLAN

AZUL APARTMENTS
TRIANGLE PARCEL, STUART, FLORIDA

New Urban Communities

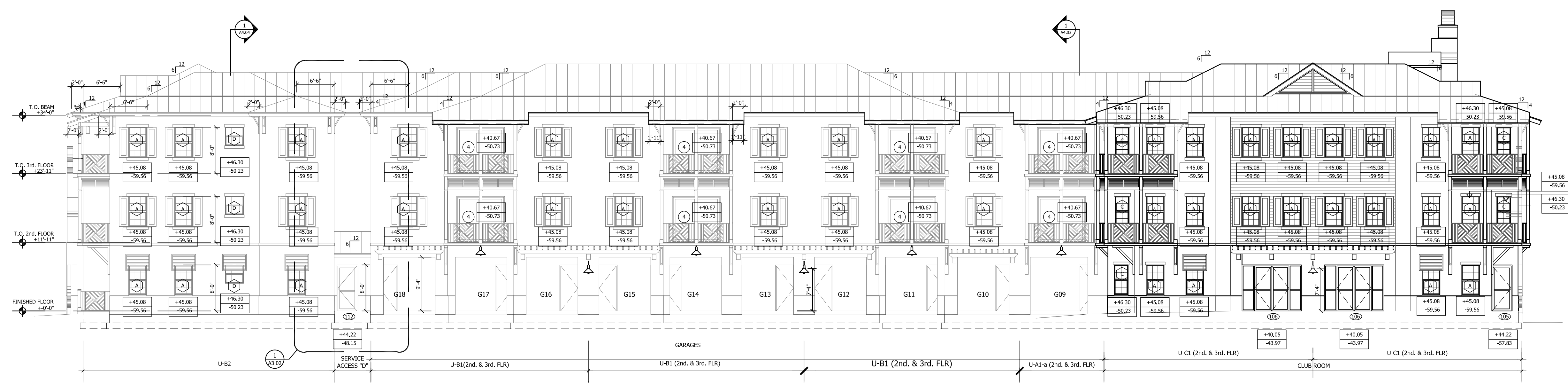
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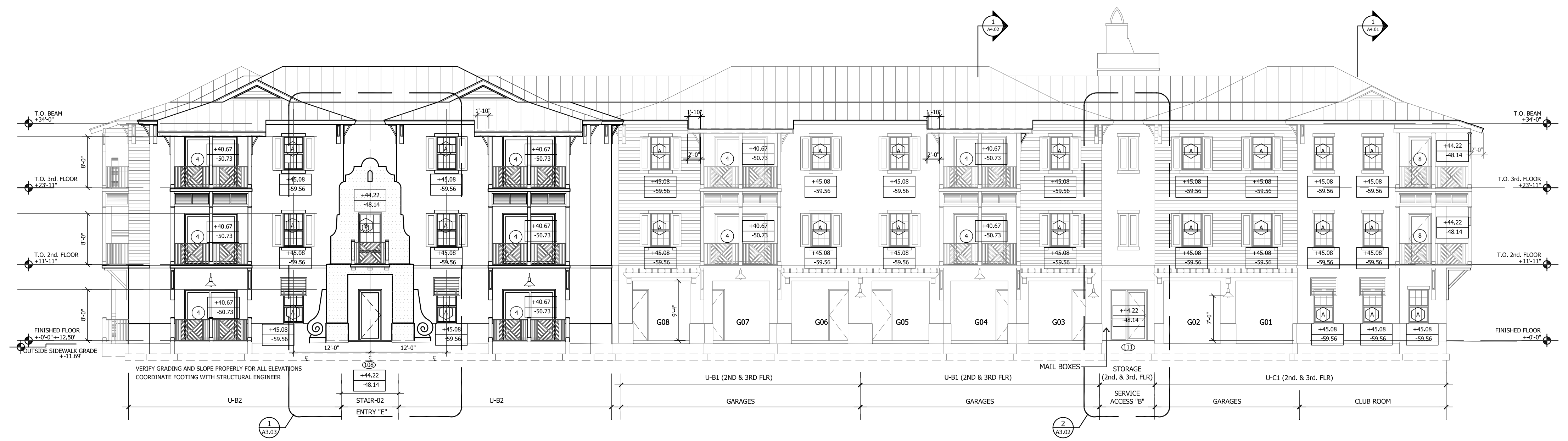
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1 ALBANY AVENUE ELEVATION "A"
 BLDG ELEV. SCALE: 3/32"=1'-0"



2 DIXIE HIGHWAY ELEVATION "B"
 BLDG ELEV. SCALE: 3/32"=1'-0"



3 AKRON AVENUE ELEVATION "C"
 BLDG ELEV. SCALE: 3/32"=1'-0"

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 ARCHITECTS AND LAND PLANNERS
 A PROFESSIONAL CORPORATION
 6810 Lyons Technology Circle, Suite 185, Coconut Creek FL 33073
 P (954) 428-1618 F (954) 428-4416

P.A.: James M. Riviello & Dominick Ranieri
 P.M.: A. Garcia
 DRAWN BY: AG/AP/DR
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ELEVATIONS

AZUL
 TRIANGLE PARCEL, STUART, FLORIDA

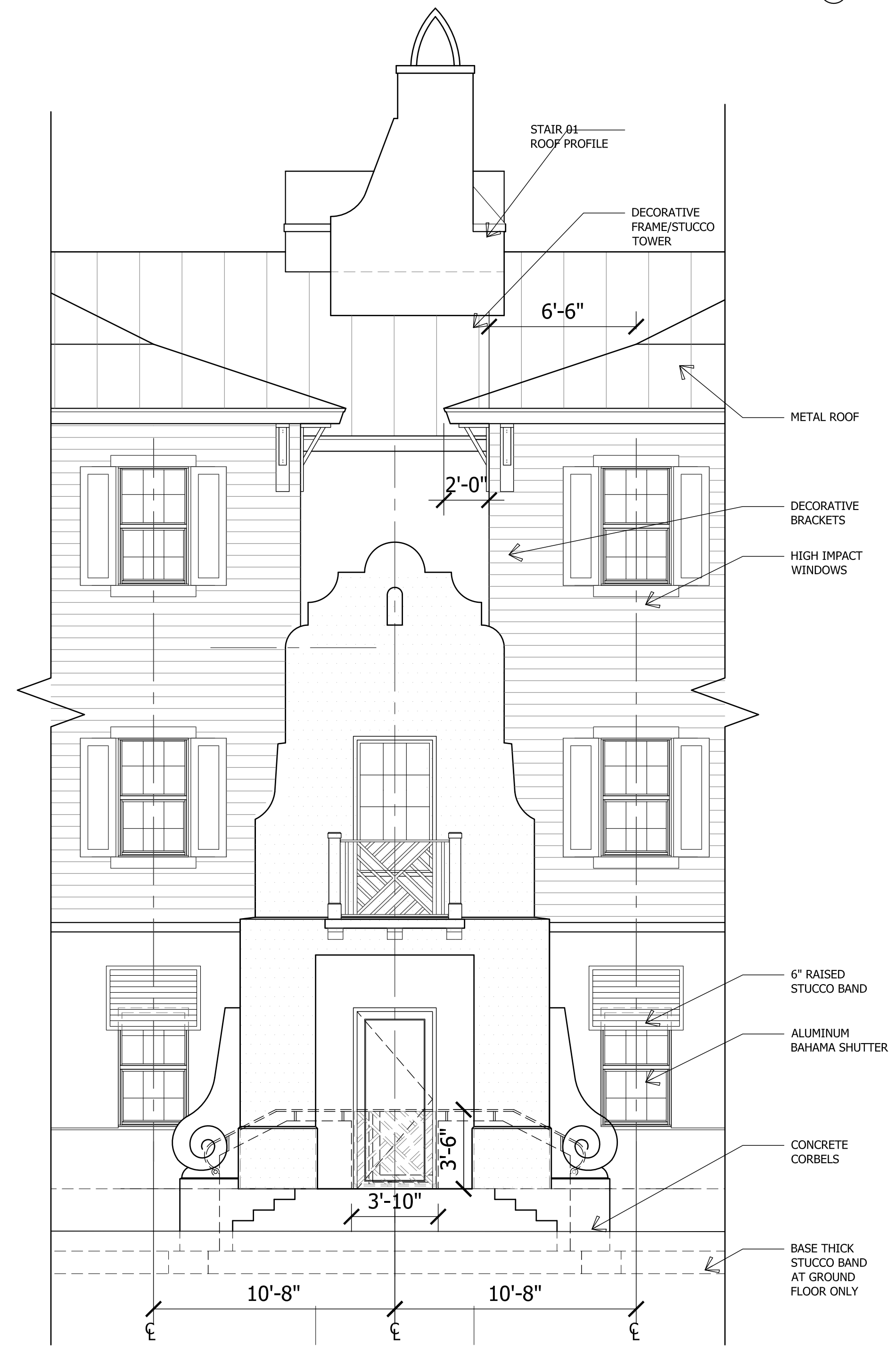
New Urban Communities

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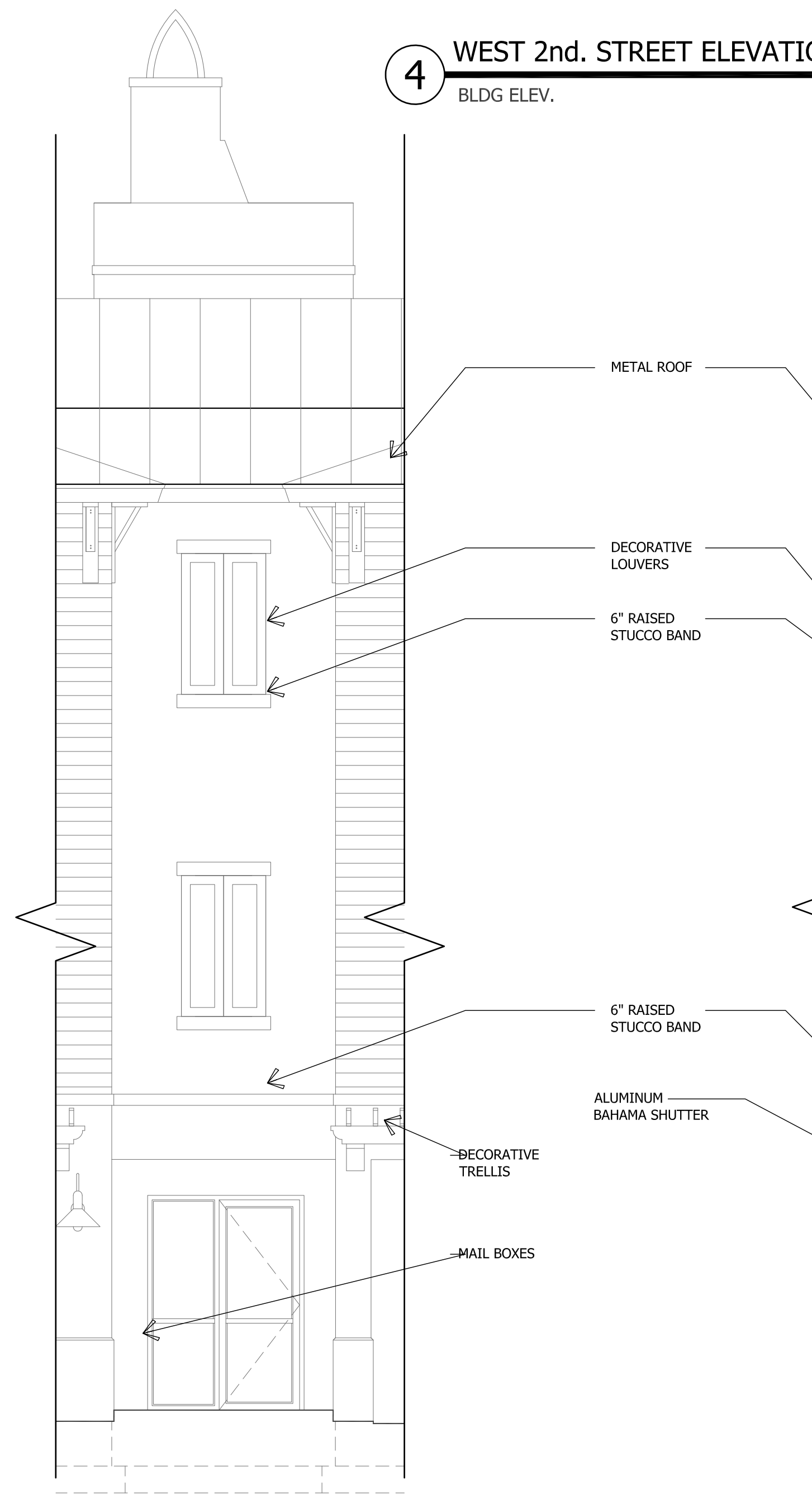
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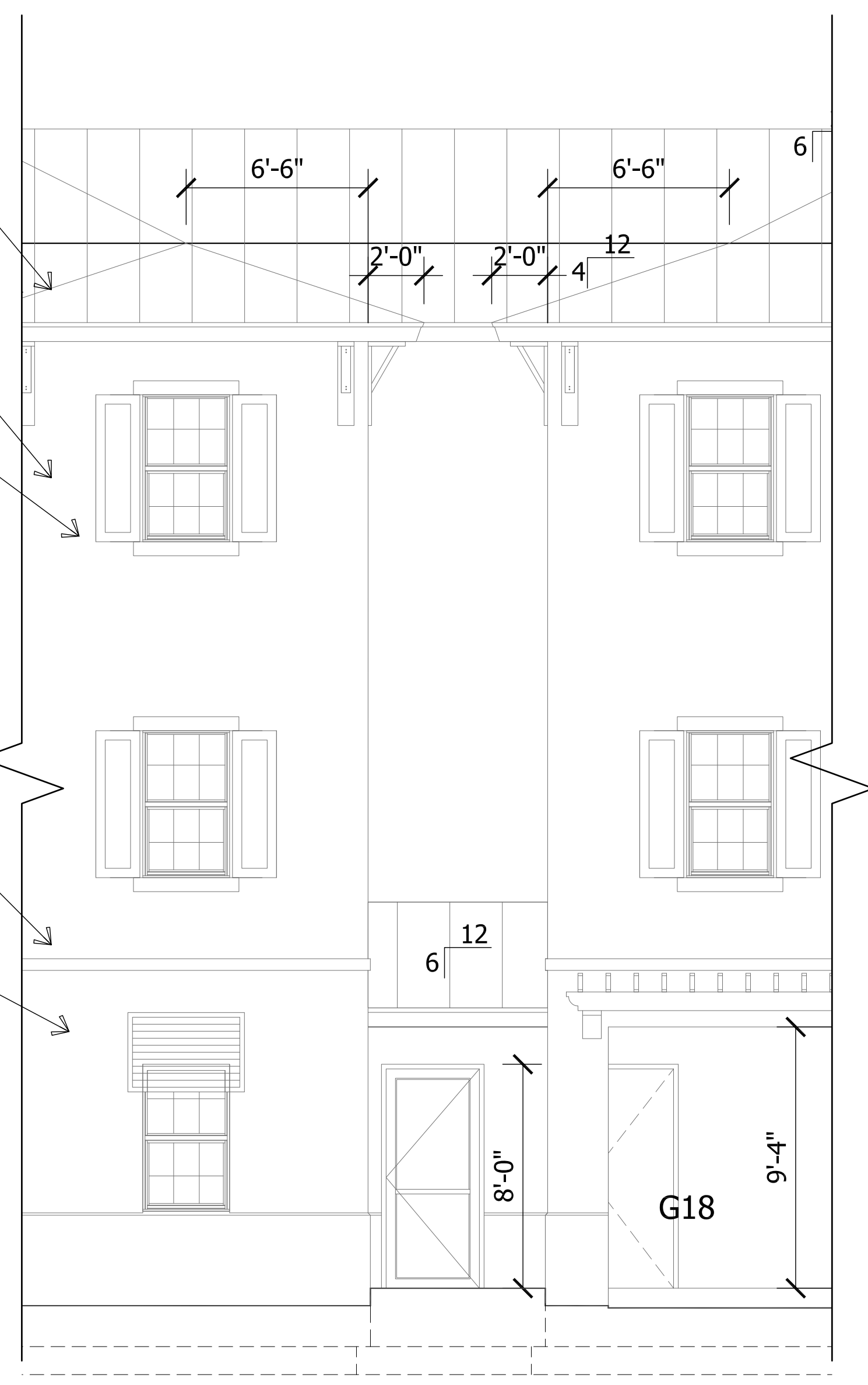
4 WEST 2nd. STREET ELEVATION "D"
BLDG ELEV. SCALE: 3/32"=1'-0"



3 PARTIAL ELEVATION ENTRY "A"
BLDG ELEV. SCALE: 1/4"=1'-0"



2 PARTIAL ELEVATION ENTRANCE "B"
BLDG ELEV. SCALE: 1/4"=1'-0"



1 PARTIAL ELEVATION ENTRANCE "D"
BLDG ELEV. SCALE: 1/4"=1'-0"

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A PROFESSIONAL CORPORATION
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ELEVATIONS

AZUL APARTMENTS
TRIANGLE PARCEL, STUART, FLORIDA

New Urban Communities

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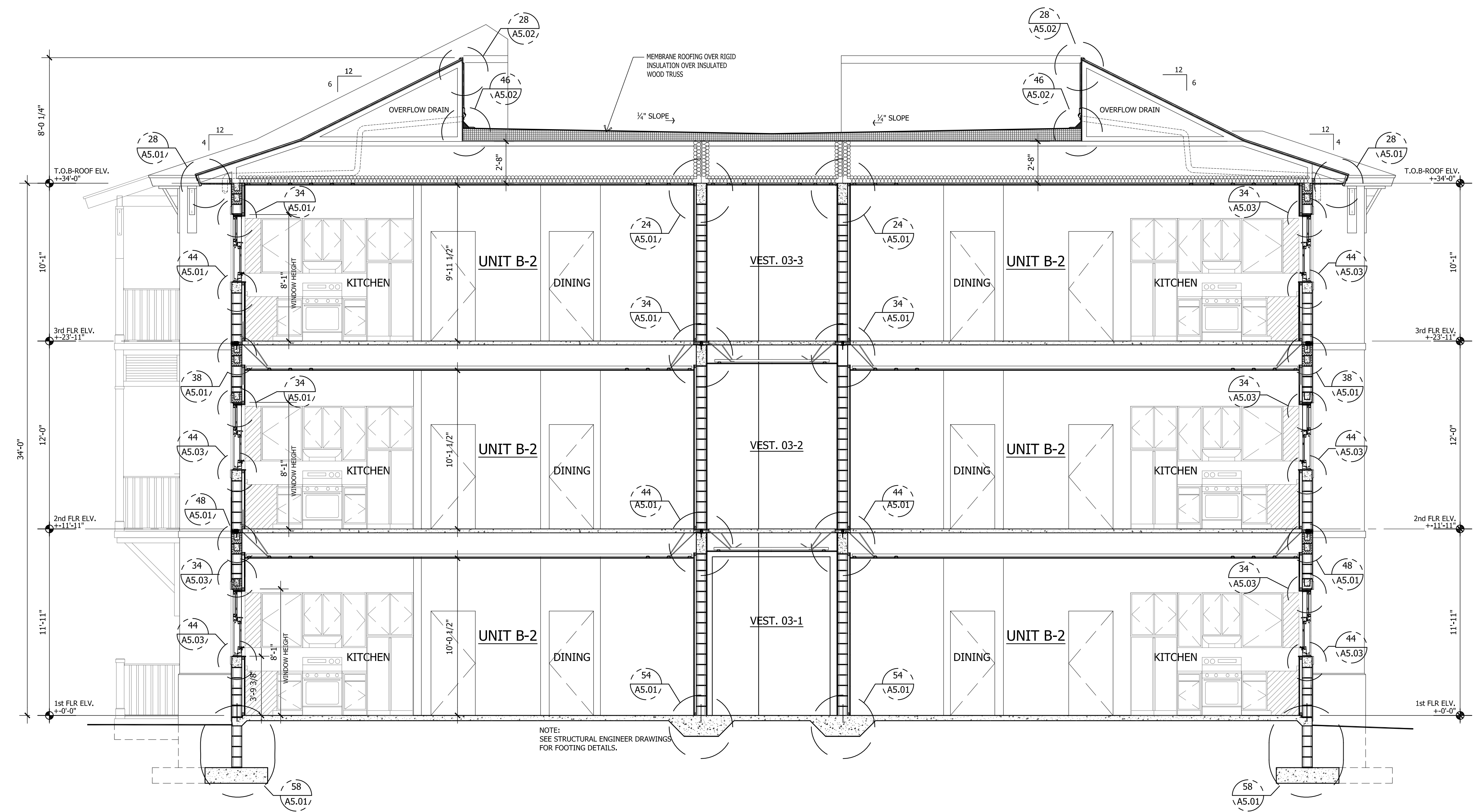
BUILDING SECTIONS

AZUL APARTMENTS
 TRIANGLE PARCEL, STUART, FLORIDA

New Urban Communities

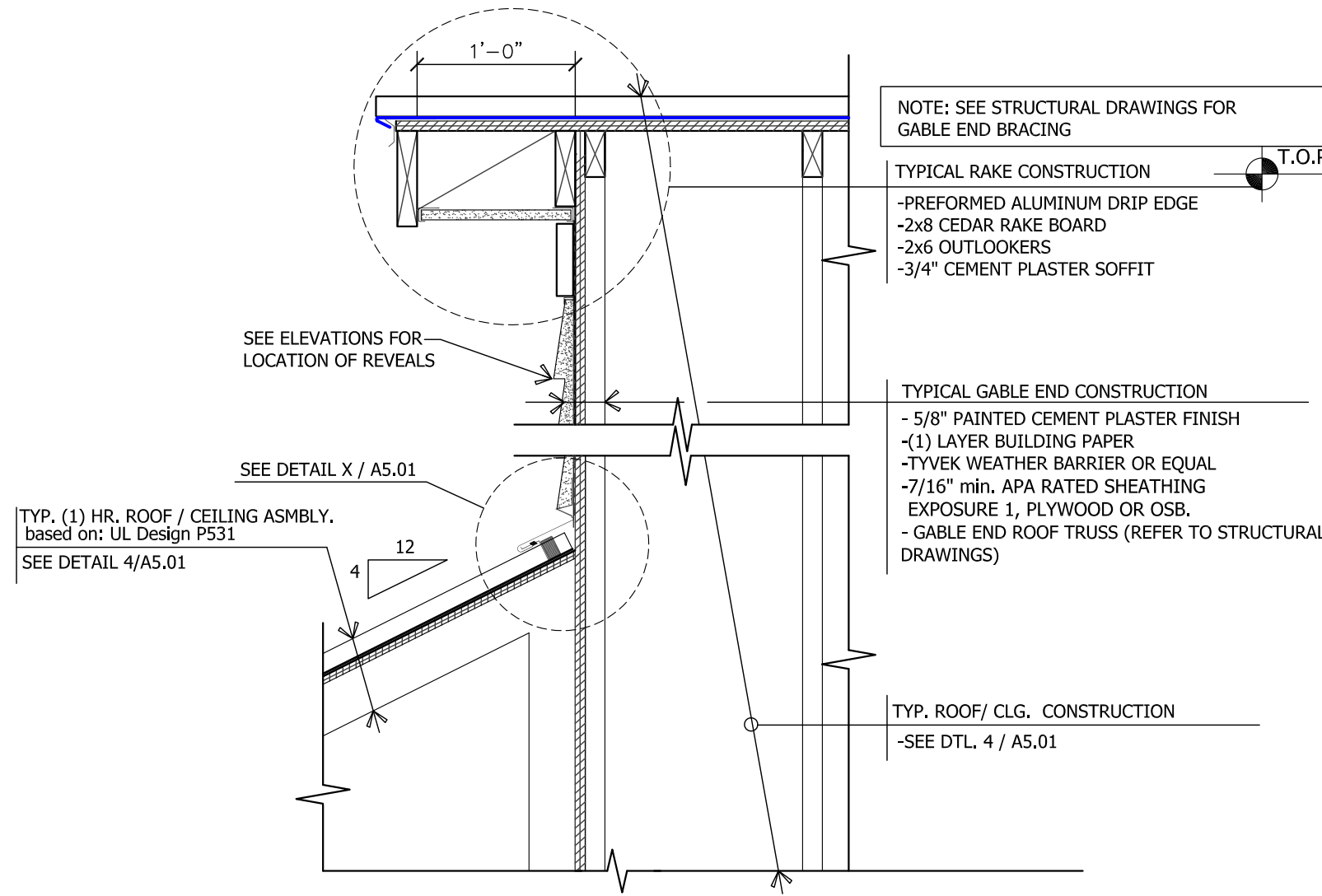
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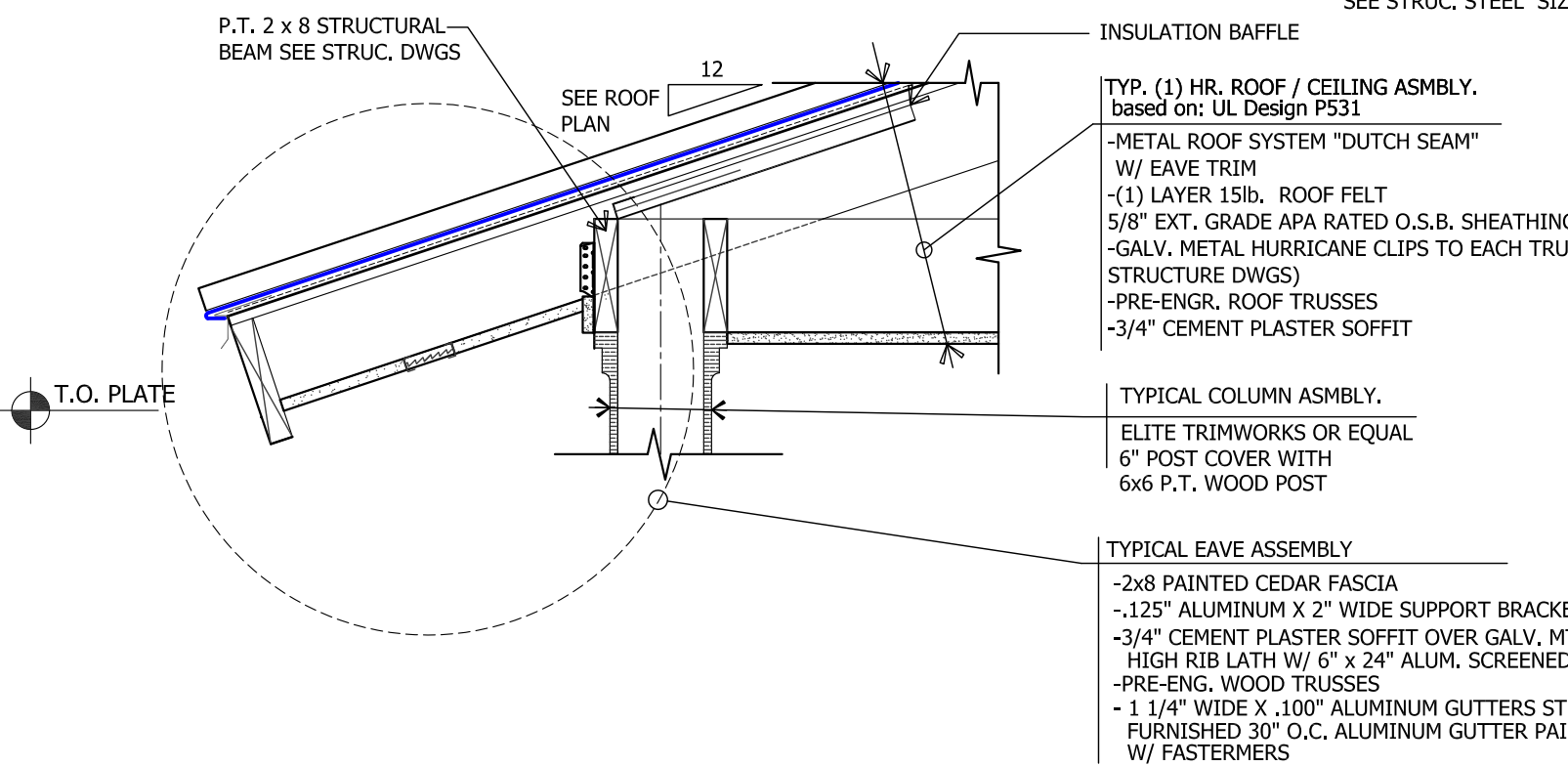


1 BUILDING SECTION
 BCS-1 SCALE: 1/4"=1'-0"

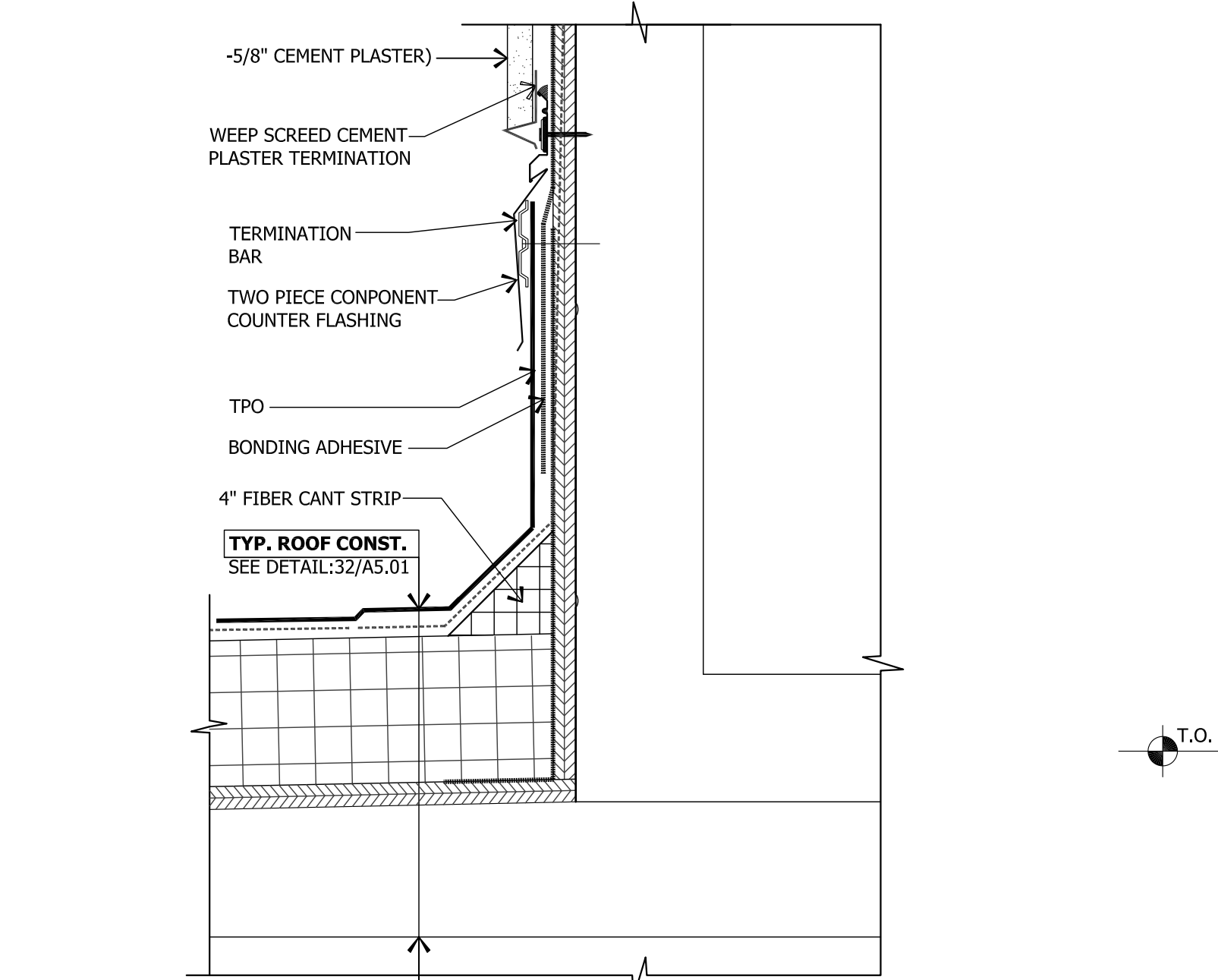
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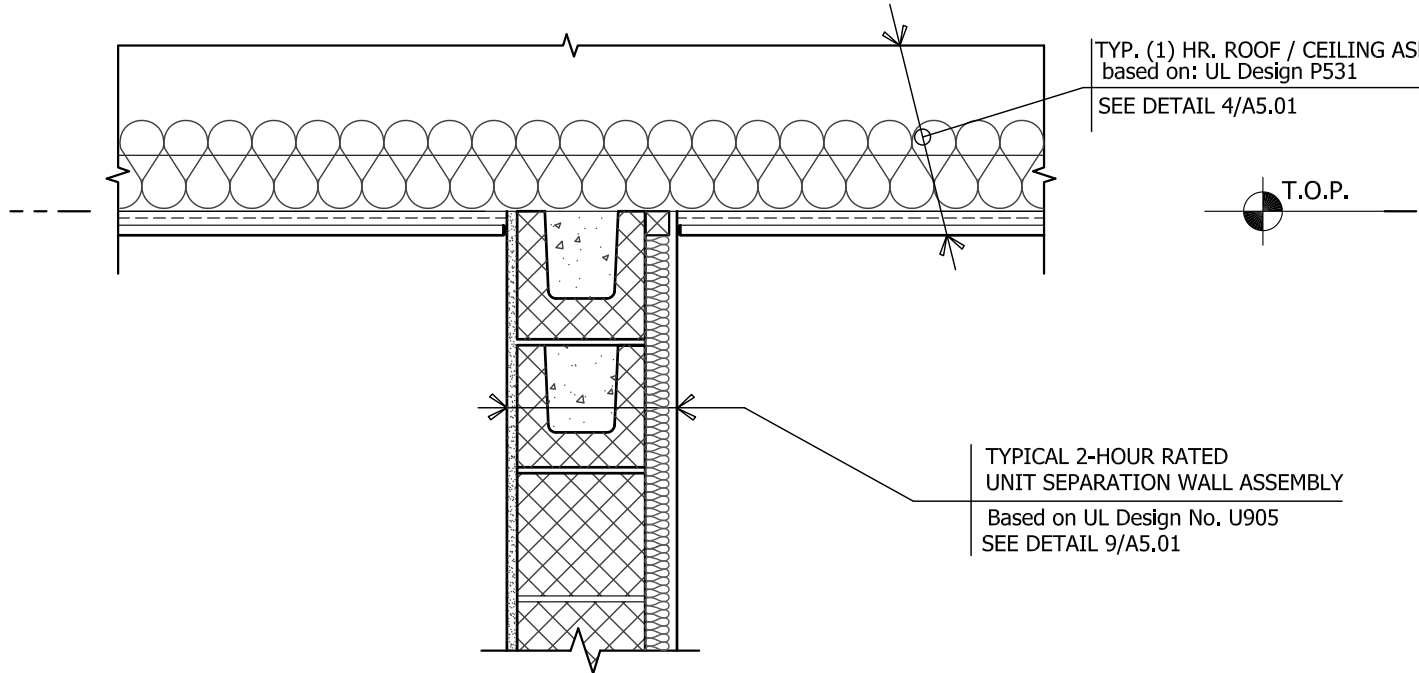
22 TYPICAL RAKE W/ METAL ROOF CONNECTION
DTL-24 SCALE: 1"=1'-0"



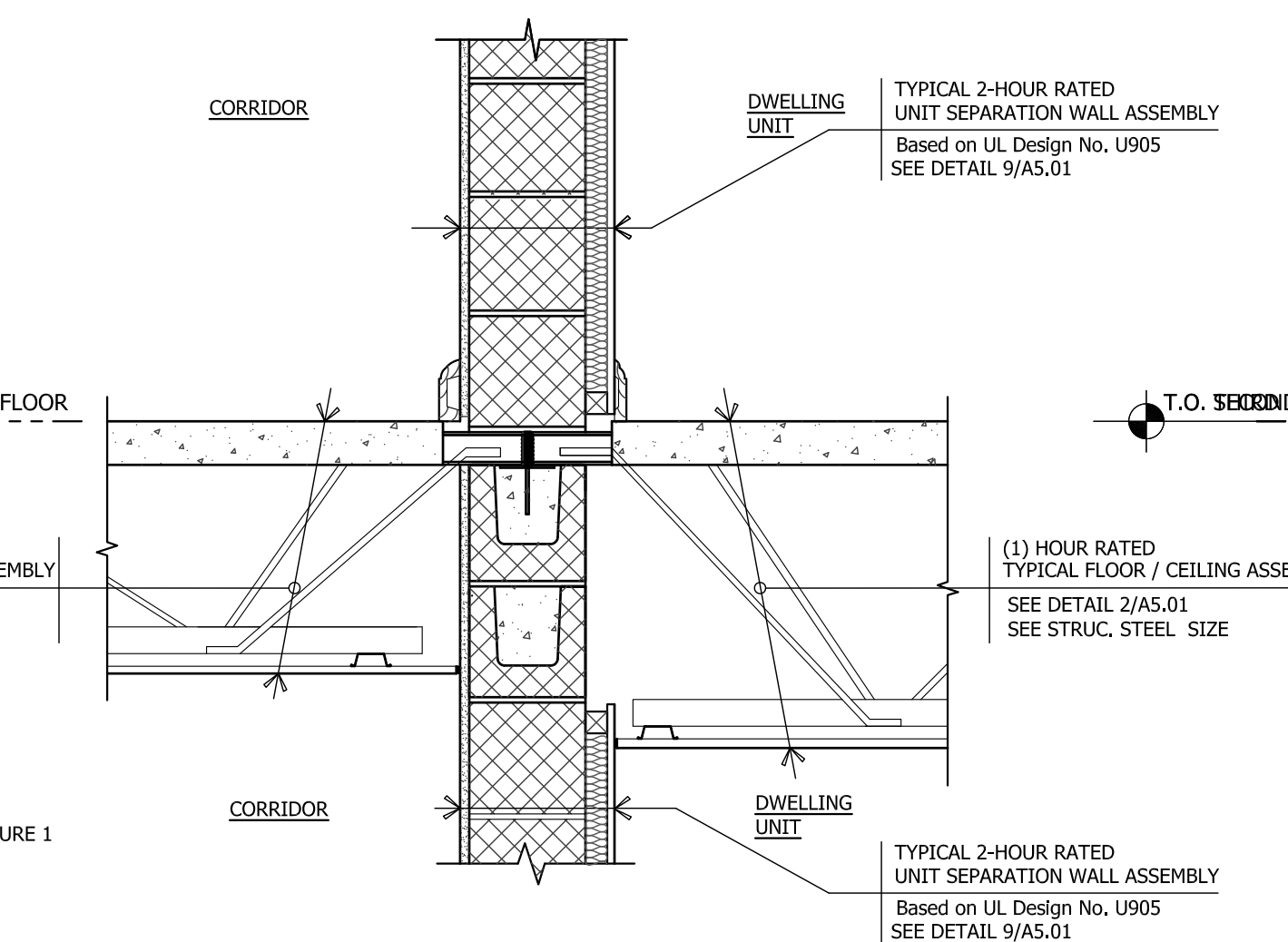
32 TYPICAL EAVE AT BALCONY
DTL-10 SCALE: 1"=1'-0"



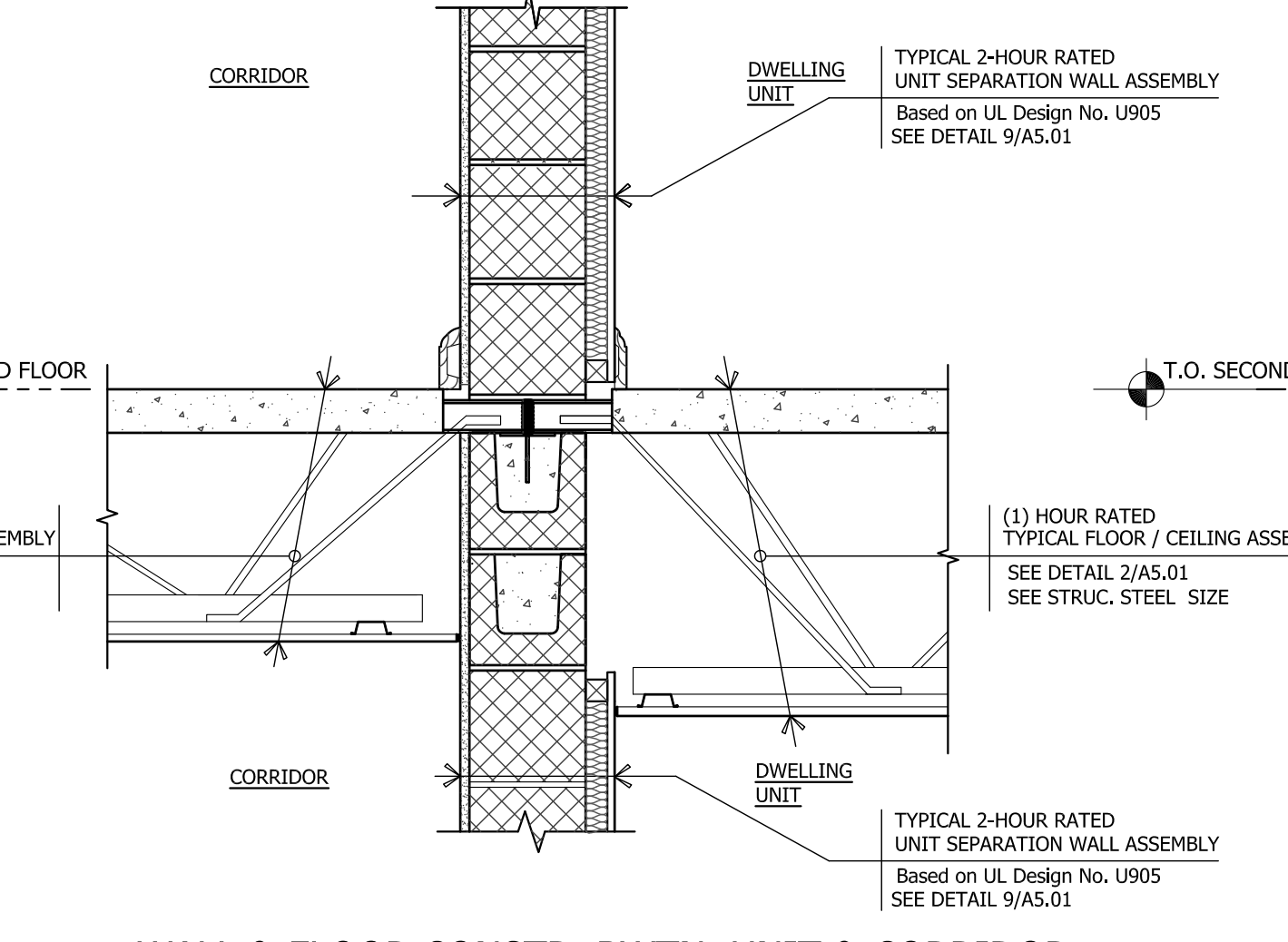
42 MANSTARD WALL FLASHING
DTL-302 SCALE: 1"=1'-0"



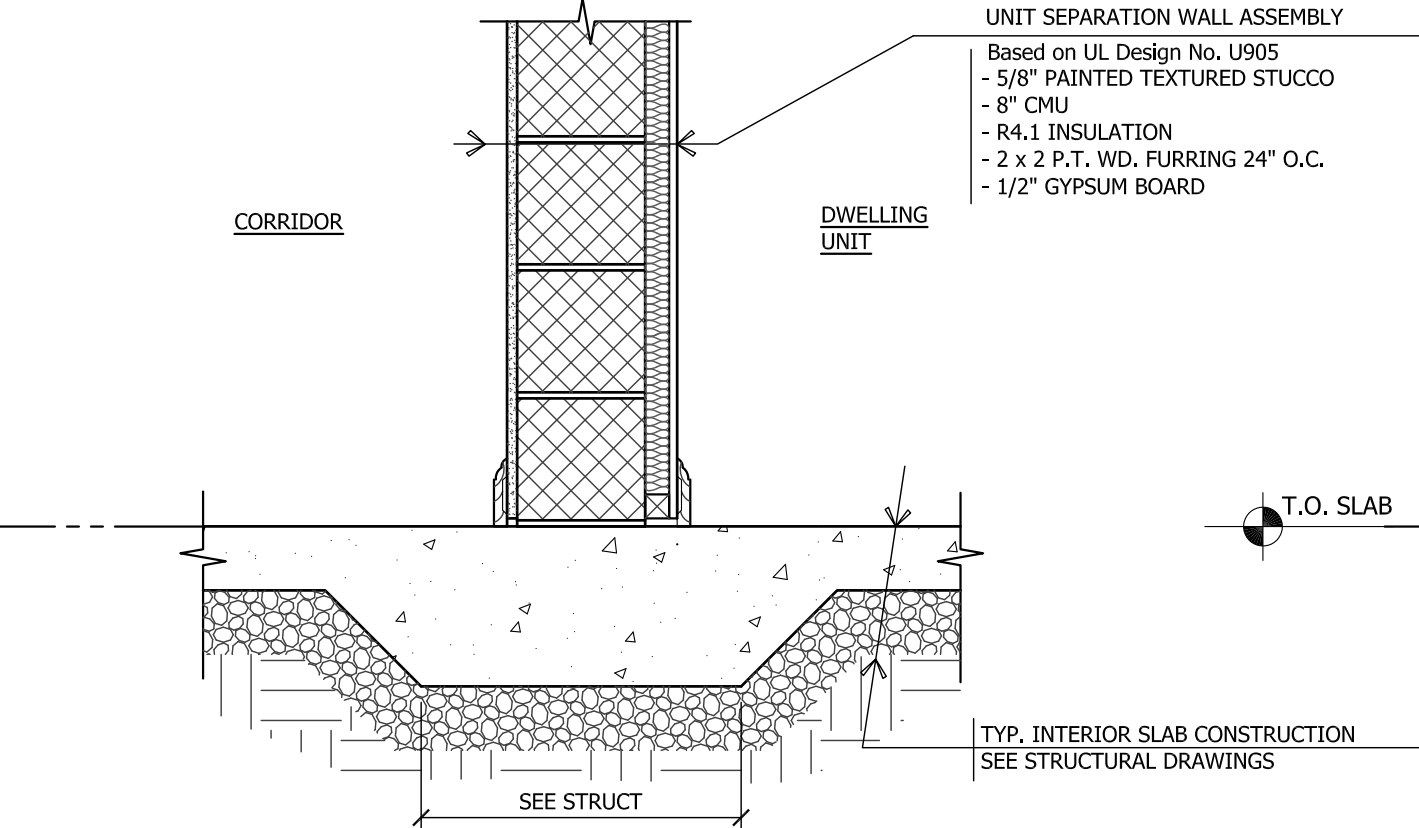
24 WALL & ROOF CONSTR. BWTN, UNIT & CORRIDOR
DTL-06 SCALE: 1"=1'-0"



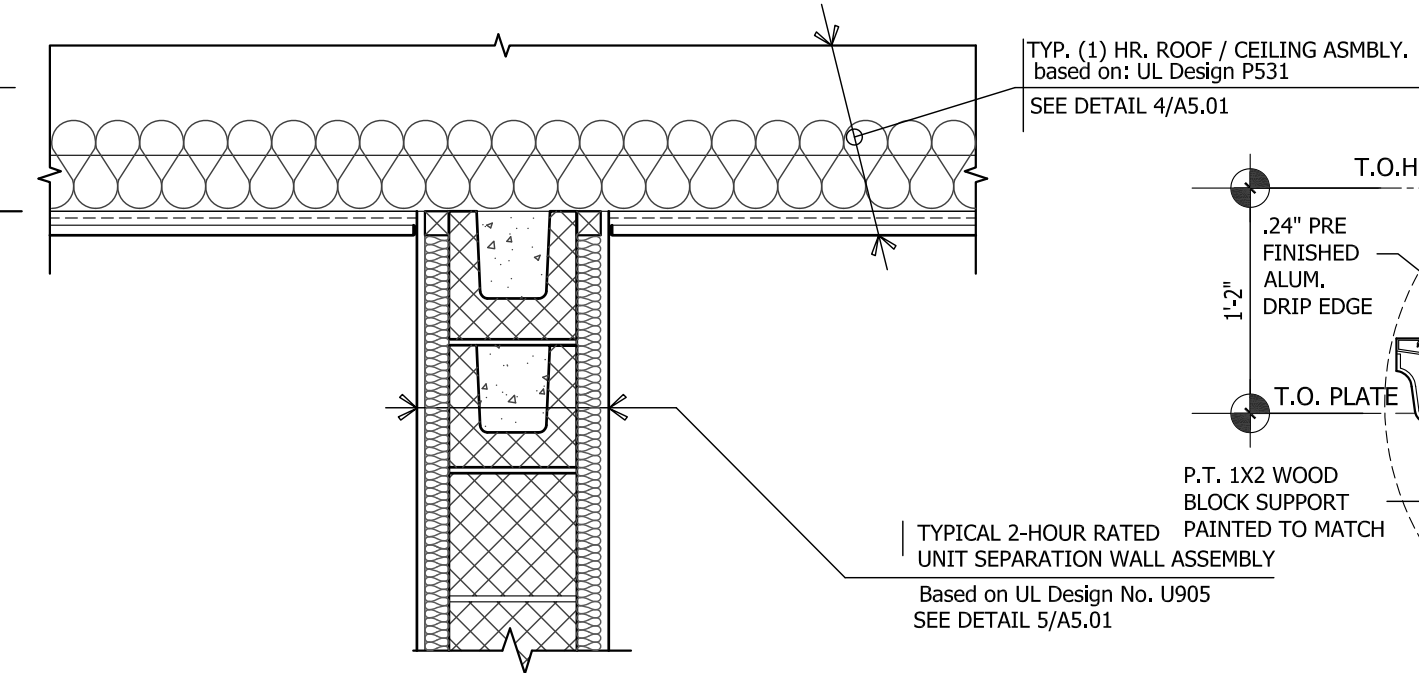
34 WALL & FLOOR CONSTR. BWTN, UNIT & CORRIDOR
DTL-06 SCALE: 1"=1'-0"



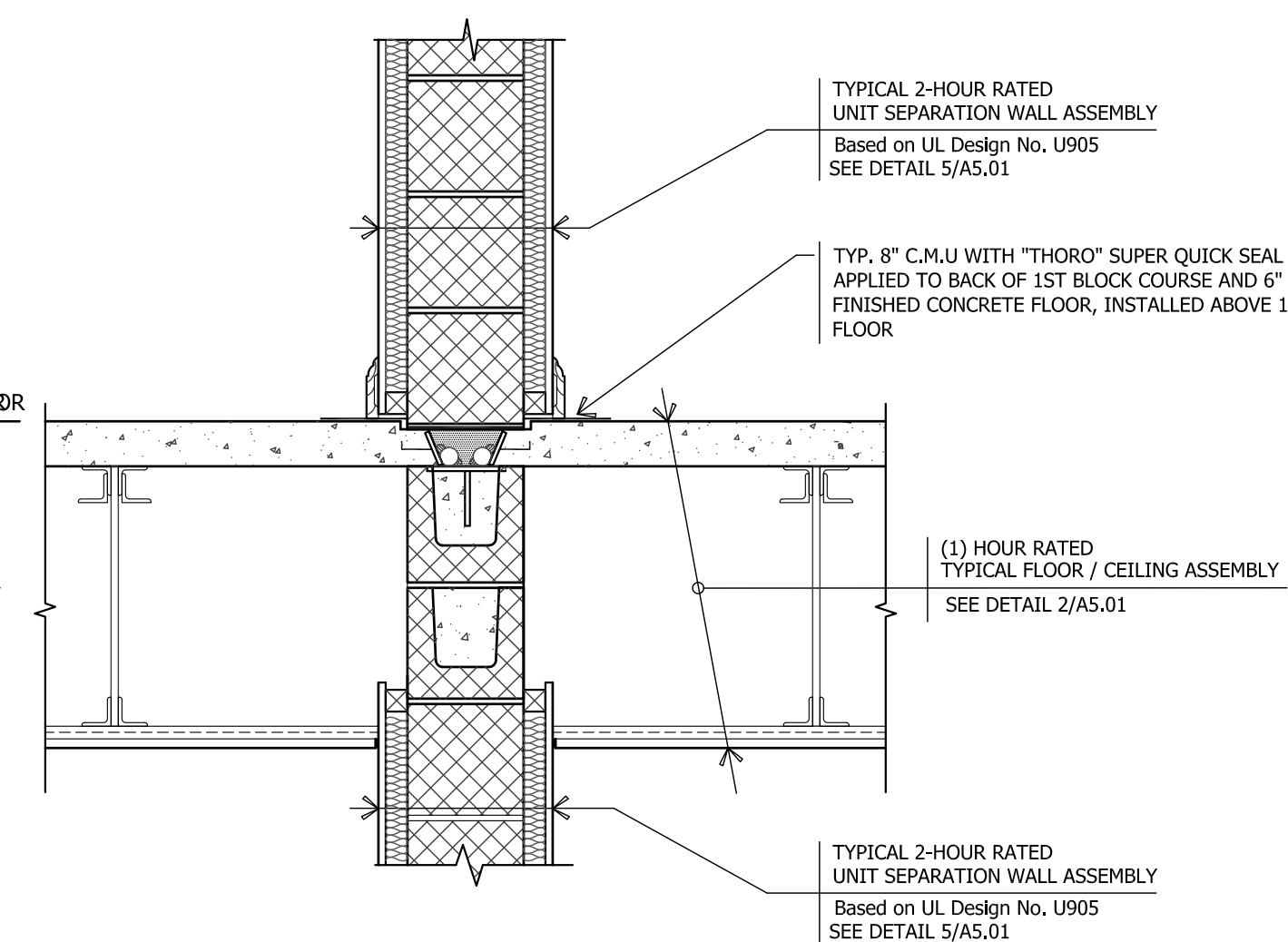
44 WALL & FLOOR CONSTR. BWTN, UNIT & CORRIDOR
DTL-06 SCALE: 1"=1'-0"



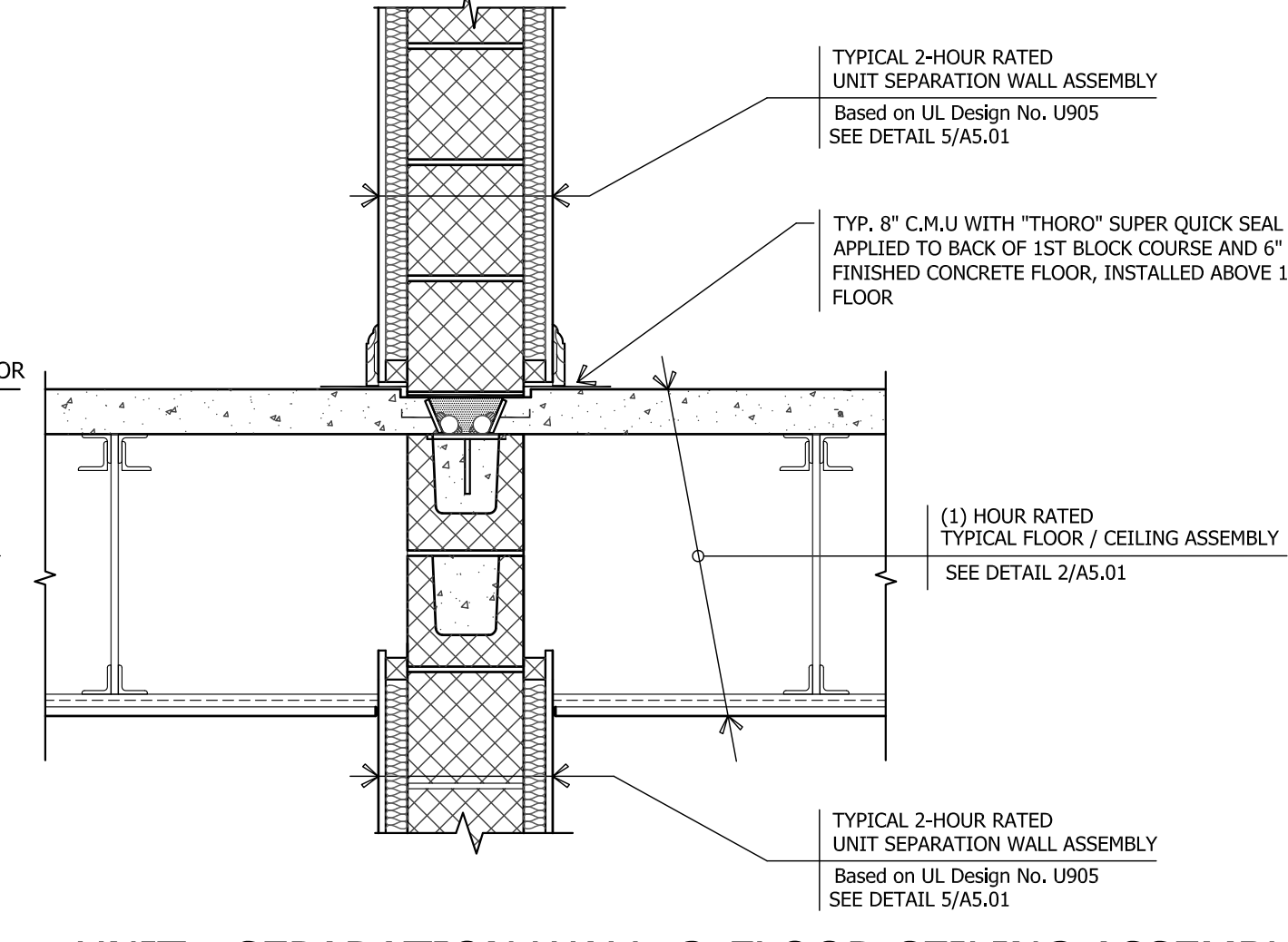
54 UNIT - SEPARATION WALL - 1ST FLOOR
DTL-06 SCALE: 1"=1'-0"



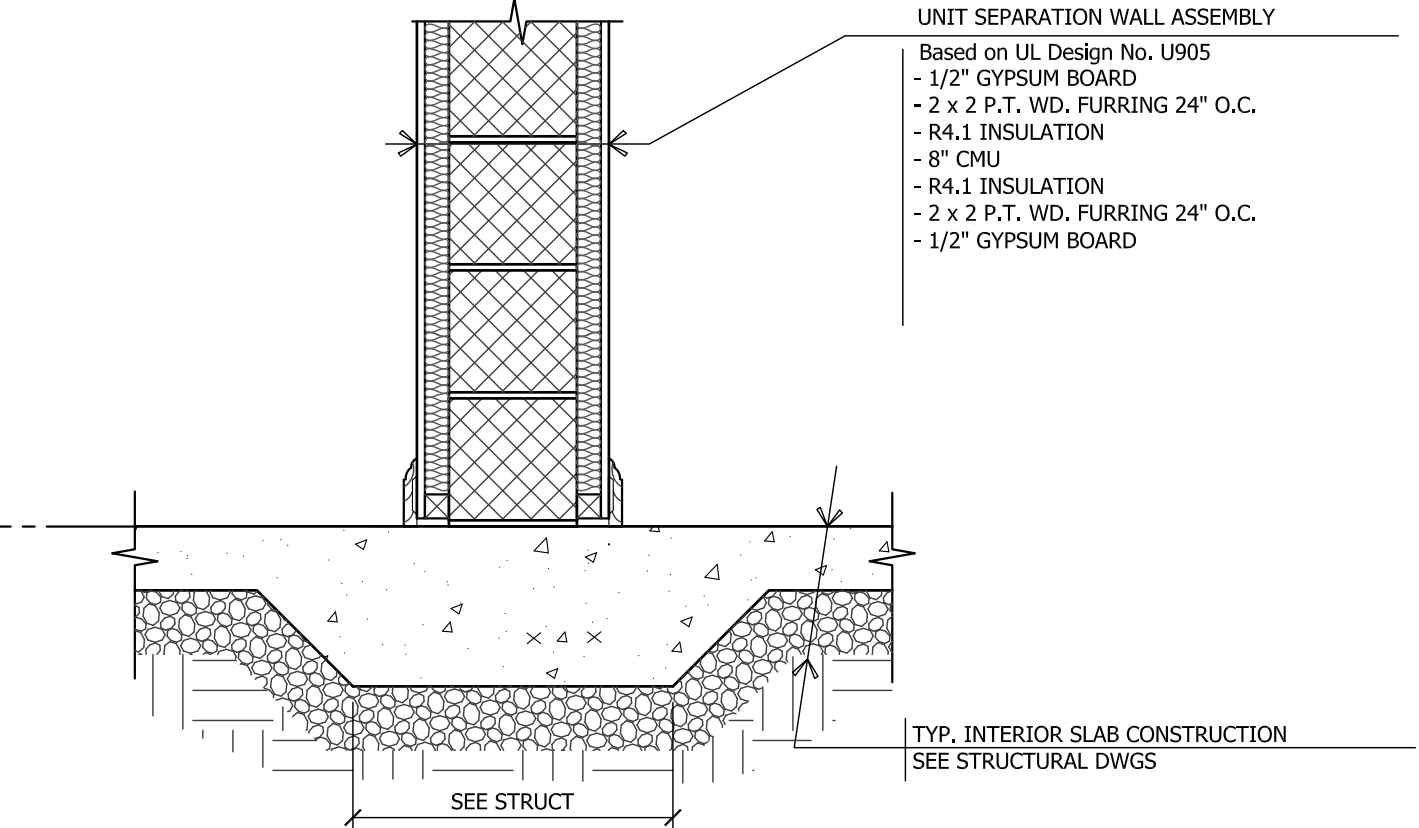
26 UNIT - SEPARATION WALL @ ATTIC
DTL-05 SCALE: 1"=1'-0"



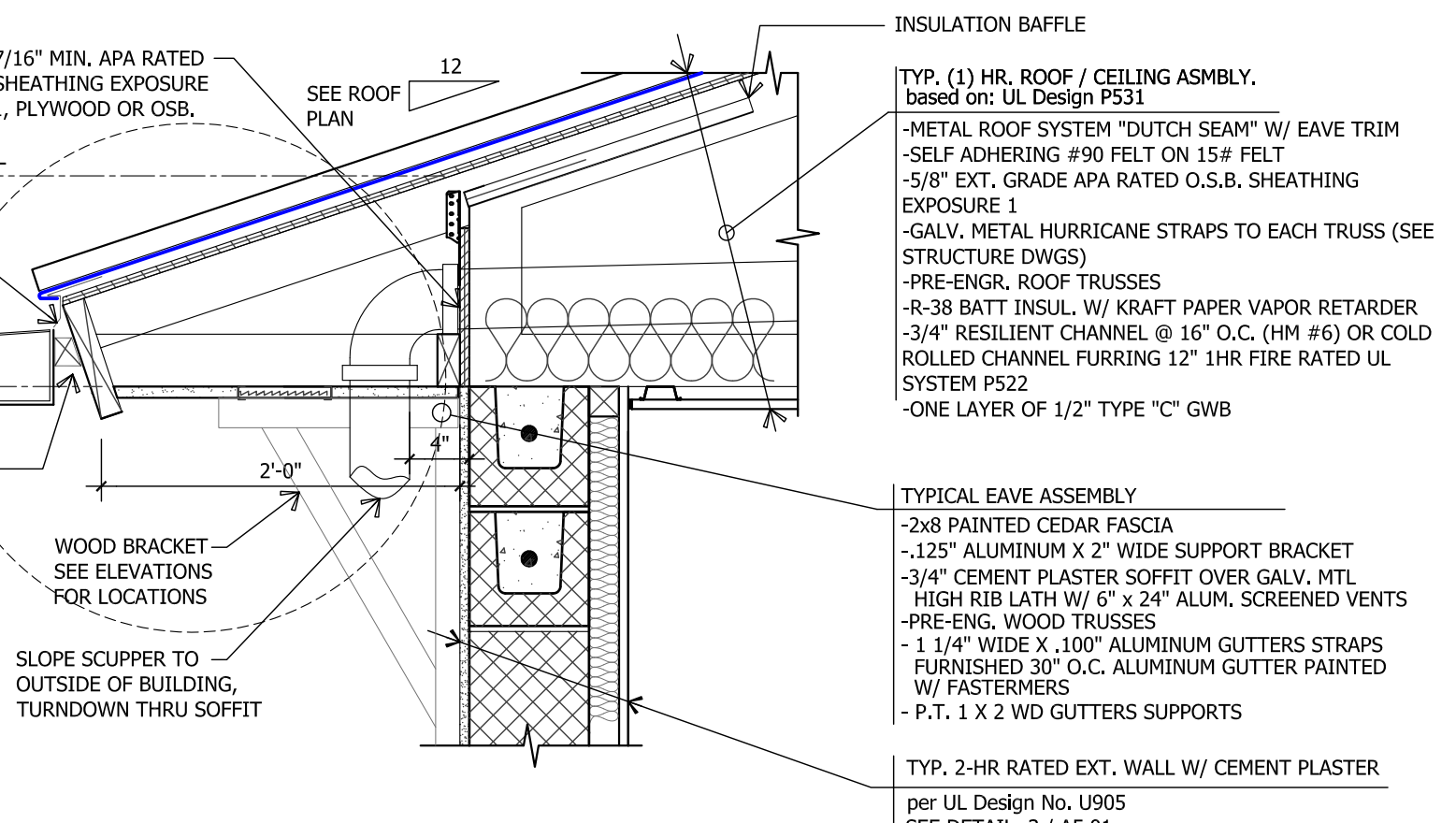
36 UNIT - SEPARATION WALL @ FLOOR CEILING ASSEMBLY
DTL-05 SCALE: 1"=1'-0"



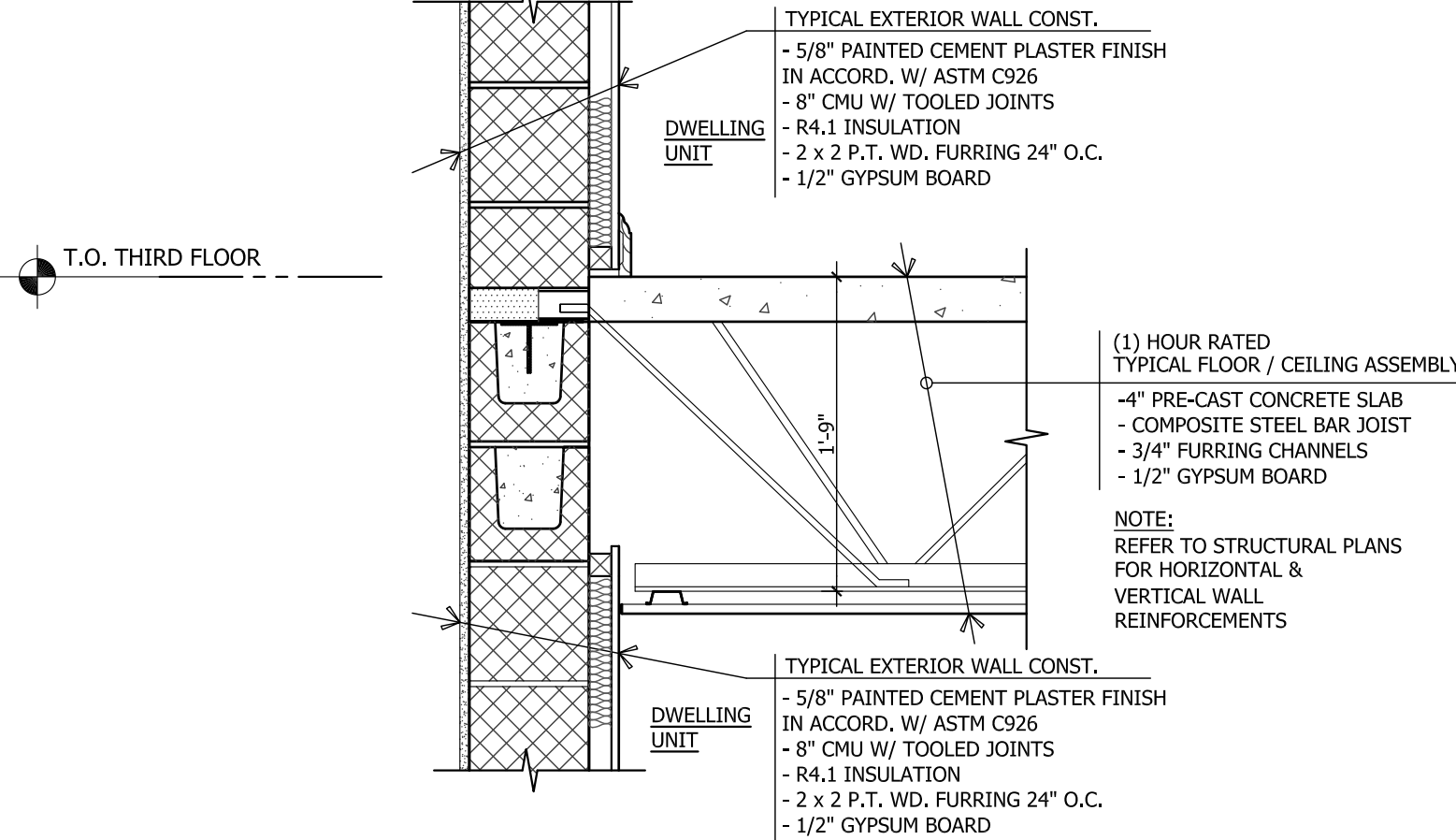
46 UNIT - SEPARATION WALL @ FLOOR CEILING ASSEMBLY
DTL-05 SCALE: 1"=1'-0"



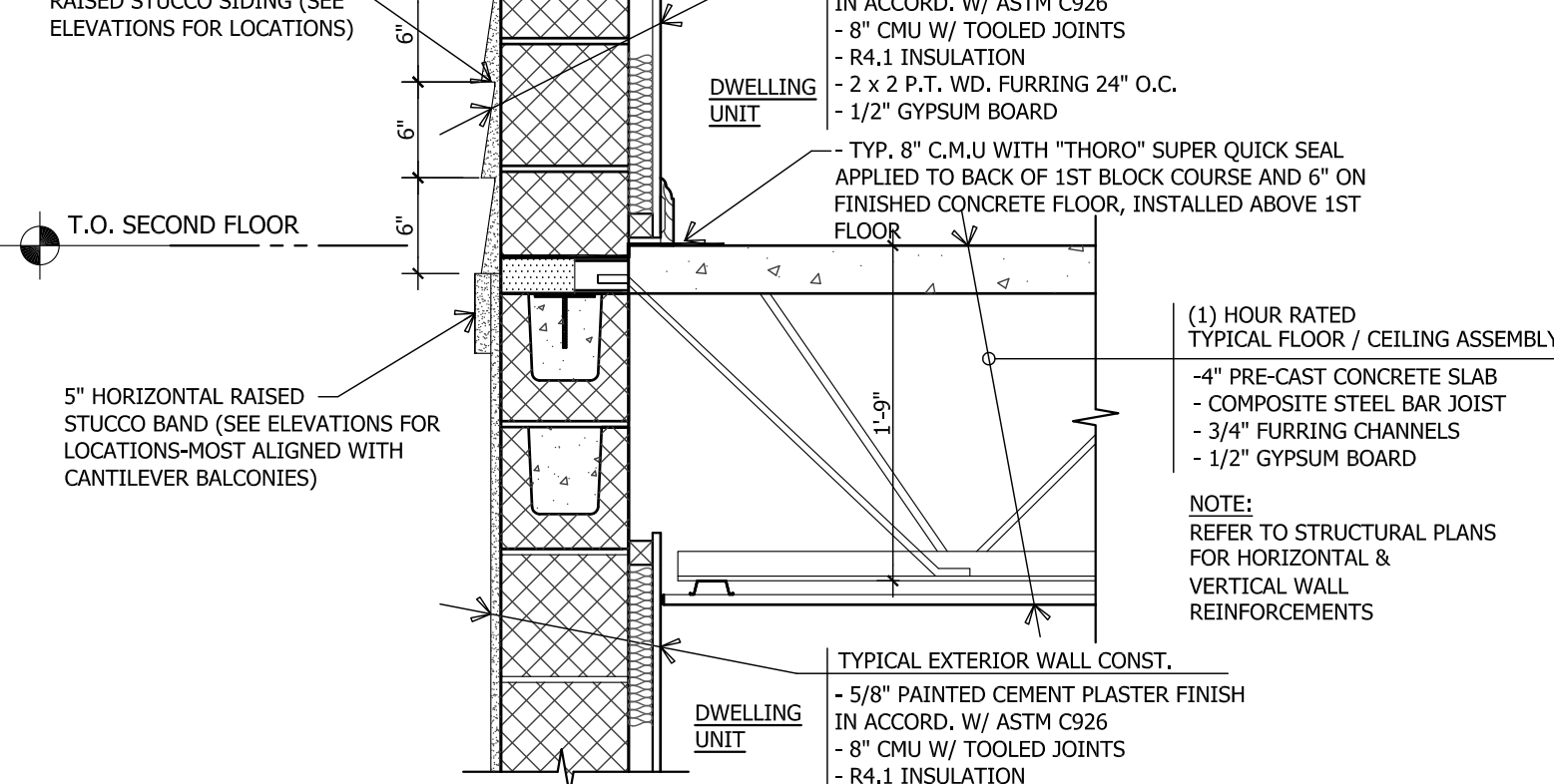
56 UNIT - SEPARATION WALL - 1ST FLOOR
DTL-05 SCALE: 1"=1'-0"



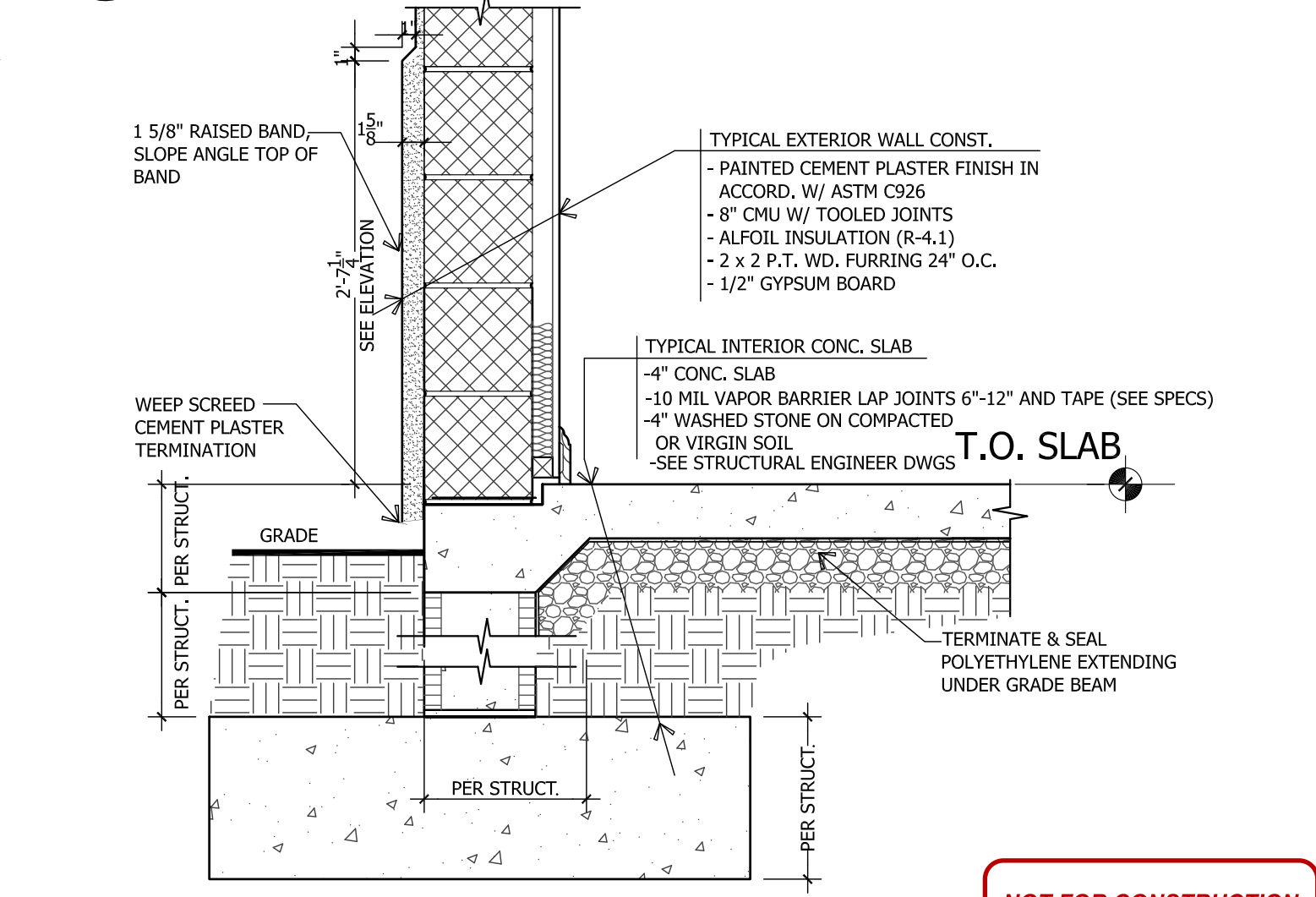
28 TYPICAL EAVE CONSTRUCTION
DTL-04 SCALE: 1"=1'-0"



38 EXTERIOR WALL AT THIRD FLOOR
DTL-03 SCALE: 1"=1'-0"



48 EXTERIOR WALL AT SECOND FLOOR
DTL-02 SCALE: 1"=1'-0"



58 EXTERIOR FOUNDATION WALL - CMU
DTL-01 SCALE: 1"=1'-0"

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1 <td>PERMIT SET <td>10/05/17</td> </td>	PERMIT SET <td>10/05/17</td>	10/05/17

DETAILS

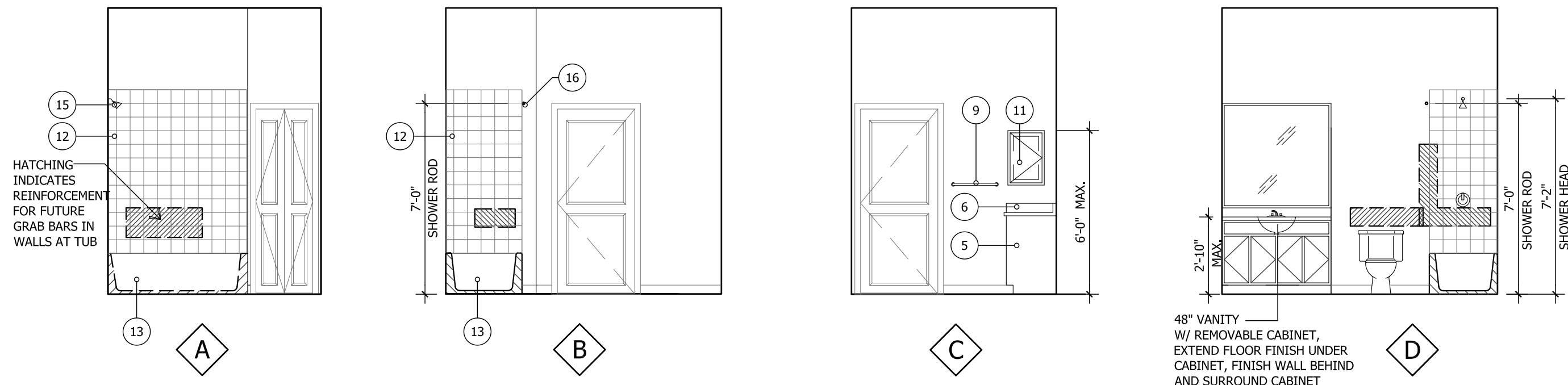
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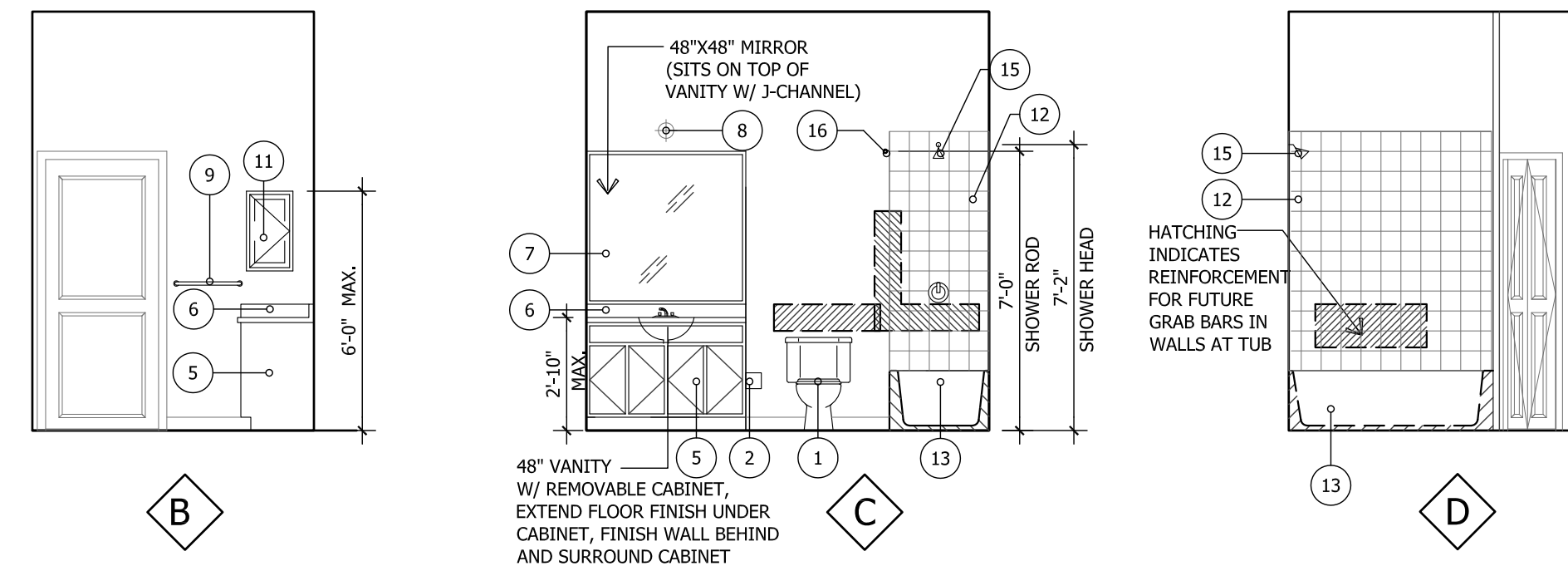
SCALE: AS NOTED
DATE: 04/03/2017

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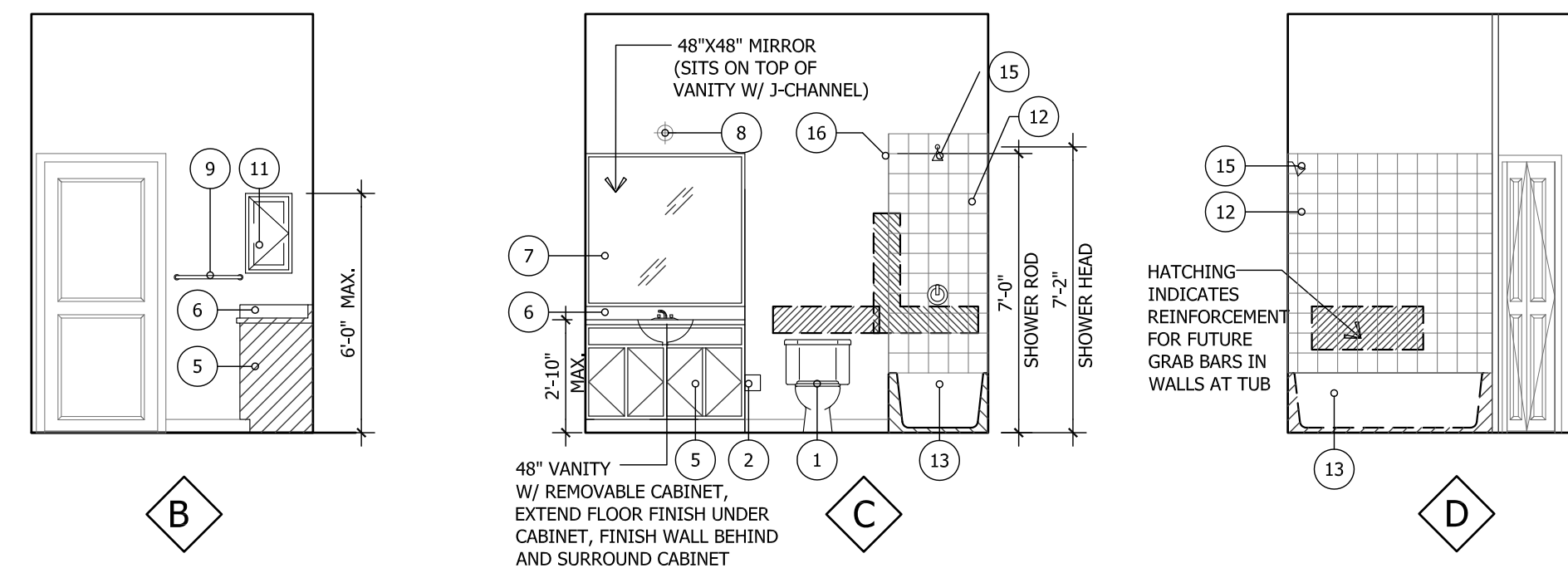
NOT FOR CONSTRUCTION



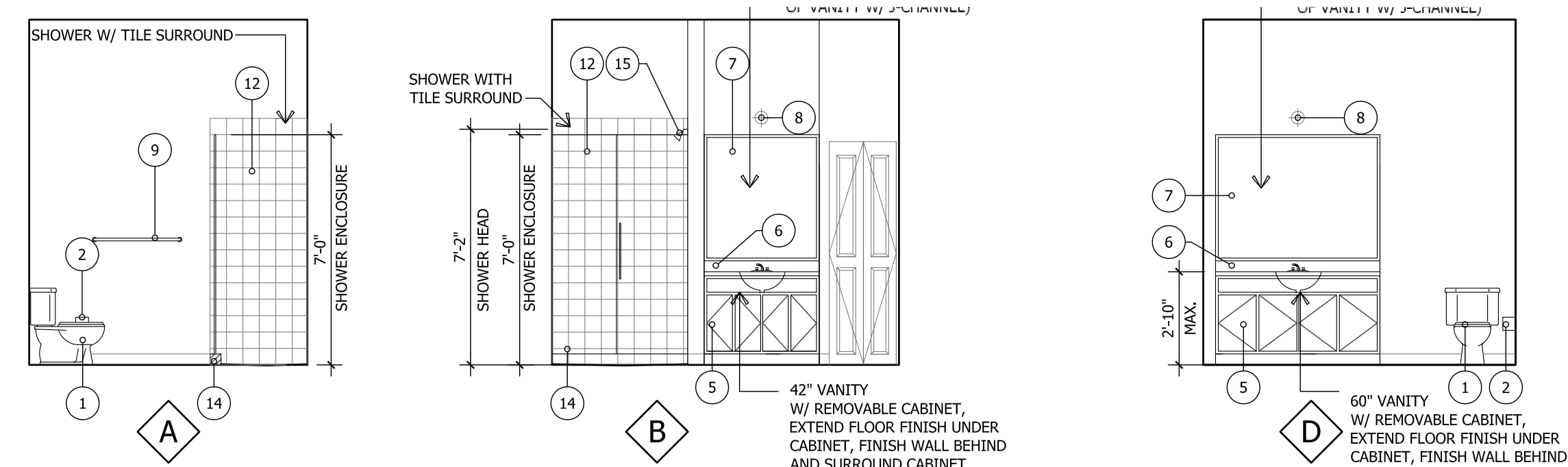
1 MASTER BATHROOM ELEVATIONS
UNIT A1 SCALE: 1/4"=1'-0"



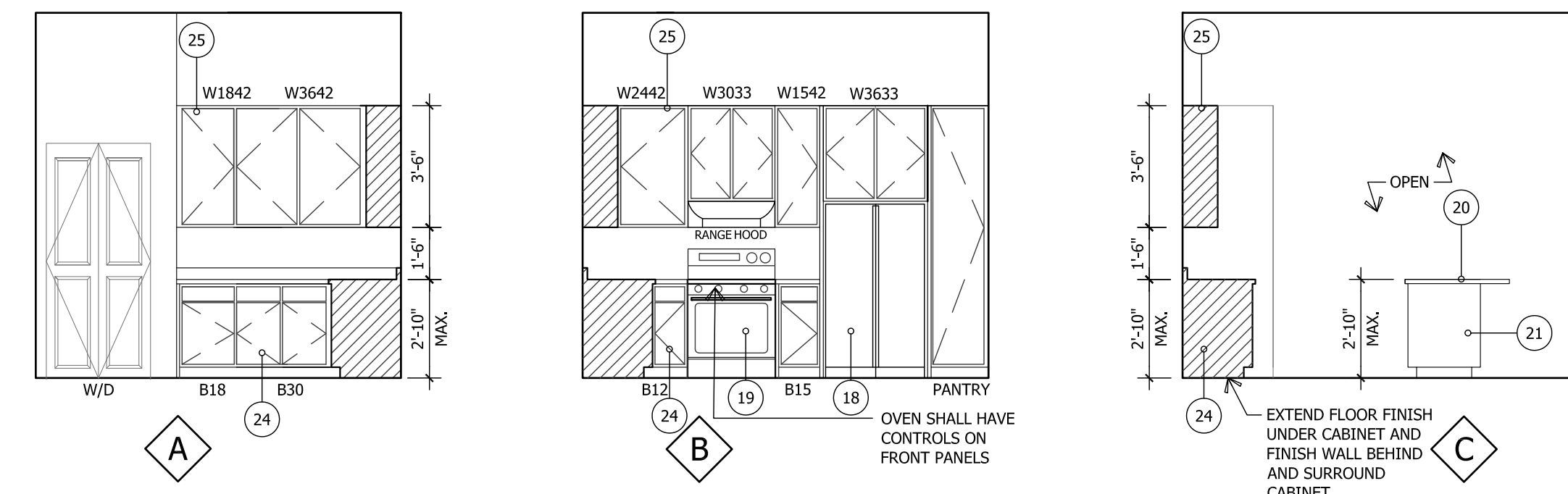
3 MASTER BATHROOM ELEVATIONS
UNIT A1-A SCALE: 1/4"=1'-0"



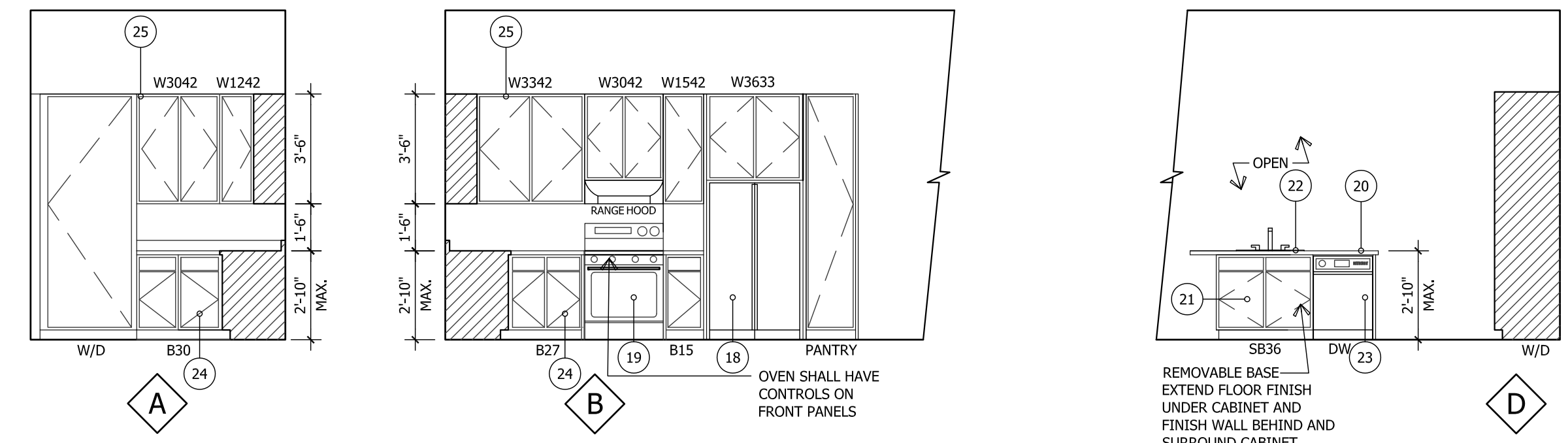
5 MASTER BATHROOM ELEVATIONS
UNIT A1-B SCALE: 1/4"=1'-0"



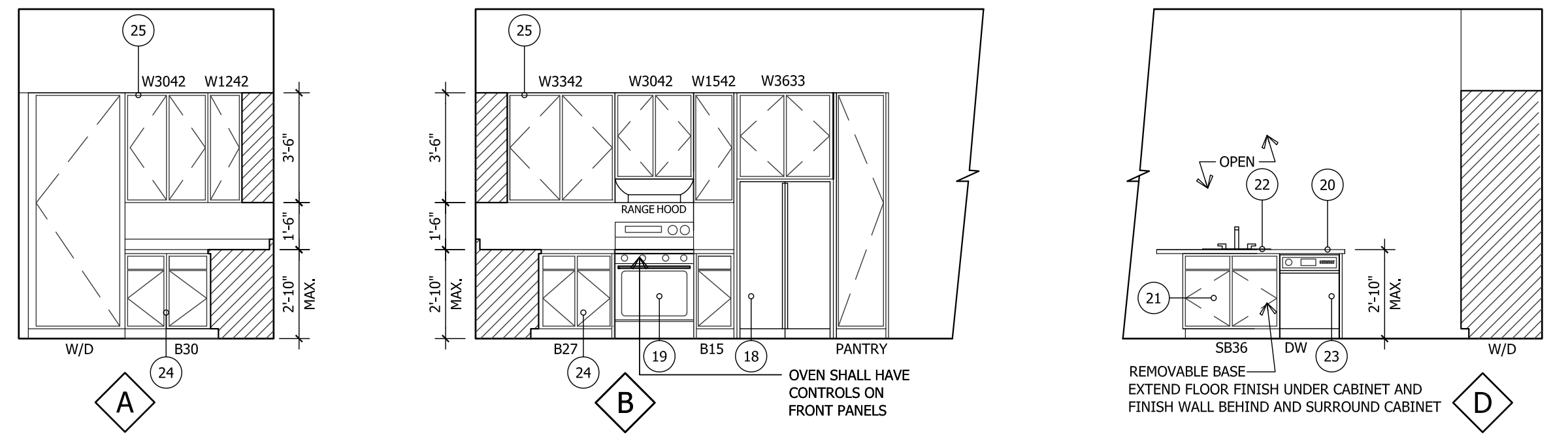
7 MASTER BATHROOM ELEVATIONS
UNIT B1 SCALE: 1/4"=1'-0"



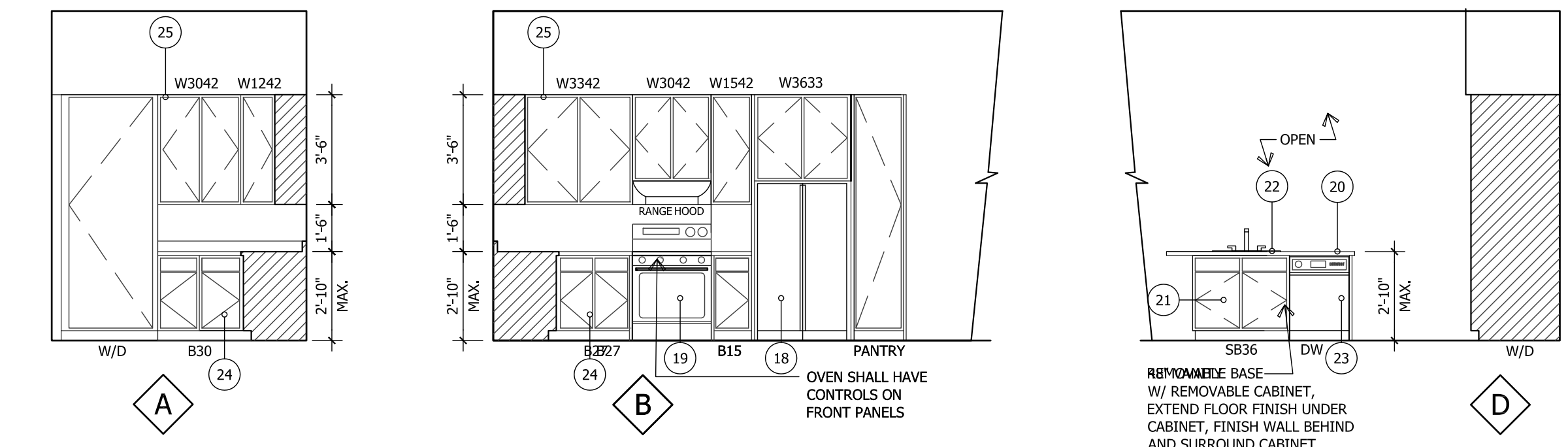
9 KITCHEN ELEVATIONS
UNIT B1 SCALE: 1/4"=1'-0"



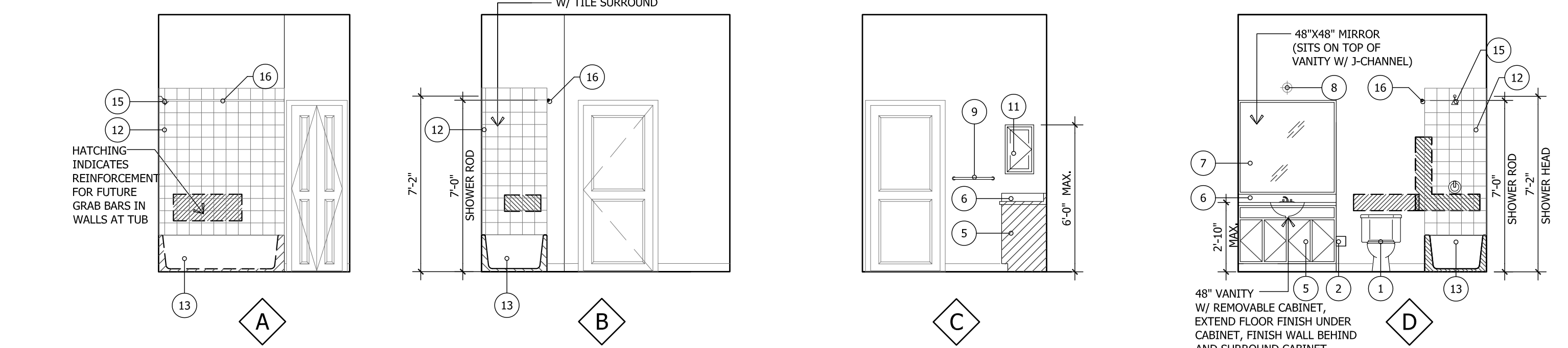
2 KITCHEN ELEVATIONS
UNIT A1 SCALE: 1/4"=1'-0"



4 KITCHEN ELEVATIONS
UNIT A1-A SCALE: 1/4"=1'-0"



6 KITCHEN ELEVATIONS
UNIT A1-B SCALE: 1/4"=1'-0"



8 MASTER BATHROOM OPTION A
UNIT B1 SCALE: 1/4"=1'-0"

FIXTURE SCHEDULE		
1. WATER CLOSET	9. 24" 36" METAL TOWEL BAR	17. TUB UNIT
2. TOILET PAPER HOLDER	10. WALL HOOK	18. REFRIGERATOR
3. SHOWER PAN ENSEMBLE (SEE DETAILS FOR SIZES)	11. RECESSED MEDICINE CABINET	19. OVEN/RANGE W/ MICROWAVE HOOD ABOVE *
4. FRAME LESS (CAT. 2) GLASS SHOWER ENCLOSURE WITH INCORPORATED TOWEL BAR	12. CERAMIC TILE FINISH	20. COUNTERTOP + 34" A.F.F.
5. VANITY BASE CABINET	13. 5" TUB/SHOWER	21. BASE SINK CABINET
6. 4" BACKSPASH / SIDESPLASH	14. SHOWER PAN ENSEMBLE WITH GLASS ENCLOSURE ON 4" CURB (SEE FLOOR PLAN FOR SIZES)	22. S.S. SINK W/ GARBAGE DISPOSAL
7. MIRROR (MATCH LENGTH OF VANITY)	15. MOUNT SHOWER HEAD MOUNTED AT +7'-2" A.F.F.	23. DISHWASHER
8. VANITY LIGHT FIXTURE	16. CHROME SHOWER ROD MOUNTED AT +84" A.F.F.	24. 24" BASE CABINET
		25. 12" UPPER CABINETS
		26. SOFFIT (SEE DETAILS)

NOTES:

- FOR SPECIFIC FIXTURE AND APPLIANCE SELECTIONS AND INFORMATION REFER TO G.C.
- FHA REQUIREMENTS SEE SHEET A 1.02 & A 1.03
- FILLER PANELS (SEE KITCHEN SPECS. DRAWINGS) BY OTHERS

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THE MARTIN ARCHITECTURAL GROUP, P.C.
ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION
6810 Lyons Technology Circle, Suite 185, Coconut Creek FL 33073
P (954) 428-1618 F (954) 428-4416

James M. Rivello & Dominick Ranieri
P.A.:
P.M.: A. Garcia
DRAWN BY: AG/AP/DR
PROJECT NO.: 1856-01

NO.	REVISION	DATE
1	PERMIT SET	10/05/17

INTERIOR ELEVATIONS

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SCALE: AS NOTED
DATE: 04/03/2017

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