

# RAVEN'S NEST - APARTMENTS

Galloway Township, NJ 08205



**THE MARTIN ARCHITECTURAL GROUP,  
P.C.**

**PERMIT SET**

June 6, 2022

*NOT FOR CONSTRUCTION*

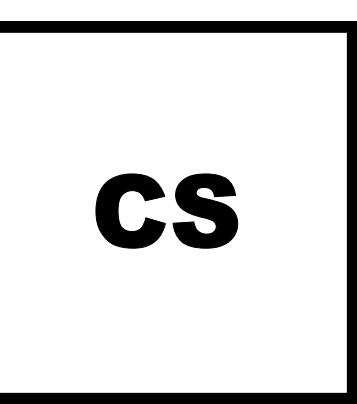
NO.	REVISION	DATE
0	PERMIT SET	6/6/2022

**1826-05**  
PERMIT SET  
6/6/2022

**Davis Enterprise**  
**RAVEN'S NEST - APARTMENTS**  
Galloway Township, NJ 08205

Professional Architect:  
DANIEL MCCAULEY  
NJ License Number:  
21A001712600

<p><b>OWNER:</b> Davis Enterprises 8000 Sagmore Dr, Ste 8201 Marlton, NJ 08053 P: 856.985.1200 F: 856.985.9199 Contact: Mitchell R. Davis e: mdavis@davisenterprises.com</p>	<p><b>ARCHITECT:</b> The Martin Architectural Group 240 N 22nd St, Philadelphia, PA 19103 P: 215.665.1080 F: 215.563.7818 Contact: Dan McCauley e: dmccauley@martinaia.com</p>	<p><b>STRUCTURALAE:S ENGINEER:</b> 238 N 22nd St, Philadelphia, PA 19103 P: 215.665.8570 Contact: Steve Kronenbitter e: skronenbitter@ae-structure.com</p>	<p><b>MECHANICA PE Services L ENGINEER:</b> 9 North Broadway, Lebanon, OH 45036 P: 513.836.3810 Contact: A.J. Meyer e: ameyer@pe-services.com</p>	<p><b>CIVIL ENGINEER:</b> Dixon Associates Engineering 335 East Jimmie Leeds Rd, 2nd Fl, Galloway, NJ 08205 P: 609.652.7131 Contact: Stephen Duda e: stephen.duda@dixonassociates.com</p>
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**GENERAL NOTES**

- ALL DIMENSIONS ARE TO ROUGH FRAMING STUD TO STUD & 3 1/2" STUDS UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
- ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
- WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
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- WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
- ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS
- TYPE A UNITS = 24 UNITS x 5% = 1.2 UNITS = 2 UNITS, ONE UNIT MIN. EACH BEDROOM TYPE = 2 UNITS TOTAL

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DANIEL MCCAULEY  
2.10.07.2600  
Professional Architect  
NJ License Number:

**THE MARTIN ARCHITECTURAL GROUP,**  
ARCHITECTS AND PLANNERS  
A PROFESSIONAL CORPORATION  
240 NORTH 23RD STREET, PHILADELPHIA, PA, 19103  
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY  
P.M.: JULIAN DELGADO  
DRAWN BY: TT  
PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	6/6/2022
2	OWNER REQUEST	6/21/2022
3	FOUNDATION DIMENSION CLARIFICATION	10/25/2022

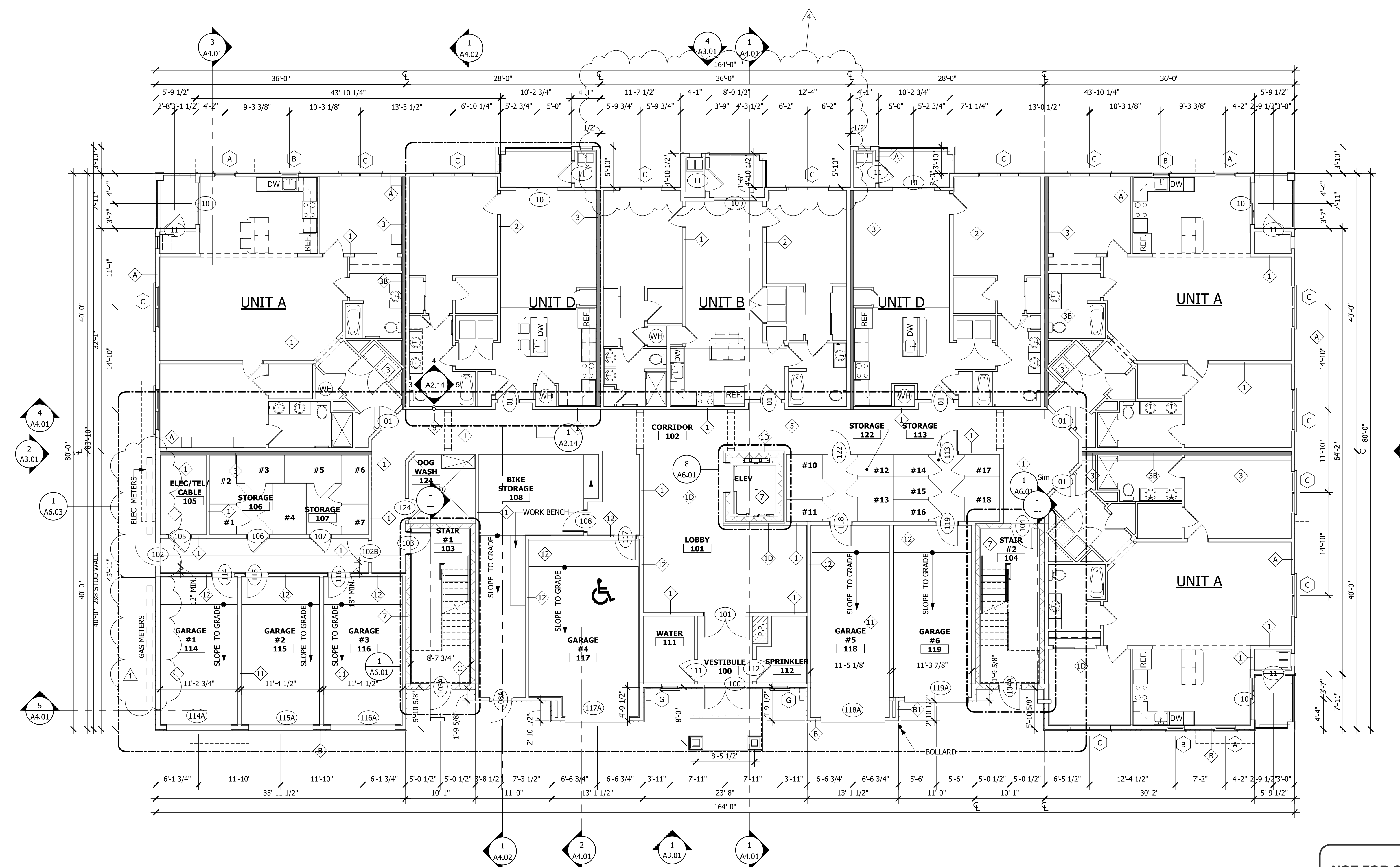
ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

**FIRST FLOOR PLAN**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

SCALE: AS NOTED  
DATE: 12/31/2017

Building #3

**A2.01**  
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**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

BUILDING #3

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 2.10.07.2600  
 Professional Architect  
 NJ License Number:

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 A PROFESSIONAL CORPORATION  
 240 NORTH 23RD STREET, PHILADELPHIA, PA, 19103  
 P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY  
 P.M.: JULIAN DELGADO  
 DRAWN BY: TT  
 PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	06/02/22
2	FOUNDATION DIMENSION CLARIFICATION	10/26/2022

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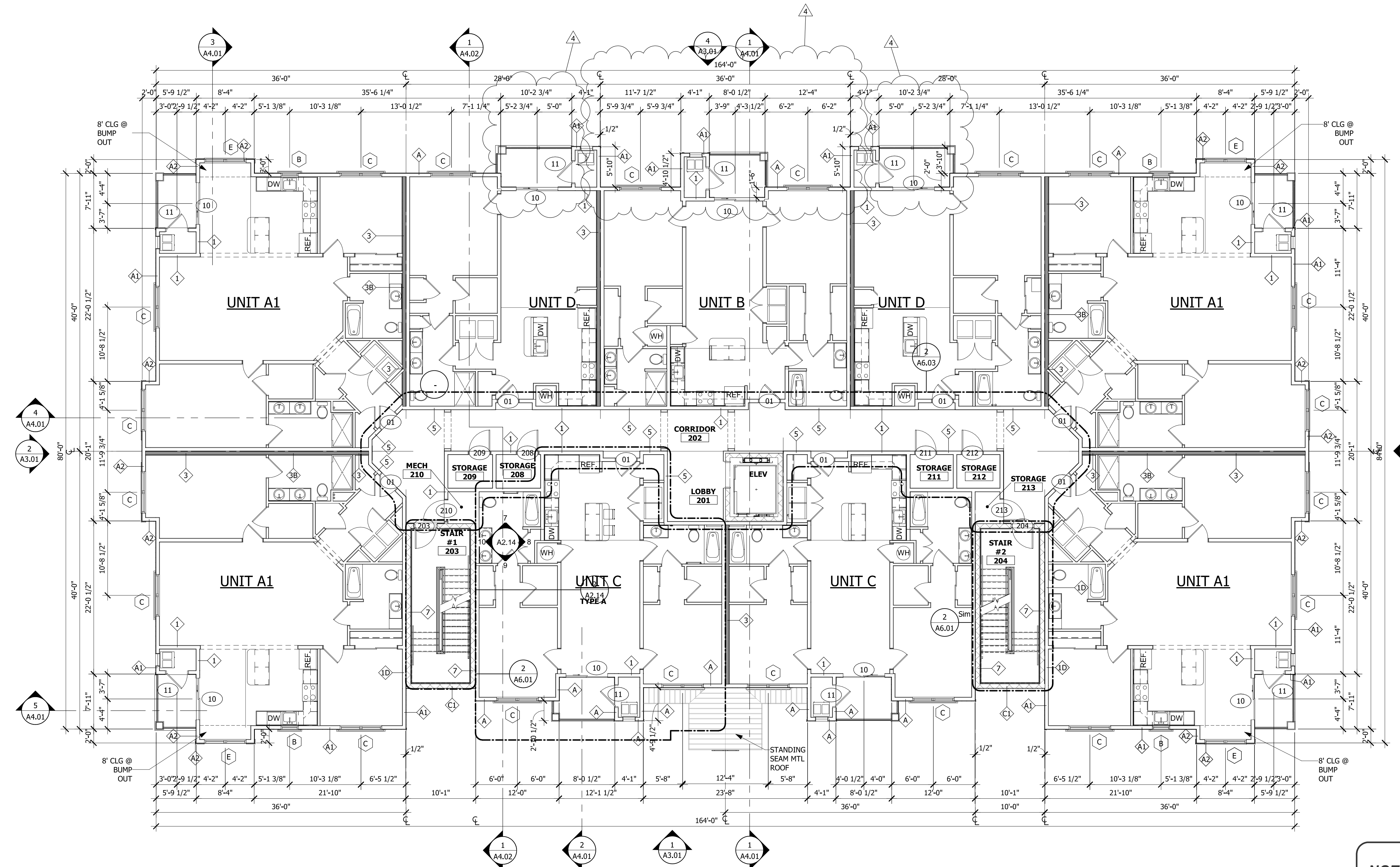
**SECOND FLOOR PLAN**  
**RAVEN'S NEST - APARTMENTS**  
 Building #3  
 Gateway Township, NJ 08205

SCALE: AS NOTED  
 DATE: 12/31/2017

Building #3  
**A2.02**  
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**GENERAL NOTES**

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**1 SECOND FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

**NOT FOR CONSTRUCTION**

BUILDING #3

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DANIEL MCCAULEY  
2.10.07.2600

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PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	06/06/2022
4	FOUNDATION DIMENSION CLARIFICATION	10/26/2022

ISSUED FOR CONSTRUCTION THROUGH REV. X MM-DD-YYYY

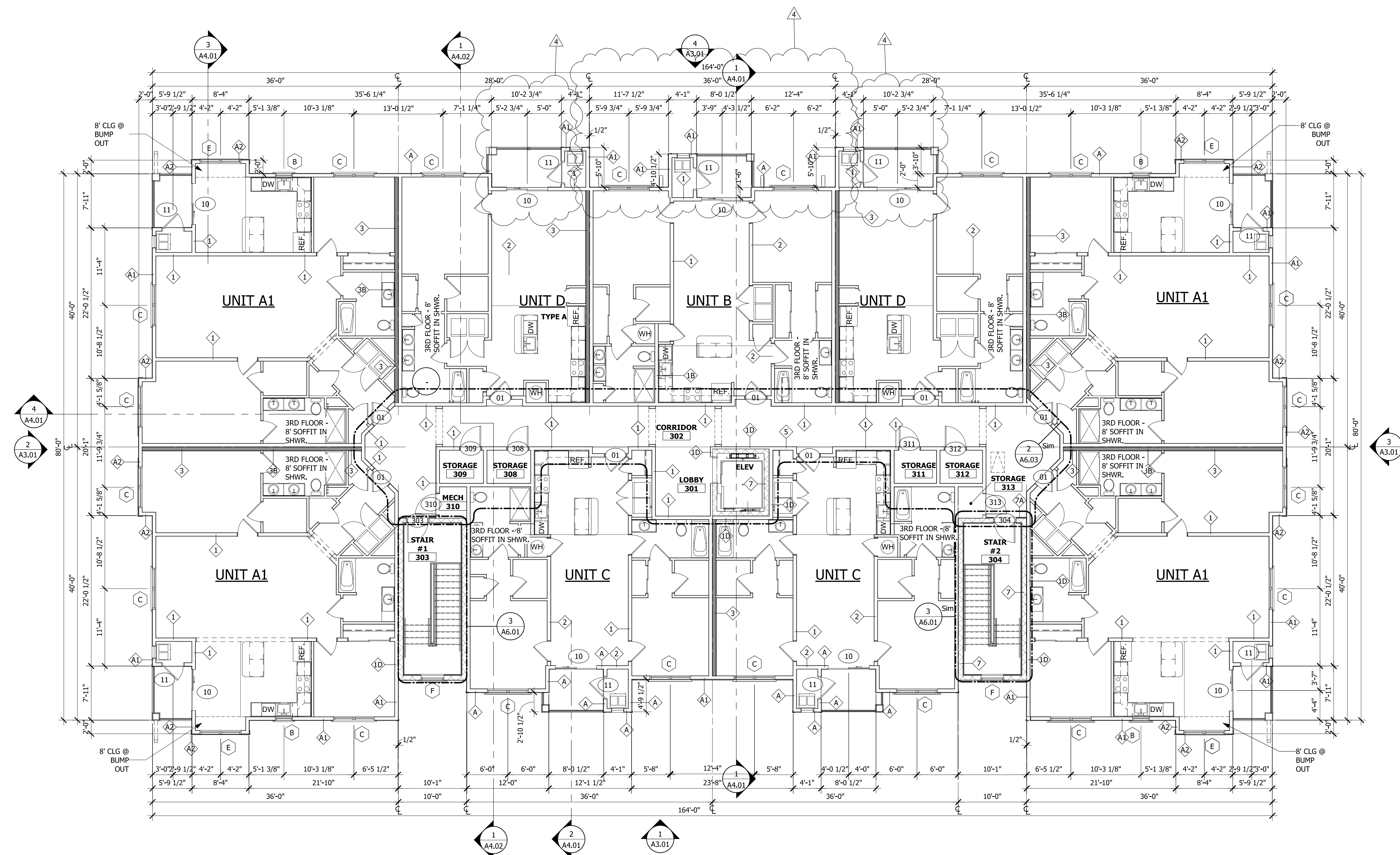
**THIRD FLOOR PLAN**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

SCALE: AS NOTED  
DATE: 12/31/2017

Building #3

**A2.03**

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**1 THIRD FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

BUILDING #3

**VENTILATION NOTE:**

VENTILATION REQUIREMENTS AREA BASED ON: IBC 2015, NJ EDITION, SECTION 1203.2:

THE MINIMUM REQUIRED AREA IS PERMITTED TO BE REDUCED TO 1/300, PROVIDED THAT A VAPOR RETARDER HAVING A PERMEANCE NOT EXCEEDING 1 PERM IS INSTALLED ON THE WARM SIDE OF THE CEILING, OR THE RIDGE OR GABLE VENTILATION OPENINGS ARE LOCATED IN THE UPPER THIRD OF THE SPACE TO BE VENTILATED WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. NOTE: CODE ALLOWS 40% AT RIDGE & 60% AT SOFFIT.

NOTE: ONE HALF OF THE ATTIC VENTILATION IS PROVIDED BY RIDGE AND GABLE VENTS AND THE BALANCE TO BE PROVIDED BY SOFFIT VENTS.

RIDGE VENT IS BASED ON "VENTSURE" WITH A NET FREE AREA OF 20 SQ. IN. PER LINEAR FOOT.

SUPPLEMENTARY VENTILATION IS BASED ON "LOMANCO" LOW PROFILE ROOF LOUVER MODEL NO. 865 WITH A NET FREE AREA OF 61 SQ. IN. PER UNIT.

PERFORATED SOFFIT VENT IS BASED ON "AIR VENT INC." OR EQUAL TO WITH A NET FREE AREA OF 9 SQ. IN. PER LINEAR FOOT.

SOFFIT INTAKE VENT IS BASED ON "LOMANCO C816" OR EQUAL WITH A NET FREE AREA OF 65 SQ. IN. PER VENT

ATTIC VENTILATION CALCULATIONS											
Attic Area	Draft Stopping Area	Req'd Area of Ventilation	Req'd Soffit Area	Req'd Exhaust Area	Perf. Soffit Lin. Ft.	Perf. Soffit Provided	Number of Intake Vents	Soffit Vent Area	Total Soffit Area	Roof Vent #	Ridge Vent Area
Attic Area 1	2,915 SF	1,399 in <sup>2</sup>	700 in <sup>2</sup>	700 in <sup>2</sup>	0"	0 in <sup>2</sup>	11	715 in <sup>2</sup>	715 in <sup>2</sup>	4	244 in <sup>2</sup>
Attic Area 2	2,205 SF	1,058 in <sup>2</sup>	529 in <sup>2</sup>	529 in <sup>2</sup>	0"	0 in <sup>2</sup>	9	585 in <sup>2</sup>	585 in <sup>2</sup>	6	366 in <sup>2</sup>
Attic Area 3	2,003 SF	961 in <sup>2</sup>	481 in <sup>2</sup>	481 in <sup>2</sup>	0"	0 in <sup>2</sup>	8	520 in <sup>2</sup>	520 in <sup>2</sup>	2	122 in <sup>2</sup>
Attic Area 4	1,001 SF	480 in <sup>2</sup>	240 in <sup>2</sup>	240 in <sup>2</sup>	0"	0 in <sup>2</sup>	4	260 in <sup>2</sup>	260 in <sup>2</sup>	4	244 in <sup>2</sup>
Attic Area 5	2,927 SF	1,405 in <sup>2</sup>	702 in <sup>2</sup>	702 in <sup>2</sup>	0"	0 in <sup>2</sup>	11	715 in <sup>2</sup>	715 in <sup>2</sup>	4	244 in <sup>2</sup>
Attic Area 6	1,911 SF	917 in <sup>2</sup>	459 in <sup>2</sup>	459 in <sup>2</sup>	0"	0 in <sup>2</sup>	8	520 in <sup>2</sup>	520 in <sup>2</sup>	0	0 in <sup>2</sup>
											Ridge Vent Lin. Ft.
											24'-0"
											200 in <sup>2</sup>
											360 in <sup>2</sup>
											0"
											480 in <sup>2</sup>
											480 in <sup>2</sup>
											500 in <sup>2</sup>
											Vent Provided
											724 in <sup>2</sup>
											566 in <sup>2</sup>
											482 in <sup>2</sup>
											244 in <sup>2</sup>
											724 in <sup>2</sup>
											500 in <sup>2</sup>

**ROOF NOTES**

PROVIDE ICE AND WATERSHIELD TO 24" BEYOND FACE OF EXTERIOR WALL.

GUTTERS ARE SHOWN FOR LOCATION ONLY. LOCATION AND SIZING OF DOWNSPOUTS DUE TO SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR AND APPROVED BY ARCHITECT AND OWNER.

DOWNSPOUTS MUST NOT DISCHARGE ONTO DECKS OR PATIOS.

**GUTTERS & DOWNSPOUTS**

-GUTTER SIZING BASED ON A 6" WIDE "OGEE" STYLE DOWNSPOUT MOUNTED HORIZONTAL (LEVEL)

- DOWNSPOUTS BASED ON STANDARD 2 3/4"X4 1/4" CORRUGATED RECTANGLE DOWNSPOUTS.

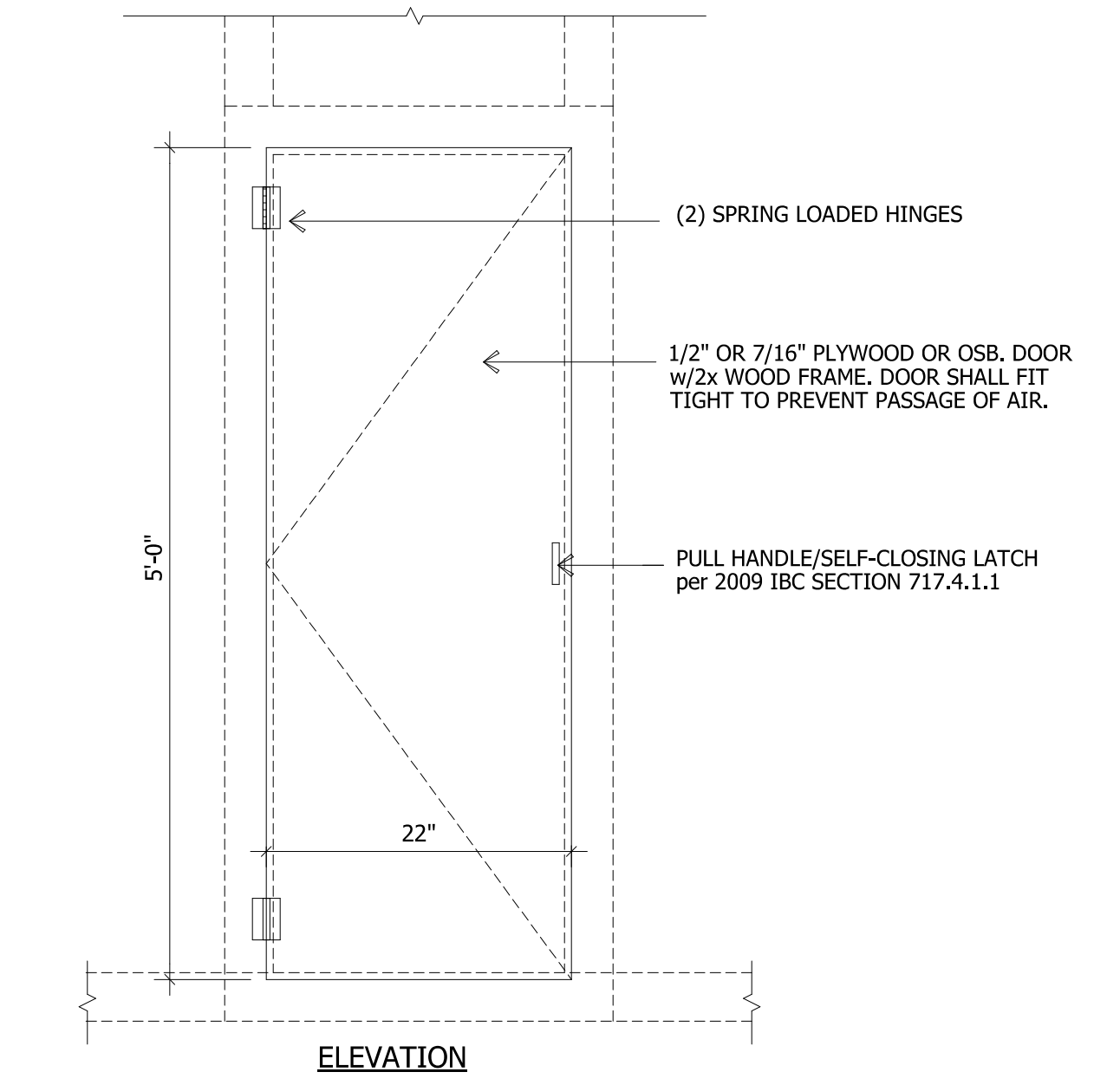
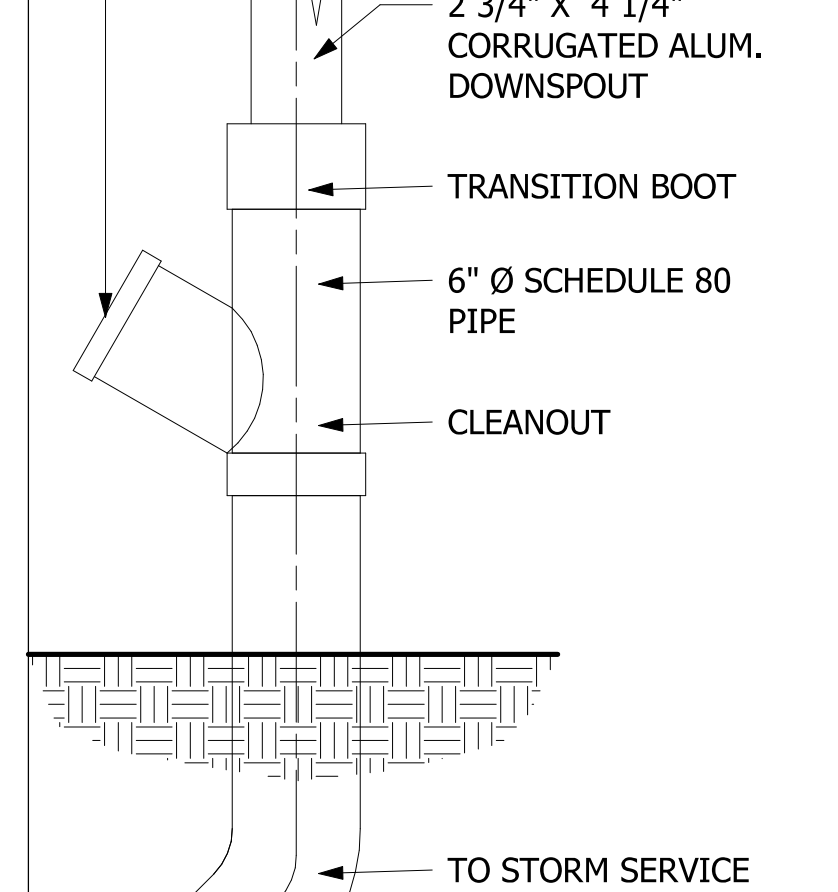
- DAYLIGHTS @ DOWNSPOUTS ON REAR TO CONNECT SPLASH BLOCKS.

- TIE FRONT AND SIDE OF BUILDING GUTTERS TO UNDERGROUND STORM SERVICE PER CIVIL ENGINEER.

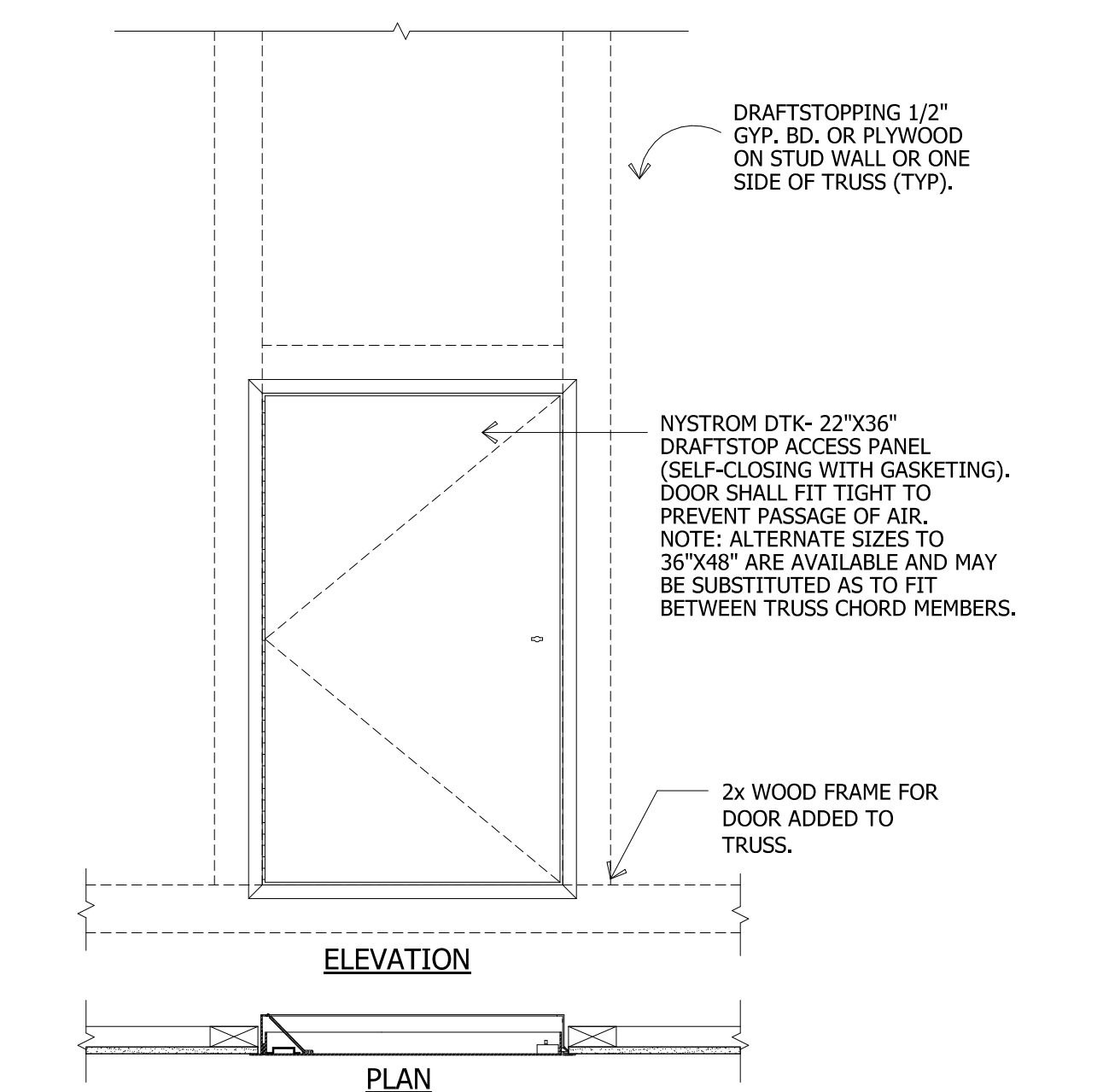
- USE 6" Ø SCHEDULE 80 PIPE TO BELOW GRADE.

- USE PLASTIC TRANSITION BOOT TO TIE DOWNSPOUT TO BELOW GRADE PIPE.

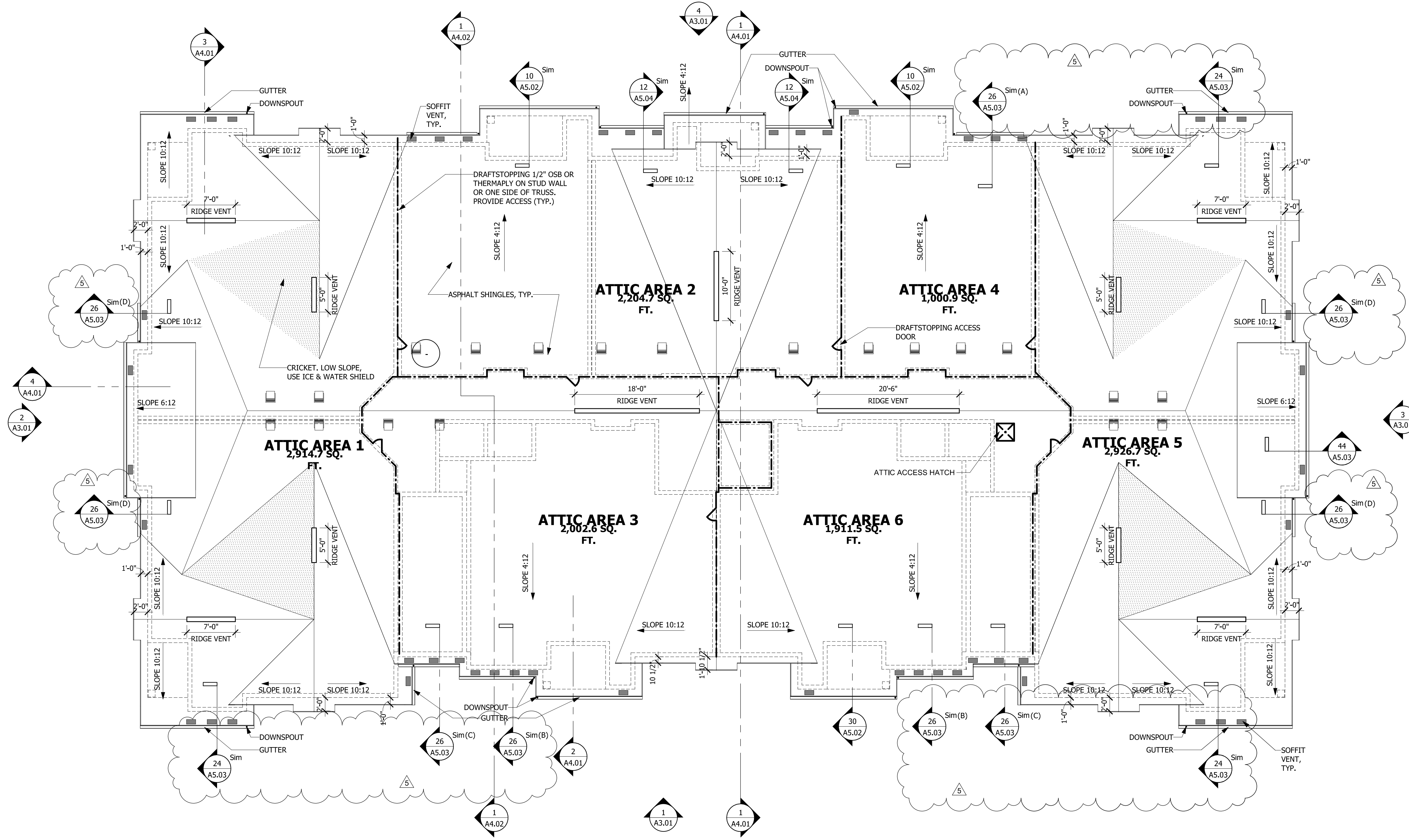
- PROVIDE SPLASH GUARDS @ INSIDE GUTTER CORNERS.



**4 DRAFT STOPPING ACCESS DOOR ALTERNATIVE**  
SCALE: 1" = 1'-0"



**3 DRAFT STOPPING ACCESS DOOR**  
SCALE: 1" = 1'-0"



**1 ROOF PLAN**  
SCALE: 1/8" = 1'-0"

**NOT FOR CONSTRUCTION**

BUILDING #3

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2-14-07/2680

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PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	06/06/2022
2	ROOF FLOOR CLARIFICATIONS	11/15/2022

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

**ROOF PLAN**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

SCALE: AS NOTED  
DATE: 12/31/2017

Building #3

**A2.04**  
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### UNIT NOTES

- ALL UNITS SHALL COMPLY WITH ADAPTABILITY REQUIREMENTS AS LISTED IN ANSI A117.1 (2009) FOR TYPE A DWELLING UNITS
- ALL FINISHES MUST EXTEND UNDER REMOVABLE CABINETS AT SINK BASES AND WORKSPACES.
- 2% OF ALL UNITS SHALL COMPLY WITH THE REQUIREMENTS OF THE ACCESSIBLE COMMUNICATION FEATURES AS LISTED IN ANSI A117.1 (2009) SECTION 1006. COORDINATE UNIT LOCATION WITH OWNER
- FINAL KITCHEN CABINET LAYOUT TO BE PREPARED BY CABINET MANUFACTURER

**NOTE:** SEE SHEETS A10.01 & A10.02 FOR ADAPTABLE FEATURES. ALL UNITS SHALL BE PREPARED FOR ADAPTION AS REQUIRED

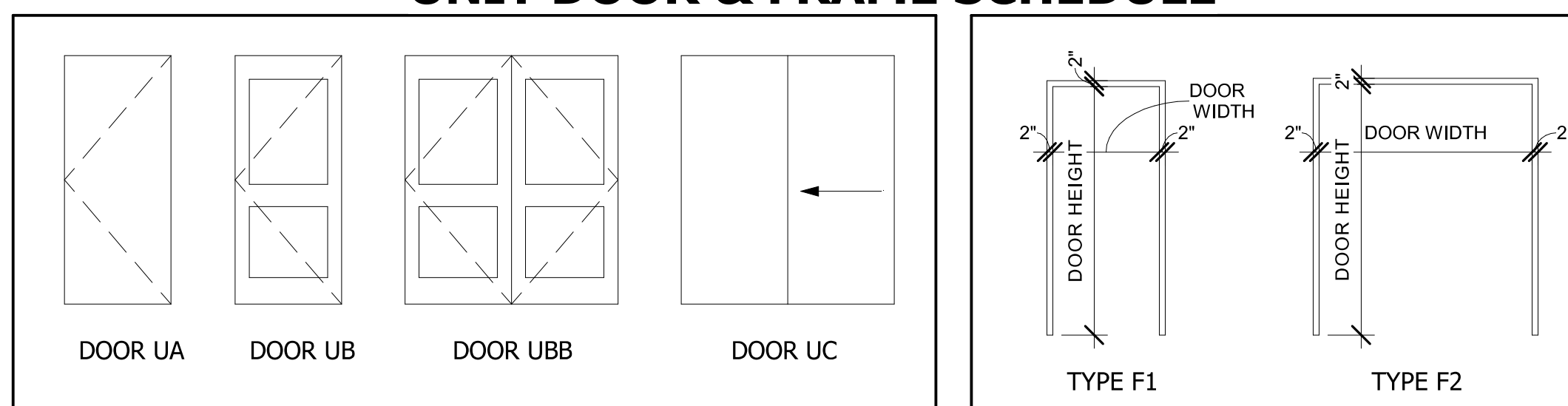
### UNIT FINISH SCHEDULE

Name	Floor Finish	Wall Finish	Ceiling Finish	Door / Win. Trim	Ceiling Height	Remarks
BATH 1	4	B	B	A	9'-0"	
BATH 2	4	B	B	A	9'-0"	
BEDROOM 1	6	F	B	A	9'-0"	
BEDROOM 2	6	F	B	A	9'-0"	
BREAKFAST NOOK	6	F	B	A	9'-0"	
COVER	6	F	B	A	9'-0"	
KITCHEN	6	F	B	A	9'-0"	
LIN	6	F	B	A	9'-0"	
LIVING/DINING	6	F	B	A	9'-0"	
LDNY	2	B	B	A	9'-0"	
MASTER BATH	4	B	B	A	9'-0"	
MASTER BEDROOM	6	F	B	A	9'-0"	
WIC	6	F	B	A	9'-0"	

FLR./BASE	WALL	CEILING	TRIM	MATERIAL GLOSSARY
1. CPT/WD	A. GWB	1. GNB	A. 1x3 TRIM	ACT ACOUSTICAL CEILING TILE
2. VCT/WD	B. MR. GWB	2. MR. GWB	B. 1x4 BASE	CPT CARPET
3. CT/WD	C. CT	3. ACT		CT CERAMIC TILE
4. C/CT	D. WD PANEL	4		CONC. CONCRETE
5. T/WD	E. BRK	5		FRP FIBERGLASS REINFORCED PLASTIC
6. LVT/WD	F. 5/8" X GWB	6	5/8" X GWB	GWB GYPSUM WALL BOARD
7. CONC.	G. FRP	7		LVT LUXURY VINYL TILE
				MR. GWB MOISTURE RESISTANT GWB
				T TILE
				VCT VINYL COMPOSITION TILE
				WC WALL COVERING
				WD WOOD

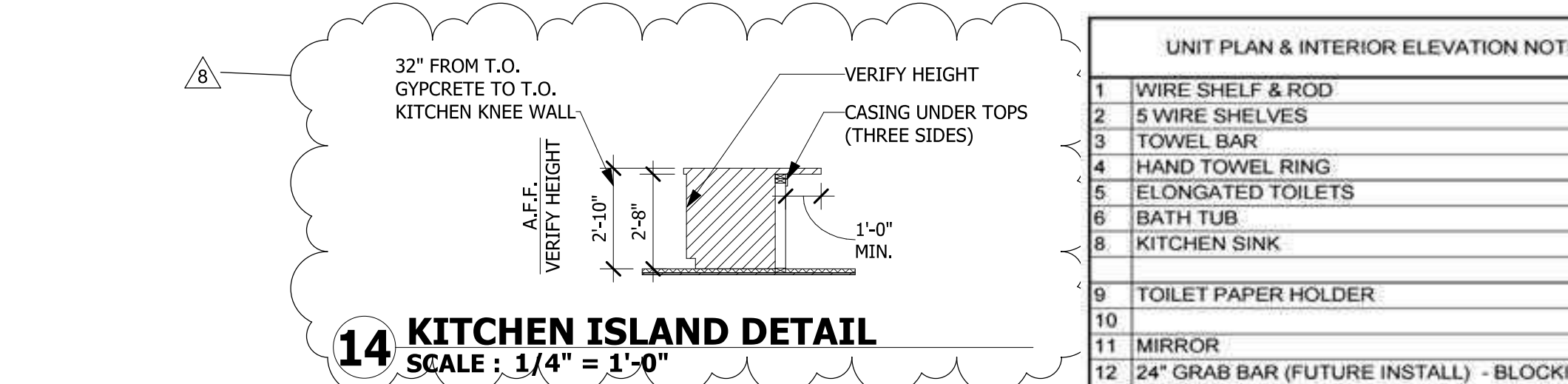
**NOTE:** ALL UNITS TO HAVE 1x4 SQUARE BASE TRIM W/ QUARTER ROUND, PAINTED  
ALL WINDOWS & DOORS TO HAVE 1x3 SQUARE TRIM, PAINTED

### UNIT DOOR & FRAME SCHEDULE



Door Number	Width	Height	Thickness	Construction Type	Door Type	Fire Rating	Frame Type	Frame Material	Remarks
01	3'-0"	6'-8"	1 3/4"	SC	UA	D-LABEL (3/4 hr)	F1	WD	UNIT ENTRANCE (SEE NOTE 1)
02	2'-0"	6'-8"	1 3/8"	HC	UB		F1	WD	
03	4'-0"	6'-8"	1 3/8"	WD	UBB		F2	WD	
04	2'-10"	6'-8"	1 3/8"	HC	UB		F1	WD	
05	5'-0"	6'-8"	1 3/8"	HC	UBB		F2	WD	
06	2'-6"	6'-8"	1 3/8"	HC	UB		WD	WD	
08	4'-0"	6'-8"	1 3/8"	HC	UBB		F2	WD	
09	2'-4"	6'-8"	1 3/8"	HC	UB		F1	WD	
10	6'-0"	6'-8"	1 3/4"	GL	UC		F2	WD	SLIDER - 32" MIN. CLEARANCE TYP LEVER. ALL KEY ALIKE
11	3'-0"	6'-8"	1 3/4"	SC	UA		F1	WD	
12	6'-0"	6'-8"	1 3/8"	HC	UB		F2	WD	
13	1'-8"	6'-8"	1 3/8"	HC	UB		F1	WD	

**NOTE 1 - UNIT ENTRY:** PROVIDE ACCESSIBLE THRESHOLD, WEATHERSTRIPPING SWEEP, SPRING HINGE, DEEP HOLES, DEADBOLT W/ THUMBTURN, LEVER HARDWARE AND LOCKSET (SELF LATCHING).



- #### UNIT PLAN & INTERIOR ELEVATION NOTES
- WIRE SHELF & ROD
  - 5 WIRE SHELVES
  - TOWEL BAR
  - HAND TOWEL RING
  - ELONGATED TOILETS
  - BATH TUB
  - KITCHEN SINK
  - TOILET PAPER HOLDER
  - MIRROR
  - 24" GRAB BAR (FUTURE INSTALL) - BLOCKING REQ'D
  - 36" GRAB BAR (FUTURE INSTALL) - BLOCKING REQ'D
  - 30" VANITY
  - 36" VANITY W/ REMOVABLE SINK BASE
  - WORKSPACE W/ REMOVABLE BASE - 30" CLEAR MIN.
  - 18" LINEN CABINET
  - 42" REMOVABLE VANITY
  - 60" VANITY
  - 42" SINK VANITY
  - 30" REMOVABLE KITCHEN SINK BASE
  - 33" REMOVABLE SINK BASE
  - REFRIGERATOR
  - RANGE/OVEN
  - DISHWASHER
  - WASHER/DRYER
  - HVAC (MAGIC PAK)
  - MICROWAVE
  - VINYL RAILING @ 42" A.F.F.

- #### CABINETS NOTES:
- ALL CABINETS SPEC'D WHITE SHAKER W/ PARTIAL OVERLAY
  - CONSTRUCTION: FACE FRAME ALL PLYWOOD
  - DRAWERS: 5/8" SOLID WOOD DOVETAIL DRAWERS W/ 3/4" EXTENSION SIDE MOUNTED WHITE EPOXY RUNNERS
  - KITCHEN COUNTERS: LEVEL 1 GRANITE 3cm, SINGLE BOWL UNDERMOUNT, TEMPLATE AND INSTALL INCLUDED
  - BATHROOM COUNTERS: LEVEL 1 GRANITE 3cm, BOWL AND SPLASH INCLUDED
  - HARDWARE: 128mm SATIN NICKEL BAR PULLS

### WINDOW SCHEDULE

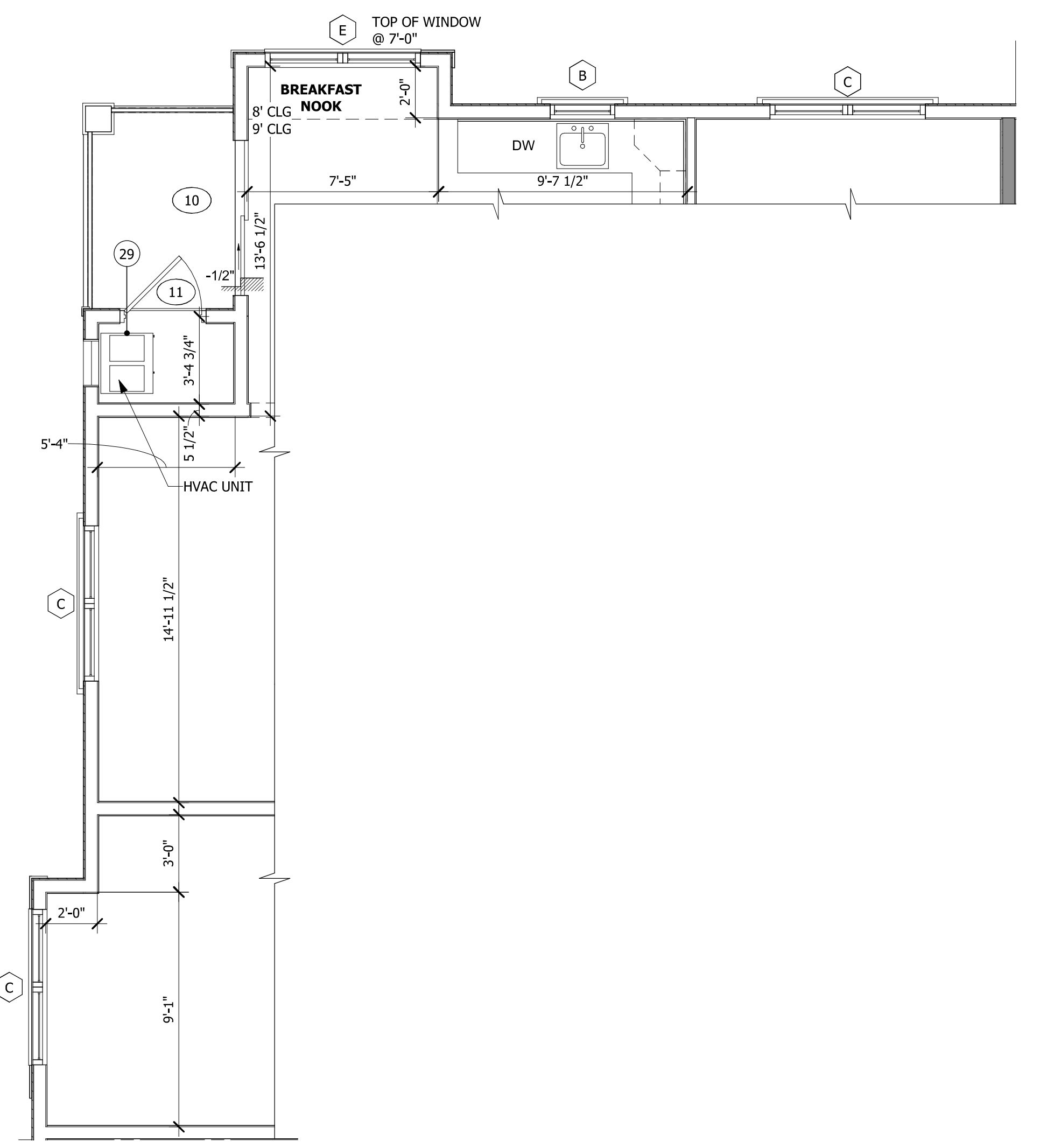
Mark	Width	Height	Rough Width	Rough Height	Window Type	Construction Type	Comments
A	3'-0"	6'-0"	36 1/4"	72"	SH	VIN	
B	2'-6"	4'-6"	30"	54"	SH	VIN	OVER KITCHEN SINK
C	6'-0 1/8"	6'-0"	72 5/8"	72"	SH	WD	MULLED WINDOW
E	6'-0 1/8"	5'-0"	72 5/8"	60"	SH	WD	MULLED WINDOW (TOP OF WINDOW @ 7'-0")
F	3'-4"	5'-0"	40 1/4"	60"	SH	VIN	SEE SECTION 4/A6.01 FOR T.O.W. AT STAIR LANDING
G	2'-6"	5'-0"	30"	60"	F	VIN	

**Window Type Key:**  
F Fixed  
SH Single Hung Vinyl w/Screens  
DH Double Hung

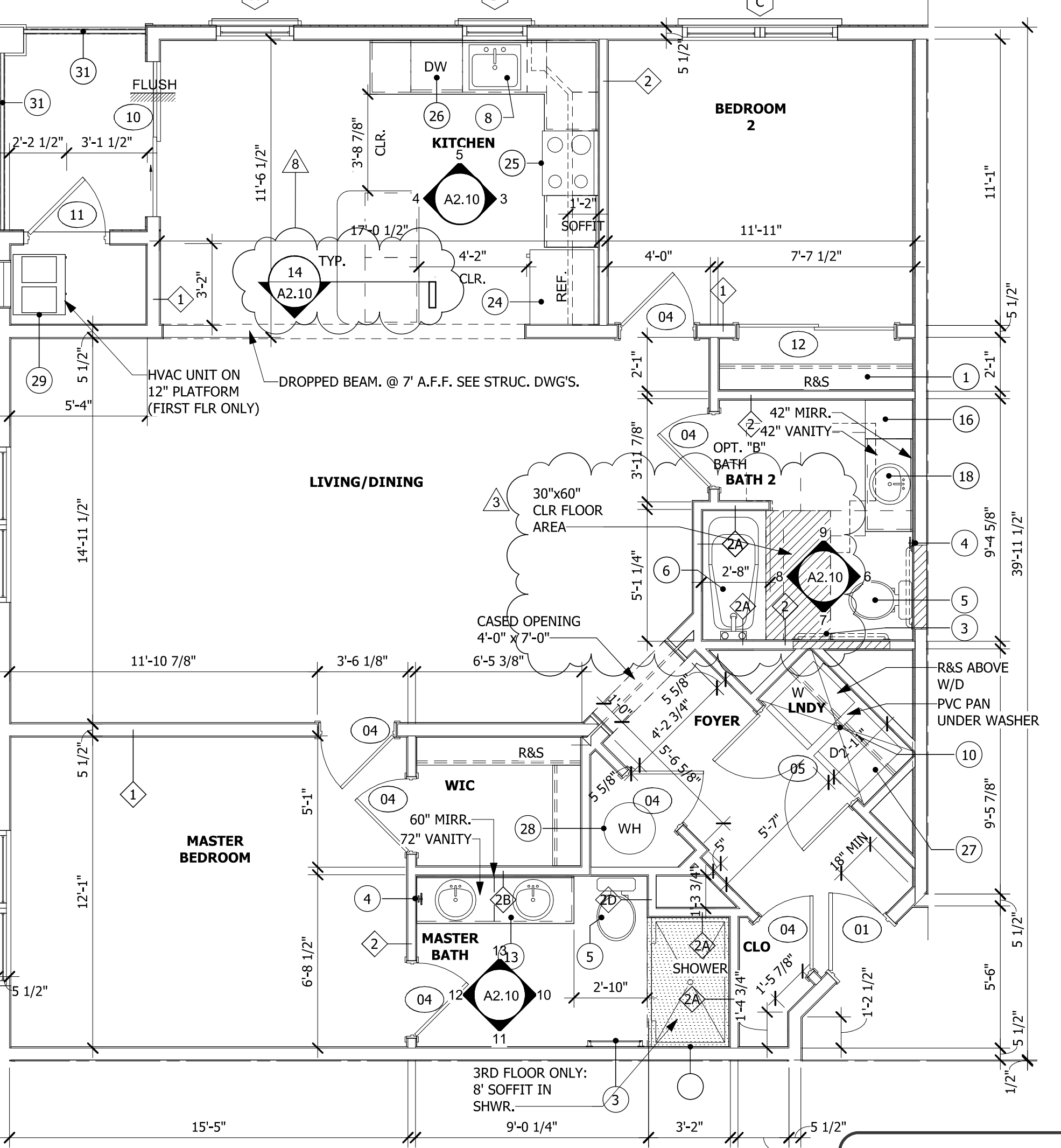
**Glazing:**  
□ Single  
▣ Double  
▢ Triple

**Frame:**  
□ Aluminum  
▣ Wood  
■ Vinyl

**Manufacturer:**  
M1 Windows or equal



**2 UNIT A1 - SECOND & THIRD FLOORS ONLY**  
SCALE: 1/4" = 1'-0"



**1 UNIT A - FIRST FLOOR ONLY**  
SCALE: 1/4" = 1'-0"

### PRIMEX Product Specifications

#### Verge P3000ND

Media Distribution Equipment

The Verge P3000ND is a transparent media distribution solution that allows you to bring fiber inside and forms the central piece of the connected home.

The Network Overlay model adds 1" of depth and reduces the front width by 1" to allow for larger components, side-by-side mounting, and better ventilation.

NOTE: provide a transparent, lockable, weatherized location for multi-play and smart home services within residential and commercial premises.

#### 2. PRODUCT DIMENSIONS

Inside: H 30.5" W 14.7" D 5.0"  
Outside: H 31.0" W 15.0" D 5.1"

#### 3. FEATURES & BENEFITS

- Large internal space for installation of active panels, and cable management components.
- Depth of 5" allows for larger components, side-by-side installations.
- With transparent, weatherized plastic allows up to two wire bundles, plus enough space for larger components, side-by-side installations.
- Standard mounting holes pattern supports standard 19" rack, and mechanical mounting options for components.
- Multiple entry/exit backbones on top and bottom support microduct and ribbon cable runs.
- Lightweight design allows for easy transport and installation.
- Optional key-locks available for enhanced security.
- AAC compliant and fire-retardant tested for heightened safety and durability.

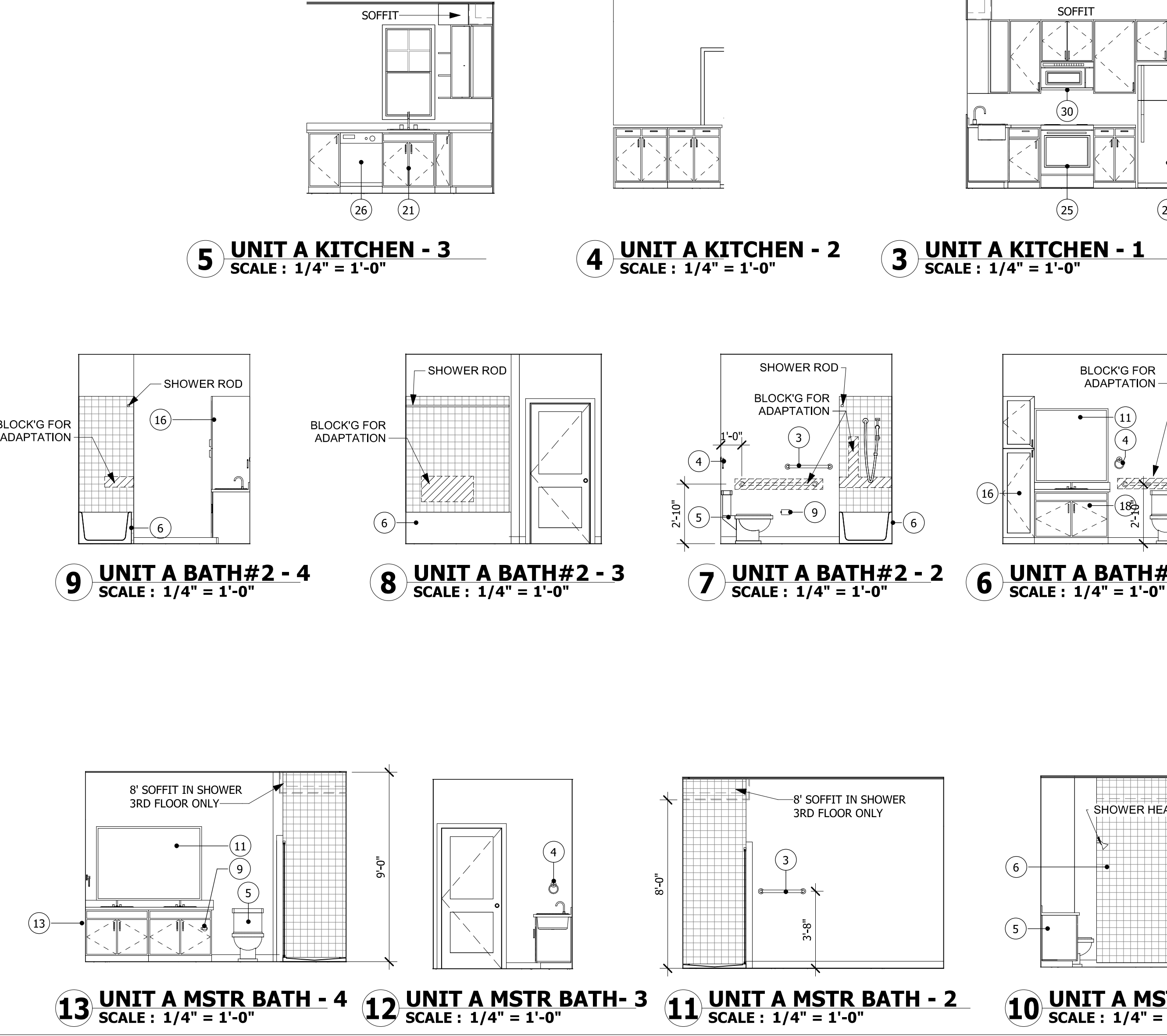
#### 4. CONFIGURATIONS

CPM #	Part #	Description
87248	125-0871	HS0006 30" Backdoor Riser
87406	125-1242	HS0001NDL 30" Backdoor Riser backdoor w/angled cap

COMCAST WIFI BOX - LOCATE INSIDE COAT CLOSET

### Unit Matrix

Unit Type	Number	Heated Area	Balcony Area	Total Area	Bedrooms
A	3	1,380 SF	41 SF	1,421 SF	2
A1	8	1,417 SF	42 SF	1,459 SF	2
B	3	1,159 SF	48 SF	1,207 SF	2
C	4	1,122 SF	51 SF	1,173 SF	2
D	6	947 SF	56 SF	1,003 SF	1



**9 UNIT A BATH#2 - 4** SCALE: 1/4" = 1'-0"  
**8 UNIT A BATH#2 - 3** SCALE: 1/4" = 1'-0"  
**7 UNIT A BATH#2 - 2** SCALE: 1/4" = 1'-0"  
**6 UNIT A BATH#2 - 1** SCALE: 1/4" = 1'-0"  
**13 UNIT A MSTR BATH - 4** SCALE: 1/4" = 1'-0"  
**12 UNIT A MSTR BATH - 3** SCALE: 1/4" = 1'-0"  
**11 UNIT A MSTR BATH - 2** SCALE: 1/4" = 1'-0"  
**10 UNIT A MSTR BATH - 1** SCALE: 1/4" = 1'-0"

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DANIEL MCCAULEY  
2.14.07/2.6.20  
Professional Architect:  
NJ License Number:

**THE MARTIN ARCHITECTURAL GROUP,**  
ARCHITECTS AND PLANNERS  
A PROFESSIONAL CORPORATION  
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103  
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY  
P.M.: JULIAN DELGADO  
DRAWN BY: TT  
PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	06/06/2022
2	BATHROOM AND FOUNDATION UPDATE	09/20/2022
3	KITCHEN ISLANDS	02/11/2023

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

**UNIT PLANS**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

SCALE: AS NOTED  
DATE: 12/31/2017

**Building #3**  
**A2.10**  
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**PRIMEX Product Specifications**

**1. SUMMARY**  
 The PrimeX Verge P3000ND is a transparent Acrylic construction enclosure that provides clear floor protection and forms the central piece of the connected home.  
 The Narrow/Deep model adds 1" of depth and retains the frame width by 1" to allow for larger components, side by side mounting, and some installation.  
 NOTE: provide a convenient, lockable workbench location for multi-play and smart home services within residential and commercial premises.

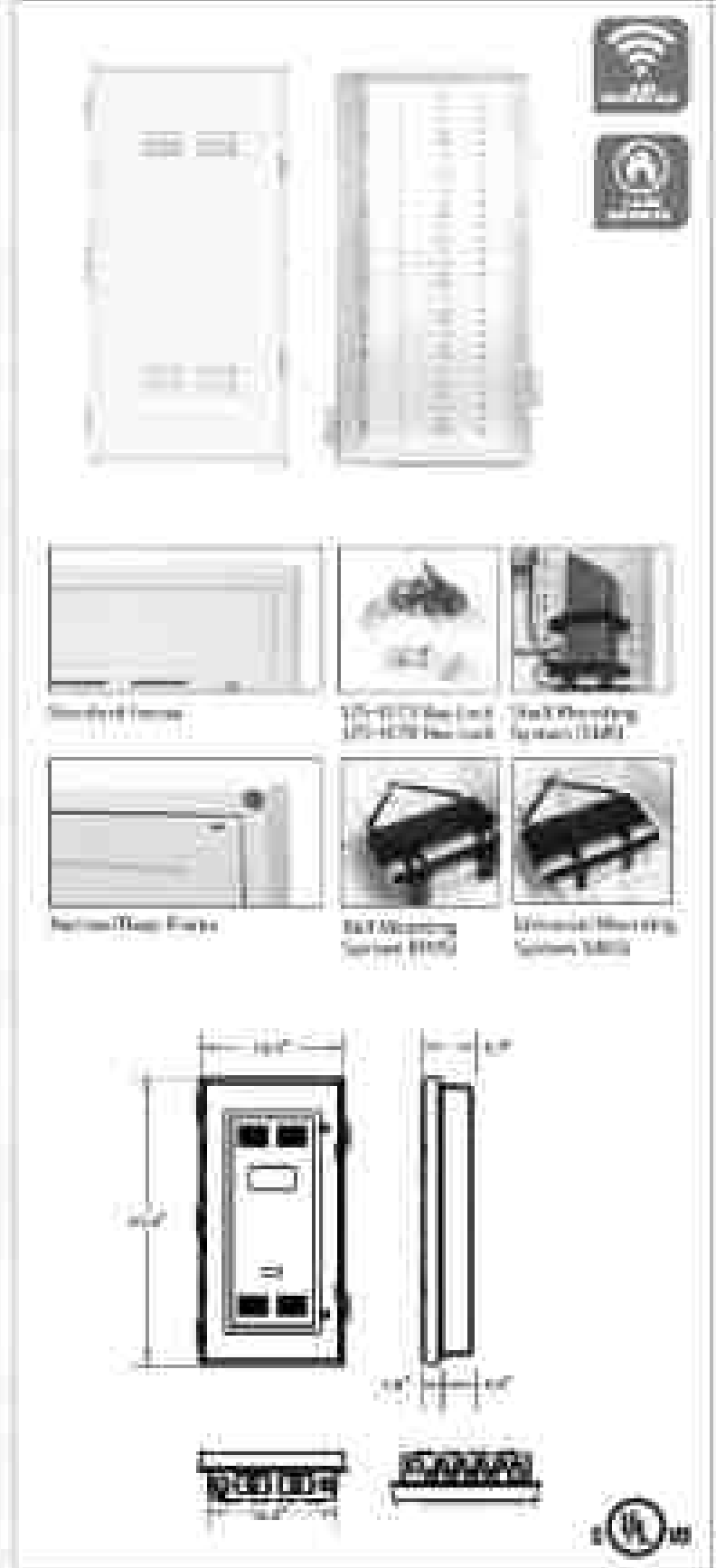
**2. PRODUCT DIMENSIONS**  
 Model: H 30" x W 12 7/8" x D 5 1/2"  
 Outside: H 31 1/2" x W 13 7/8" x D 6 1/2"

**3. FEATURES & BENEFITS**

- Large internal space for installation of audio, video, and cable management components.
- Multiple depth options by 1" width to allow for larger components, side by side mounting, and some installation.
- Anti-fingerprint, engineered acrylic doors up to top corner wireless pass-through (not included).
- Specialized mounting hardware supports standard on-wall, rail, and recessed mounting systems for components.
- Multiple entry lock mechanisms on top and bottom support products and reduce cable runs.
- Lightweight design allows for easy transport and installation.
- Optional key or hex locks available for enhanced security.
- UL-compliant and fire-retardant tested for heightened safety and durability.
- \*Dimensions should be measured in the clearances.

**4. CONFIGURATIONS**

Code	Model	Description
BE200	126-0571	P3000ND 30" Stationary (Eco)
BE200	125-0342	P3000ND 30" Narrow (Deep)



COMCAST WIFI BOX - LOCATE INSIDE COAT CLOSET

**UNIT DOOR & FRAME SCHEDULE**

Door	Frame	Remarks																																																																																																				
<table border="1"> <thead> <tr> <th>Number</th> <th>Width</th> <th>Height</th> <th>Thickness</th> <th>Construction Type</th> <th>Fire Rating</th> </tr> </thead> <tbody> <tr><td>01</td><td>3'-0"</td><td>6'-8"</td><td>1 3/4"</td><td>SC</td><td>LA</td></tr> <tr><td>02</td><td>2'-0"</td><td>6'-8"</td><td>1 3/8"</td><td>HC</td><td>UB</td></tr> <tr><td>03</td><td>4'-0"</td><td>6'-8"</td><td>1 3/8"</td><td>WD</td><td>UBB</td></tr> <tr><td>04</td><td>2'-10"</td><td>6'-8"</td><td>1 3/8"</td><td>HC</td><td>UB</td></tr> <tr><td>05</td><td>5'-0"</td><td>6'-8"</td><td>1 3/8"</td><td>HC</td><td>UBB</td></tr> <tr><td>08</td><td>2'-4"</td><td>6'-8"</td><td>1 3/8"</td><td>HC</td><td>UB</td></tr> <tr><td>08</td><td>4'-0"</td><td>6'-8"</td><td>1 3/8"</td><td>HC</td><td>UBB</td></tr> <tr><td>09</td><td>2'-4"</td><td>6'-8"</td><td>1 3/8"</td><td>HC</td><td>UB</td></tr> <tr><td>10</td><td>6'-0"</td><td>6'-8"</td><td>1 3/4"</td><td>GL</td><td>UA</td></tr> <tr><td>11</td><td>3'-0"</td><td>6'-8"</td><td>1 3/4"</td><td>SC</td><td>UA</td></tr> <tr><td>12</td><td>6'-0"</td><td>6'-8"</td><td>1 3/8"</td><td>HC</td><td>UB</td></tr> <tr><td>13</td><td>1'-8"</td><td>6'-8"</td><td>1 3/8"</td><td>HC</td><td>UB</td></tr> </tbody> </table>	Number	Width	Height	Thickness	Construction Type	Fire Rating	01	3'-0"	6'-8"	1 3/4"	SC	LA	02	2'-0"	6'-8"	1 3/8"	HC	UB	03	4'-0"	6'-8"	1 3/8"	WD	UBB	04	2'-10"	6'-8"	1 3/8"	HC	UB	05	5'-0"	6'-8"	1 3/8"	HC	UBB	08	2'-4"	6'-8"	1 3/8"	HC	UB	08	4'-0"	6'-8"	1 3/8"	HC	UBB	09	2'-4"	6'-8"	1 3/8"	HC	UB	10	6'-0"	6'-8"	1 3/4"	GL	UA	11	3'-0"	6'-8"	1 3/4"	SC	UA	12	6'-0"	6'-8"	1 3/8"	HC	UB	13	1'-8"	6'-8"	1 3/8"	HC	UB	<table border="1"> <thead> <tr> <th>Frame Type</th> <th>Frame Material</th> </tr> </thead> <tbody> <tr><td>F1</td><td>WD</td></tr> <tr><td>F1</td><td>WD</td></tr> <tr><td>F2</td><td>WD</td></tr> <tr><td>F2</td><td>WD</td></tr> <tr><td>F2</td><td>WD</td></tr> <tr><td>F1</td><td>WD</td></tr> <tr><td>F1</td><td>WD</td></tr> <tr><td>F2</td><td>WD</td></tr> <tr><td>F2</td><td>WD</td></tr> <tr><td>F1</td><td>WD</td></tr> </tbody> </table>	Frame Type	Frame Material	F1	WD	F1	WD	F2	WD	F2	WD	F2	WD	F1	WD	F1	WD	F2	WD	F2	WD	F1	WD	<p>UNIT ENTRANCE (SEE NOTE 1)</p> <p>SLIDER - 32" MIN. CLEARANCE TYP LEVER, ALL KEY ALIKE</p>
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**NOTES:**

- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL GLAZING SHALL BE TEMPERED SAFETY GLAZING WHERE APPLICABLE PER LOCAL BUILDING CODE.
- ALL DOOR HARDWARE TO BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- DOORS SHALL BE OPERABLE WITH NO MORE THAN ONE RELEASING OPERATION.
- PROVIDE HANDICAPPED ACCESSIBLE THRESHOLDS AT ALL DOORS.
- DOOR HARDWARE TO BE BRUSHED NICKEL.
- DOOR LEVERS & HARDWARE TO BE 'DORIAN' KWIKSET.
- INTERIOR DOORS TO BE CARRERA/MASONITE OR EQUAL.

**DOOR/FRAME MATERIAL KEY:**

EM	EXTERIOR METAL	WD	WOOD
HM	HOLLOW METAL	MTL	METAL
HC	HOLLOW CORE	SC	SOLID CORE FIBERGLASS
HC	FIBERGLASS	SR	STILE AND RAIL

**NOTE 1 - UNIT ENTRY: PROVIDE ACCESSIBLE THRESHOLD, WEATHERSTRIPPING SWEEP, SPRING HINGE, DEEP HOLES, DEADBOLT W/ THUMBTURN, LEVER HARDWARE AND LOCKSET (SELF LATCHING).**

**UNIT FINISH SCHEDULE**

Name	Floor Finish	Wall Finish	Ceiling Finish	Trim	Ceiling Height	Remarks
BATH 1	4	B	B	A	9'-0"	
BATH 2	4	B	B	A	9'-0"	
BEDROOM 1	6	F	B	A	9'-0"	
BEDROOM 2	6	F	B	A	9'-0"	
BREAKFAST	6	F	B	A	9'-0"	
FOYER	6	F	B	A	9'-0"	
KITCHEN	6	F	B	A	9'-0"	
LIN	6	F	B	A	9'-0"	
LIVING/DINING	6	F	B	A	9'-0"	
LDNY	2	B	B	A	9'-0"	
MASTER BATH	4	B	B	A	9'-0"	
MASTER BEDROOM	6	F	B	A	9'-0"	
WIC	6	F	B	A	9'-0"	

**MATERIAL CODE**

FLR./BASE	WALL	CEILING	TRIM
1	CT/WD	A	1
2	VCT/WD	B	MR. GWB
3	CT/WD	C	ACT
4	CT/CT	D	WD PANEL
5	T/WD	E	BRICK
6	LVT/WD	F	5/8" X GWB
7	CONC.	G	FRP

**MATERIAL GLOSSARY**

ACT	ACOUSTICAL CEILING TILE
CPT	CARPET
CT	CERAMIC TILE
CONC.	CONCRETE
FRP	FIBERGLASS REINFORCED PLASTIC
GWB	GYPSUM WALL BOARD
LVT	LUXURY VINYL TILE
MR. GWB	MOISTURE RESISTANT GWB
T	TILE
VCT	VINYL COMPOSITION TILE
WC	WALL COVERING
WD	WOOD

**NOTE:** ALL UNITS TO HAVE 1x4 SQUARE BASE TRIM W/ QUARTER ROUND, PAINTED  
 ALL WINDOWS & DOORS TO HAVE 1x3 SQUARE TRIM, PAINTED

**UNIT PLAN & INTERIOR ELEVATION NOTES**

- WIRE SHELF & ROD
- 5 WIRE SHELVES
- TOWEL BAR
- HAND TOWEL RING
- ELONGATED TOILETS
- BATH TUB
- KITCHEN SINK
- TOILET PAPER HOLDER
- MIRROR
- 24" GRAB BAR (FUTURE INSTALL) - BLOCKING REQ'D
- 36" GRAB BAR (FUTURE INSTALL) - BLOCKING REQ'D
- 30" VANITY
- 36" VANITY W/ REMOVABLE SINK BASE
- WORKSPACE W/ REMOVABLE BASE - 30" CLEAR MIN.
- 16" LINEN CABINET
- 42" REMOVABLE VANITY
- 60" VANITY
- 42" SINK VANITY
- 30" REMOVABLE KITCHEN SINK BASE
- 33" REMOVABLE SINK BASE
- REFRIGERATOR
- RANGE/OVEN
- DISHWASHER
- WASHER/DRYER
- HVAC (MAGIC PAK)
- MICROWAVE
- VINYL RAILING @ 42" A.F.F.

**GENERAL NOTES**

- ALL DIMENSIONS ARE TO ROUGH FRAMING STUD TO STUD & 3 1/2" STUDS UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE
- ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
- WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
- AT RATED SEPARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
- WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
- ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS
- TYPE A UNITS = 24 UNITS x 5% = 1.2 UNITS = 2 UNITS, ONE UNIT MIN. EACH BEDROOM TYPE = 2 UNITS TOTAL

**UNIT NOTES**

- ALL UNITS SHALL COMPLY WITH ADAPTABILITY REQUIREMENTS AS LISTED IN ANSI A117.1 (2009) FOR TYPE A DWELLING UNITS
- ALL FINISHES MUST EXTEND UNDER REMOVABLE CABINETS AT SINK BASES AND WORKSPACES.
- 2% OF ALL UNITS SHALL COMPLY WITH THE REQUIREMENTS OF THE ACCESSIBLE COMMUNICATION FEATURES AS LISTED IN ANSI A117.1 (2009) SECTION 1006. COORDINATE UNIT LOCATION WITH OWNER
- FINAL KITCHEN CABINET LAYOUT TO BE PREPARED BY CABINET MANUFACTURER

**NOTE:**

SEE SHEETS A10.01 & A10.02 FOR ADAPTABLE FEATURES. ALL UNITS SHALL BE PREPARED FOR ADAPTION AS REQUIRED

**WINDOW SCHEDULE**

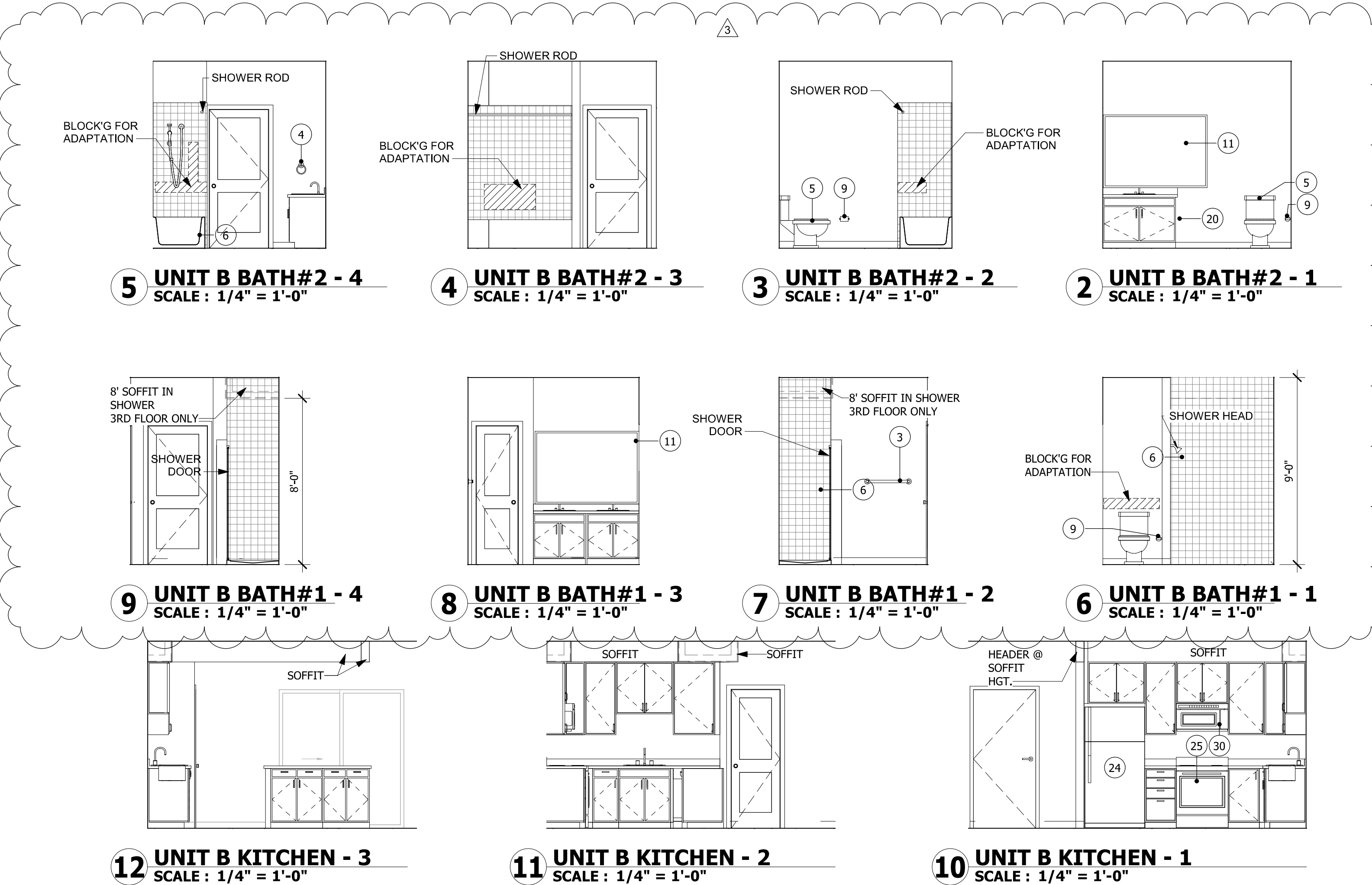
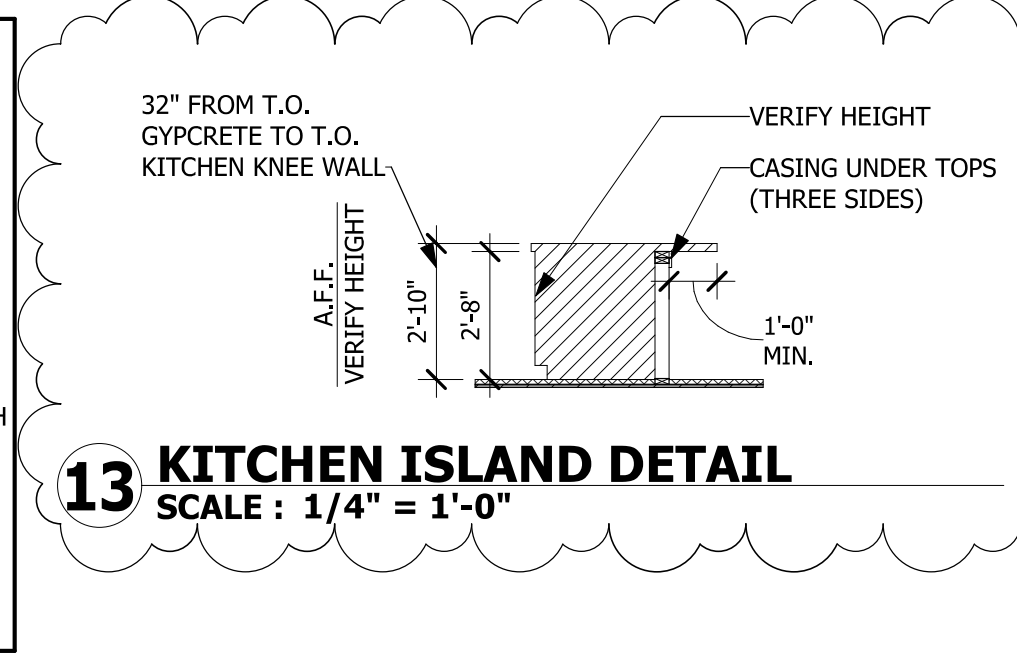
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F	3'-4"	5'-0"	40 1/4"	60"	SH	VIN	SEE SECTION 4/A6.01 FOR T.O.W. AT STAIR LANDING
G	2'-6"	5'-0"	30"	60"	F	VIN	

**Window Type Key**

Glazing	Frame	Manufacturer
F Fixed	Aluminum	MI Windows or equal
SH Single Hung Vinyl w/Screens: Meet all Energy Ratings	Double	
DH Double Hung	Triple	
	Vinyl	

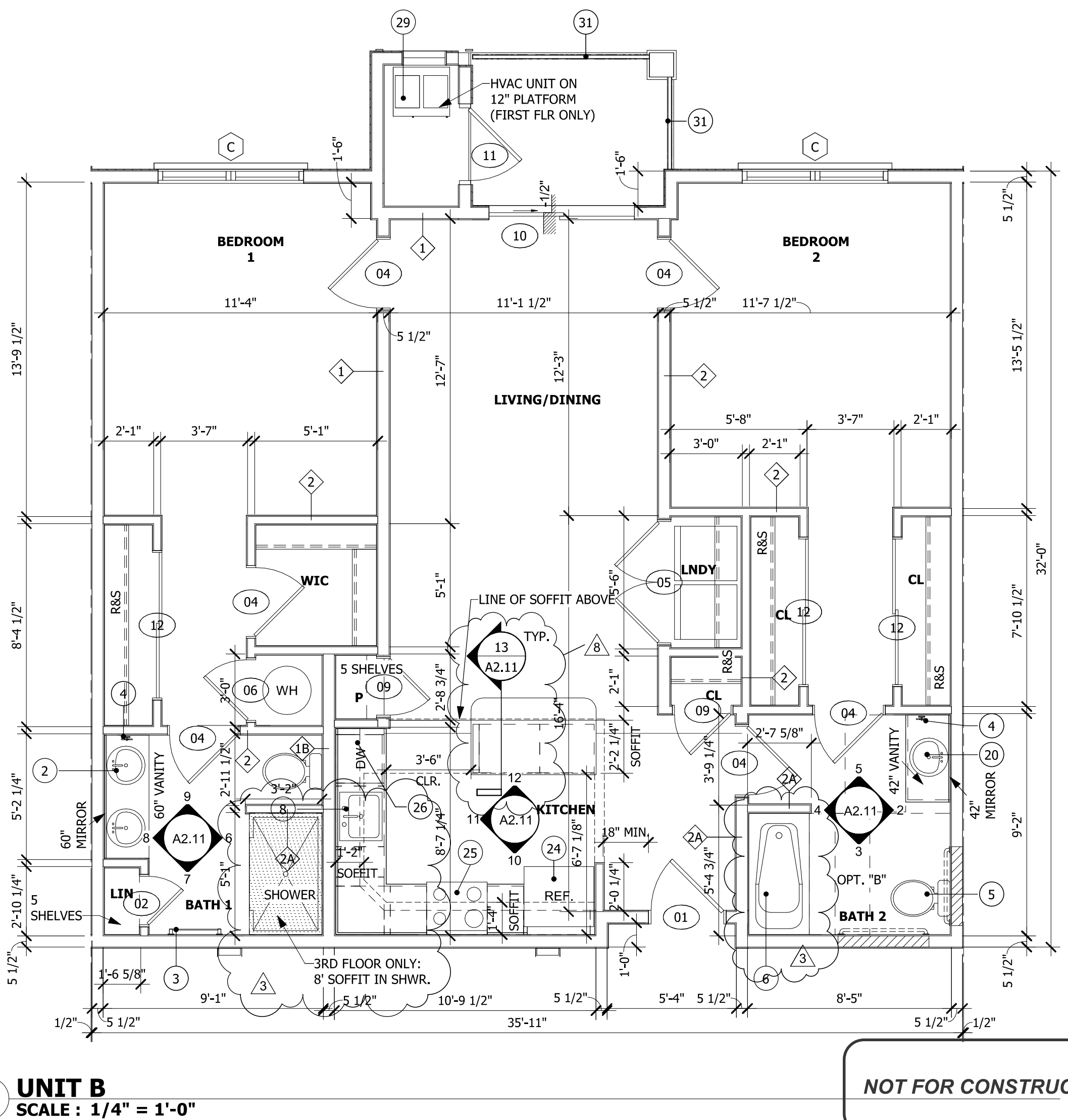
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DANIEL MCCAULEY  
 21A00712600  
 Professional Architect  
 NJ License Number:

**THE MARTIN ARCHITECTURAL GROUP,**  
 ARCHITECTS AND PLANNERS  
 A PROFESSIONAL CORPORATION  
 240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103  
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**UNIT PLANS**  
**RAVEN'S NEST - APARTMENTS**  
 Building #3  
 Gateway Township, NJ 08205

SCALE: AS NOTED  
 DATE: 12/31/2017

Building #3

**A2.11**  
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**Verge P3000ND**  
Noise Dampening Architecture

**1. SUMMARY**  
The Verge P3000ND is a transparent Acoustic Distribution Enclosure (ADE) designed to reduce noise and improve the acoustical quality of the space. The Verge P3000ND adds 1" of depth and reduces the frame width by 1" to allow for larger components, side by side mounting, and easier installation.

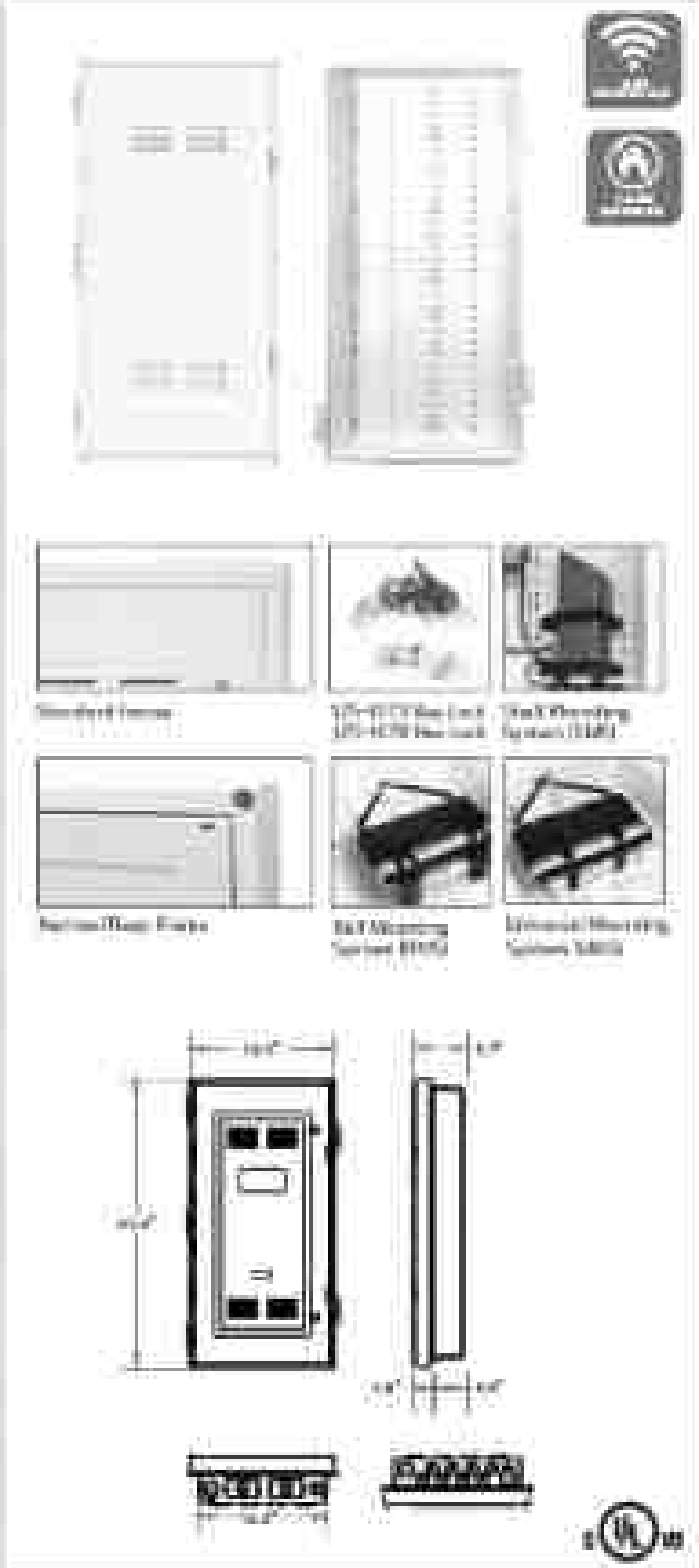
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Inside: H 30" W 14 1/2" D 5 1/2"  
Outside: H 31 1/2" W 14 1/2" D 5 1/2"

**3. FEATURES & BENEFITS**

- Large internal space for installation of active, passive, and cable management components.
- Adds 1" of depth, reduces by 1" width to allow for larger components, side by side mounting and easier installation.
- AFR-1 adjustment, reinforced plastic dividers up to 100 lb and wireless pass-through than metal alternatives.
- Standard metal mounting rail pattern supports acoustic drive rail, shelf, and internal shelving options for components.
- Multiple entry/exit tracklets on top and bottom support microduct and robust cable run.
- Light weight design allows for easy transport and installation.
- Optional key of two holes, suitable for enhanced security.
- In-compliance and fire-retardant tested for heightened safety and durability.

**4. CONFIGURATIONS**

Code	Area	Description
EP20	125-1251	P3000ND 30" Electronic Edge
EP25	125-1252	P3000ND 30" Acoustic Edge Enclosure (High)



COMCAST WIFI BOX - LOCATE INSIDE COAT CLOSET

**UNIT DOOR & FRAME SCHEDULE**

Door				Frame		Remarks
Number	Width	Height	Construction Type	Frame Type	Frame Material	
01	3'-0"	6'-8"	1 3/4" SC	UA	DL-LABEL (3/4")	UNIT ENTRANCE (SEE NOTE 1)
02	2'-0"	6'-8"	1 3/8" HC	UB	F1	WD
03	4'-0"	6'-8"	1 3/8" WD	UBB	F2	WD
04	2'-10"	6'-8"	1 3/8" HC	UB	F1	WD
05	5'-0"	6'-8"	1 3/8" HC	UBB	F2	WD
08	2'-4"	6'-8"	1 3/8" HC	UB	F1	WD
08	4'-0"	6'-8"	1 3/8" HC	UBB	F2	WD
09	2'-4"	6'-8"	1 3/8" HC	UB	F1	WD
10	6'-0"	6'-8"	1 3/4" GL	UA	F2	WD
11	3'-0"	6'-8"	1 3/4" SC	UC	F1	WD
12	6'-0"	6'-8"	1 3/8" HC	UB	F2	WD
13	1'-8"	6'-8"	1 3/8" HC	UB	F1	WD

**NOTES:**

- SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ALL GLAZING SHALL BE TEMPERED SAFETY GLAZING WHERE APPLICABLE PER LOCAL BUILDING CODE.
- ALL DOOR HARDWARE TO BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA).
- DOORS SHALL BE OPERABLE WITH NO MORE THAN ONE RELEASING OPERATION.
- PROVIDE HANDICAPPED ACCESSIBLE THRESHOLDS AT ALL DOORS.
- DOOR HARDWARE TO BE BRUSHED NICKEL.
- DOOR LEVERS & HARDWARE TO BE 'DORIAN' KWIKSET.
- INTERIOR DOORS TO BE CARRERA/MASONITE OR EQUAL.

**DOOR/FRAME MATERIAL KEY:**

WD	WOOD
MTL	METAL
HM	HOLLOW METAL
HC	HOLLOW CORE
SC	SOLID CORE FIBERGLASS
SR	STILE AND RAIL

**UNIT FINISH SCHEDULE**

Name	Floor Finish	Wall Finish	Ceiling Finish	Door / Win. Trim	Ceiling Height	Remarks
BATH 1	4	B	B	A	9'-0"	
BATH 2	4	B	B	A	9'-0"	
BEDROOM 1	6	F	B	A	9'-0"	
BEDROOM 2	6	F	B	A	9'-0"	
BREAKFAST NOOK	6	F	B	A	9'-0"	
FOYER	6	F	B	A	9'-0"	
KITCHEN	6	F	B	A	9'-0"	
LIN	6	F	B	A	9'-0"	
LIVING/DINING	6	F	B	A	9'-0"	
LNDY	2	B	B	A	9'-0"	
MASTER BATH	4	B	B	A	9'-0"	
MASTER BEDROOM	6	F	B	A	9'-0"	
WIC	6	F	B	A	9'-0"	

**MATERIAL CODE**

FLR./BASE	WALL	CEILING	TRIM	ACT	MATERIAL GLOSSARY
1 CPT/WD	A	GWB	1	GWB	A 1x3 TRIM
2 VCT/WD	B	MR. GWB	2	MR. GWB	B 1x4 BASE
3 CT/WD	C	CT	3	ACT	
4 CT/CT	D	WD PANEL	4		
5 T/WD	E	BRICK	5		
6 LVT/WD	F	5/8" X GWB	6	5/8" X GWB	
7 CONC.	G	FRP	7		

**UNIT PLAN & INTERIOR ELEVATION NOTES**

- WIRE SHELF & ROD
- 5 WIRE SHELVES
- TOWEL BAR
- HAND TOWEL RING
- ELONGATED TOILETS
- BATH TUB
- KITCHEN SINK
- TOILET PAPER HOLDER
- MIRROR
- 24" GRAB BAR (FUTURE INSTALL) - BLOCKING REQ'D
- 36" GRAB BAR (FUTURE INSTALL) - BLOCKING REQ'D
- 30" VANITY
- 36" VANITY W/ REMOVABLE SINK BASE
- WORKSPACE W/ REMOVABLE BASE - 30" CLEAR MIN.
- 18" LINEN CABINET
- 42" REMOVABLE VANITY
- 60" VANITY
- 42" SINK VANITY
- 30" REMOVABLE KITCHEN SINK BASE
- 33" REMOVABLE SINK BASE
- REFRIGERATOR
- RANGE/OVEN
- DISHWASHER
- WASHER/DRYER
- HVAC (MAGIC PAK)
- MICROWAVE
- VINYL RAILING @ 42" A.F.F.

**NOTE:** ALL UNITS TO HAVE 1x4 SQUARE BASE TRIM W/ QUARTER ROUND, PAINTED  
ALL WINDOWS & DOORS TO HAVE 1x3 SQUARE TRIM, PAINTED

**GENERAL NOTES**

- ALL DIMENSIONS ARE TO ROUGH FRAMING STUD TO STUD & 3/16" STUDS UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE
- ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16" o.c. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
- WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
- AT RATED SEPARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
- WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
- ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS
- TYPE A UNITS = 24 UNITS x 5% = 1.2 UNITS, ONE UNIT MIN. EACH BEDROOM TYPE = 2 UNITS TOTAL

**UNIT NOTES**

- ALL UNITS SHALL COMPLY WITH ADAPTABILITY REQUIREMENTS AS LISTED IN ANSI A117.1 (2009) FOR TYPE A DWELLING UNITS
- ALL FINISHES MUST EXTEND UNDER REMOVABLE CABINETS AT SINK BASES AND WORKSPACES.
- 2% OF ALL UNITS SHALL COMPLY WITH THE REQUIREMENTS OF THE ACCESSIBLE COMMUNICATION FEATURES AS LISTED IN ANSI A117.1 (2009) SECTION 1006. COORDINATE UNIT LOCATION WITH OWNER
- FINAL KITCHEN CABINET LAYOUT TO BE PREPARED BY CABINET MANUFACTURER

**NOTE:** SEE SHEETS A10.01 & A10.02 FOR ADAPTABLE FEATURES. ALL UNITS SHALL BE PREPARED FOR ADAPTION AS REQUIRED

**WINDOW SCHEDULE**

Mark	Width	Height	Rough Width	Rough Height	Window Type	Construction Type	Comments
A	3'-0"	4'-6"	36 1/4"	72"	SH	VIN	
B	2'-6"	4'-6"	30"	54"	SH	VIN	OVER KITCHEN SINK
C	6'-0 1/8"	6'-0"	72 5/8"	72"	SH	SH	MULLED WINDOW (TOP OF WINDOW @ 7'-0")
E	6'-0 1/8"	5'-0"	72 5/8"	60"	SH	WD	MULLED WINDOW (TOP OF WINDOW @ 7'-0")
F	3'-4"	5'-0"	40 1/4"	60"	SH	VIN	SEE SECTION 4/A6.01 FOR T.O.W. AT STAIR LANDING
G	2'-6"	5'-0"	30"	60"	F	VIN	

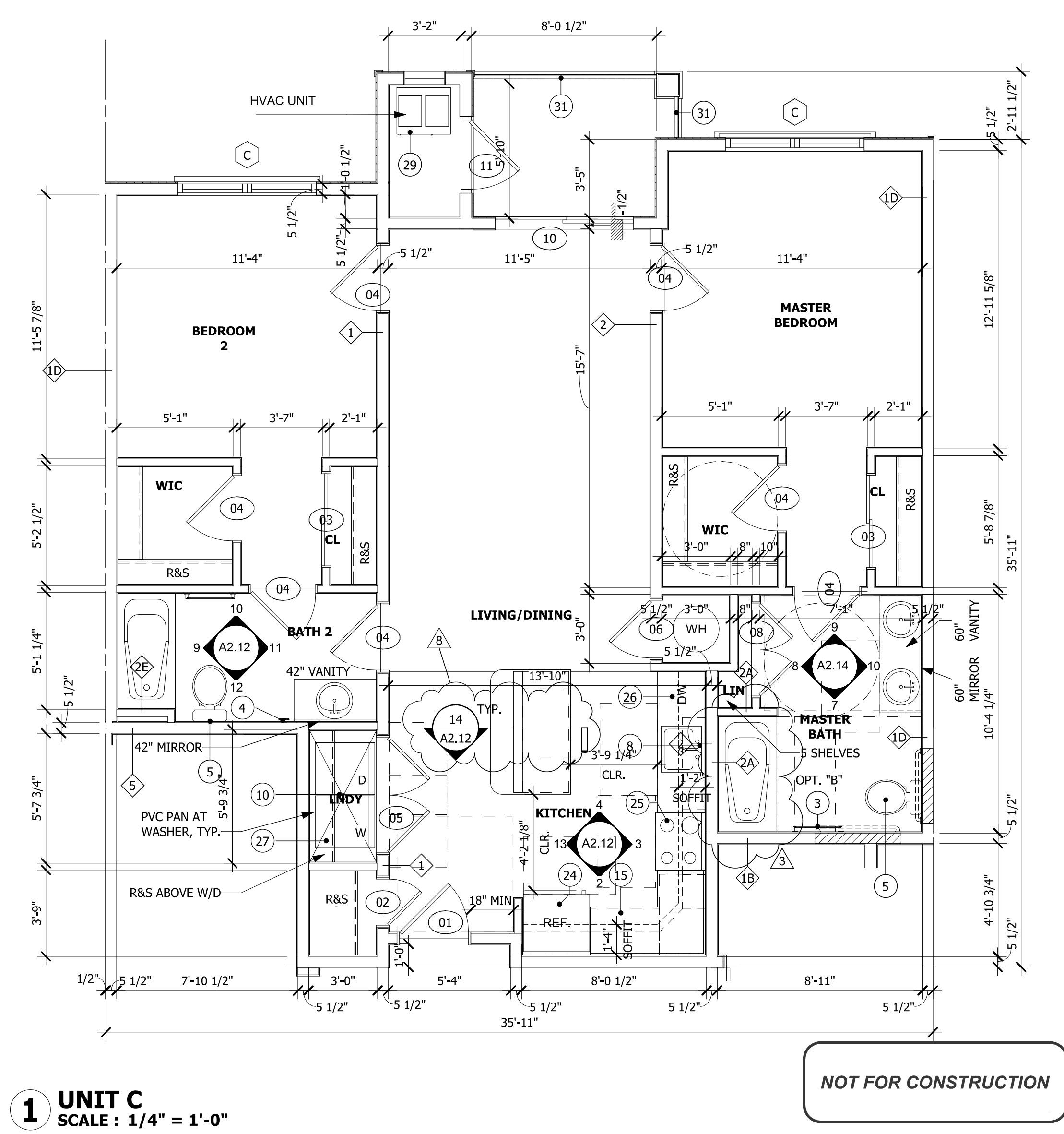
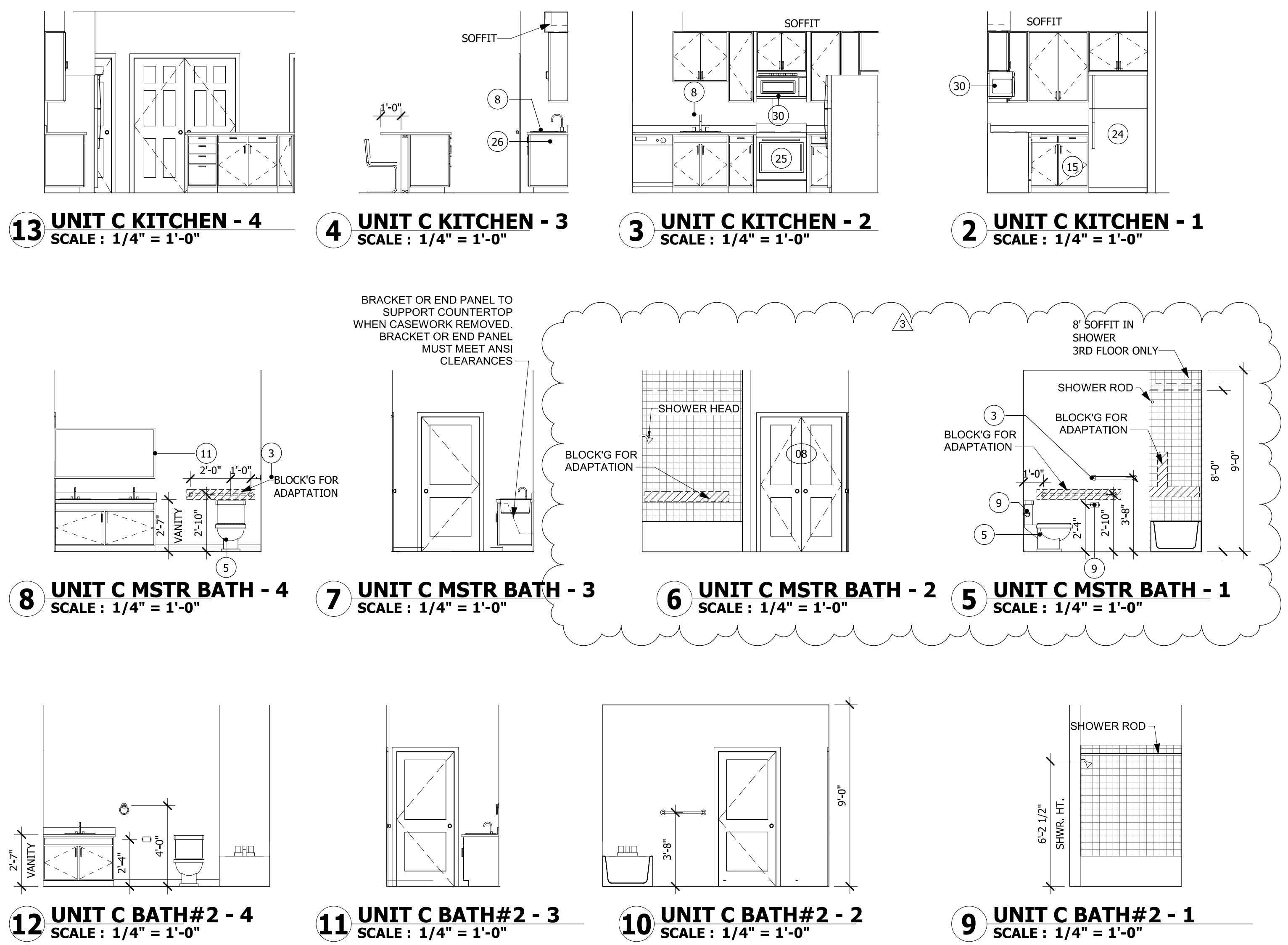
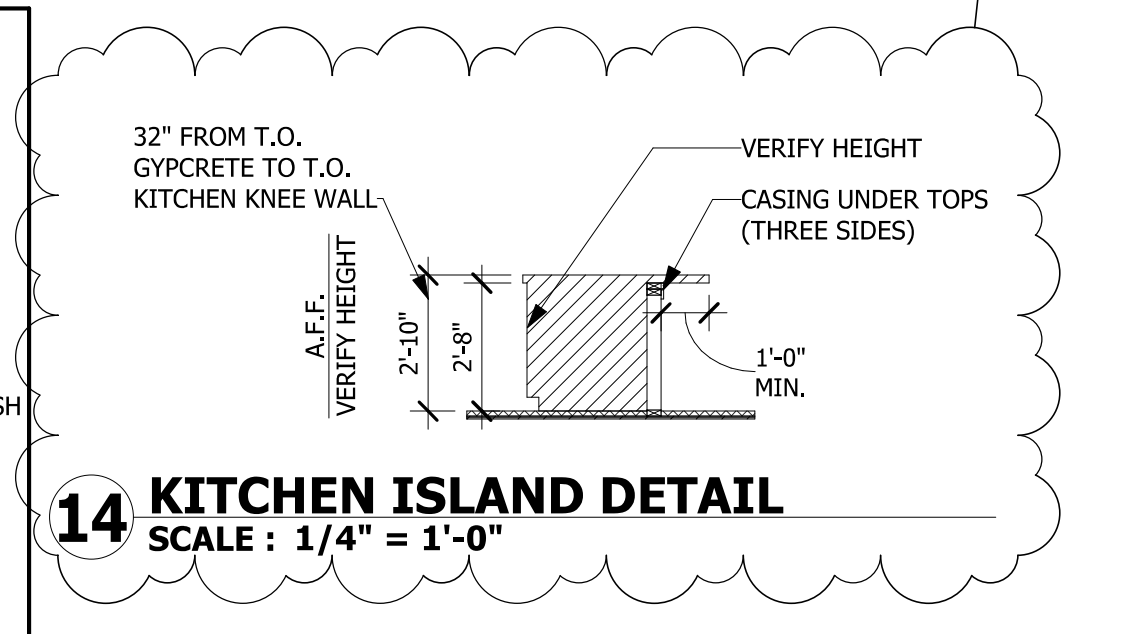
**Window Type Key:**

F	Fixed	Glazing	Single	Frame	Aluminum	Manufacturer	MI Windows or equal
SH	Single Hung Vinyl w/Screens	Double	Triple	Vinyl			

Meet all Energy Ratings  
DH Double Hung

**CABINETS NOTES:**

- ALL CABINETS SPEC'D WHITE SHAKER W/ PARTIAL OVERLAY
- CONSTRUCTION: FACE FRAME ALL PLYWOOD
- DRAWERS: 5/8" SOLID WOOD DOVETAIL DRAWERS W/ 3/4 EXTENSION SIDE MOUNTED WHITE EPOXY RUNNERS
- KITCHEN COUNTERS: LEVEL 1 GRANITE 3cm, SINGLE BOWL UNDERMOUNT, TEMPLATE AND INSTALL INCLUDED
- BATHROOM COUNTERS: LEVEL 1 GRANITE 3cm, BOWL AND SPLASH INCLUDED
- HARDWARE: 128mm SATIN NICKEL BAR PULLS



**Unit Matrix**

Unit Type	Number	Heated Area	Balcony Area	Total Area	Bedrooms
A	3	1,380 SF	41 SF	1,421 SF	2
A1	8	1,417 SF	42 SF	1,459 SF	2
B	3	1,159 SF	48 SF	1,207 SF	2
C	4	1,122 SF	51 SF	1,173 SF	2
D	6	947 SF	56 SF	1,003 SF	1





NO.	REVISION	DATE
0	PERMIT SET	06/20/22

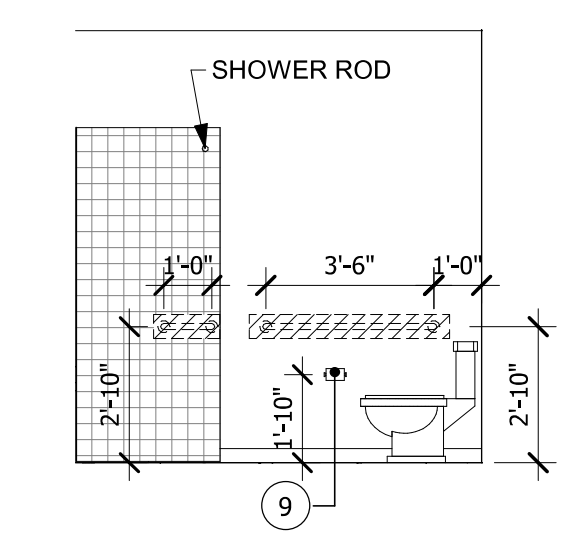
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 CONSTRUCTION THROUGH  
 REV. x MM-DD-YYYY

**ACCESSIBLE UNIT PLANS**  
**RAVEN'S NEST - APARTMENTS**  
 Building #3  
 Galloway Township, NJ 08205

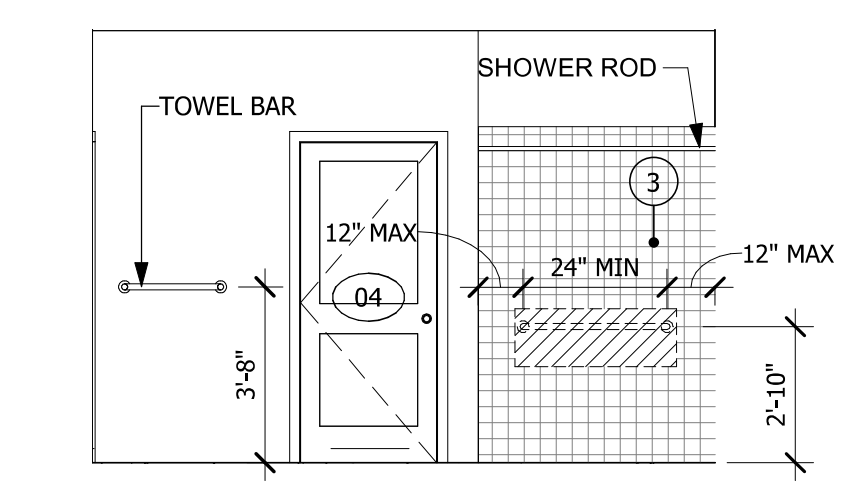
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Building #3

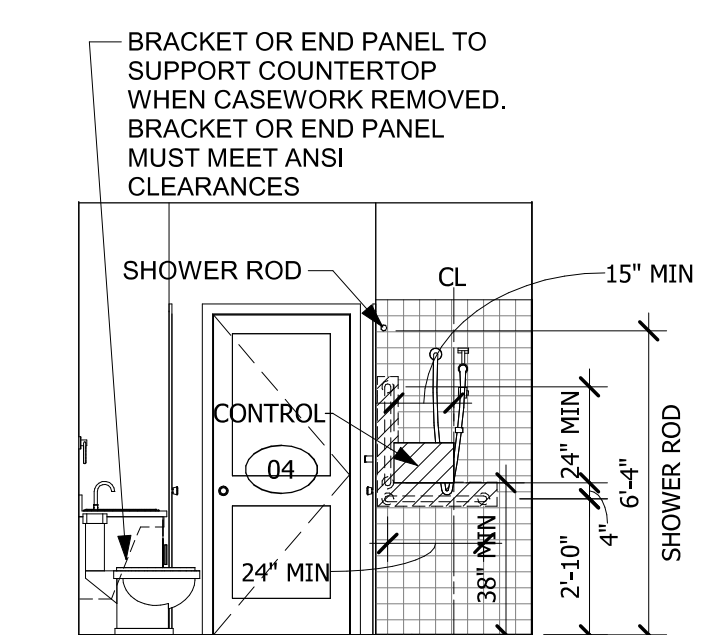
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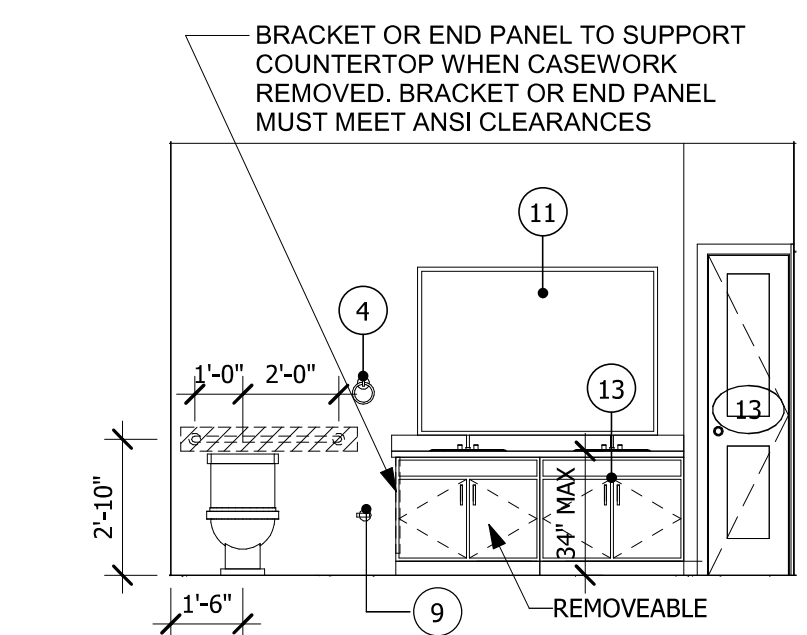
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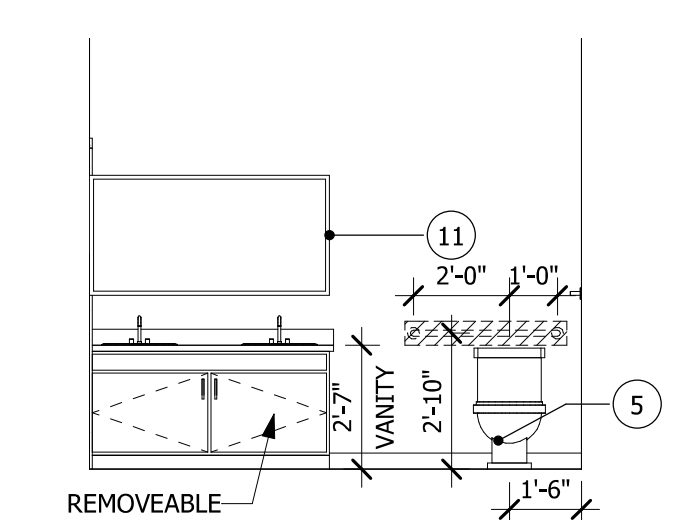
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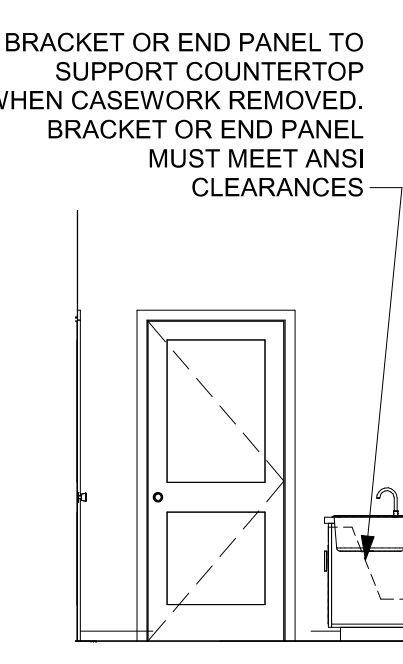
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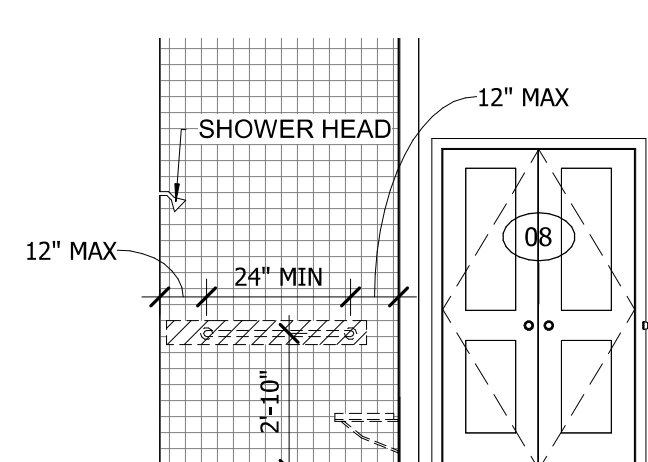
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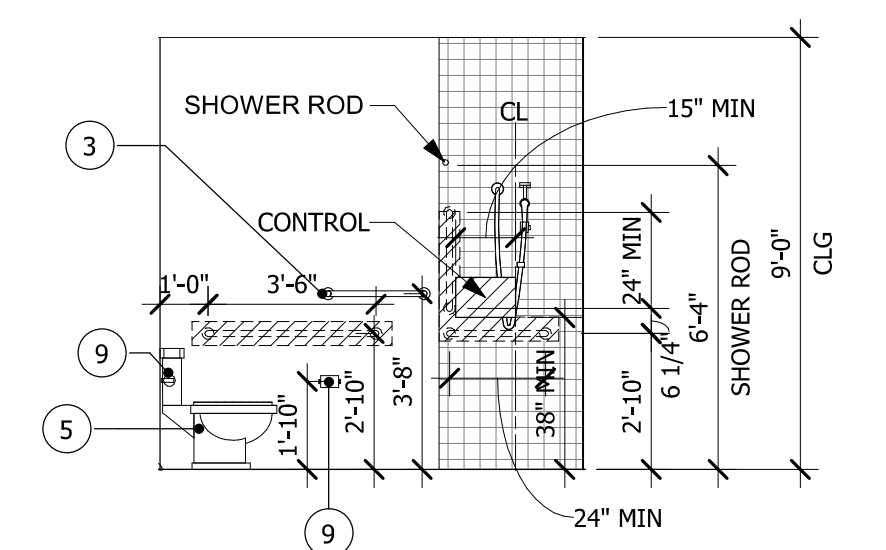
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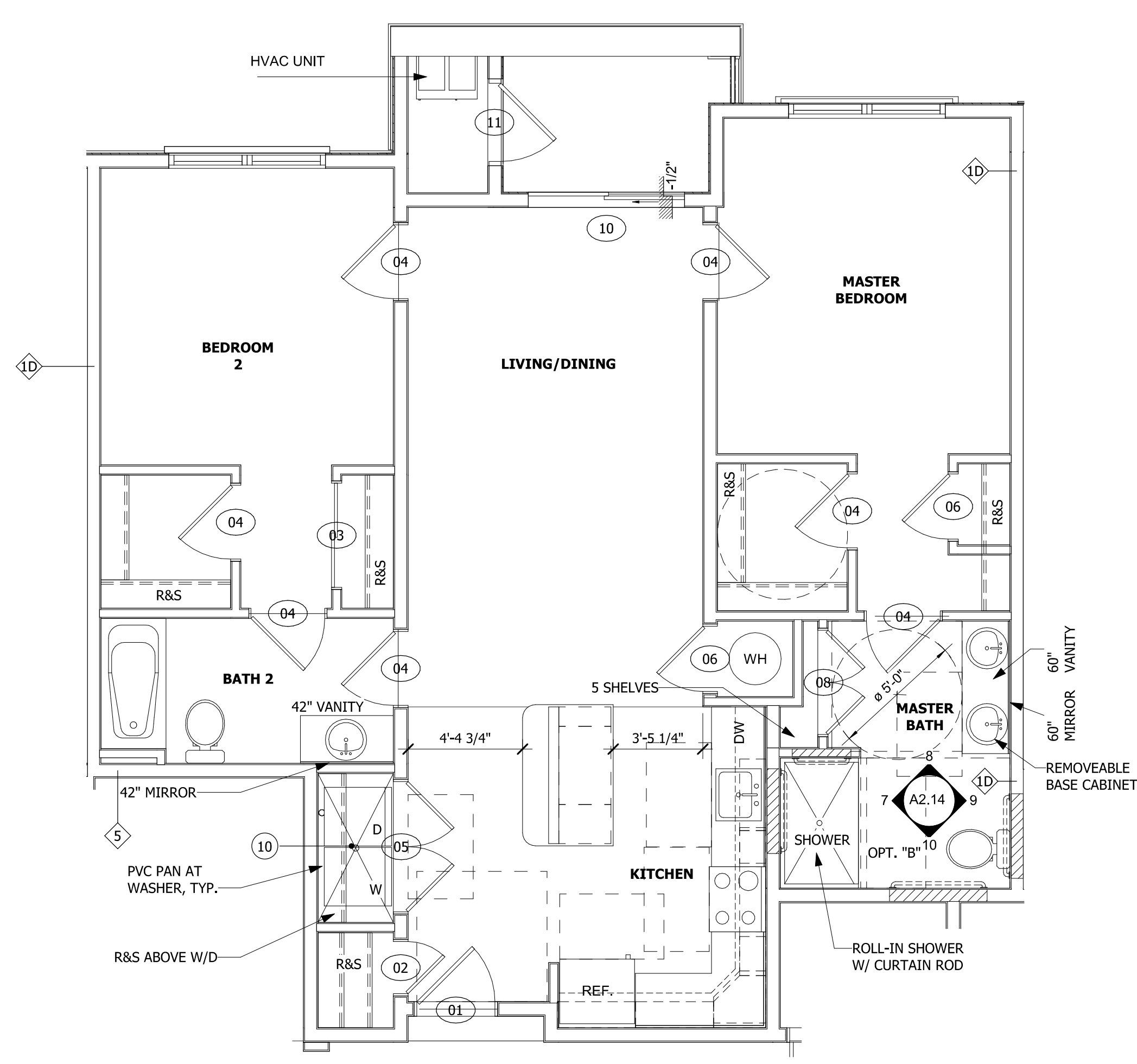
**9 UNIT C ACCESSIBLE MSTR BATH - 3**  
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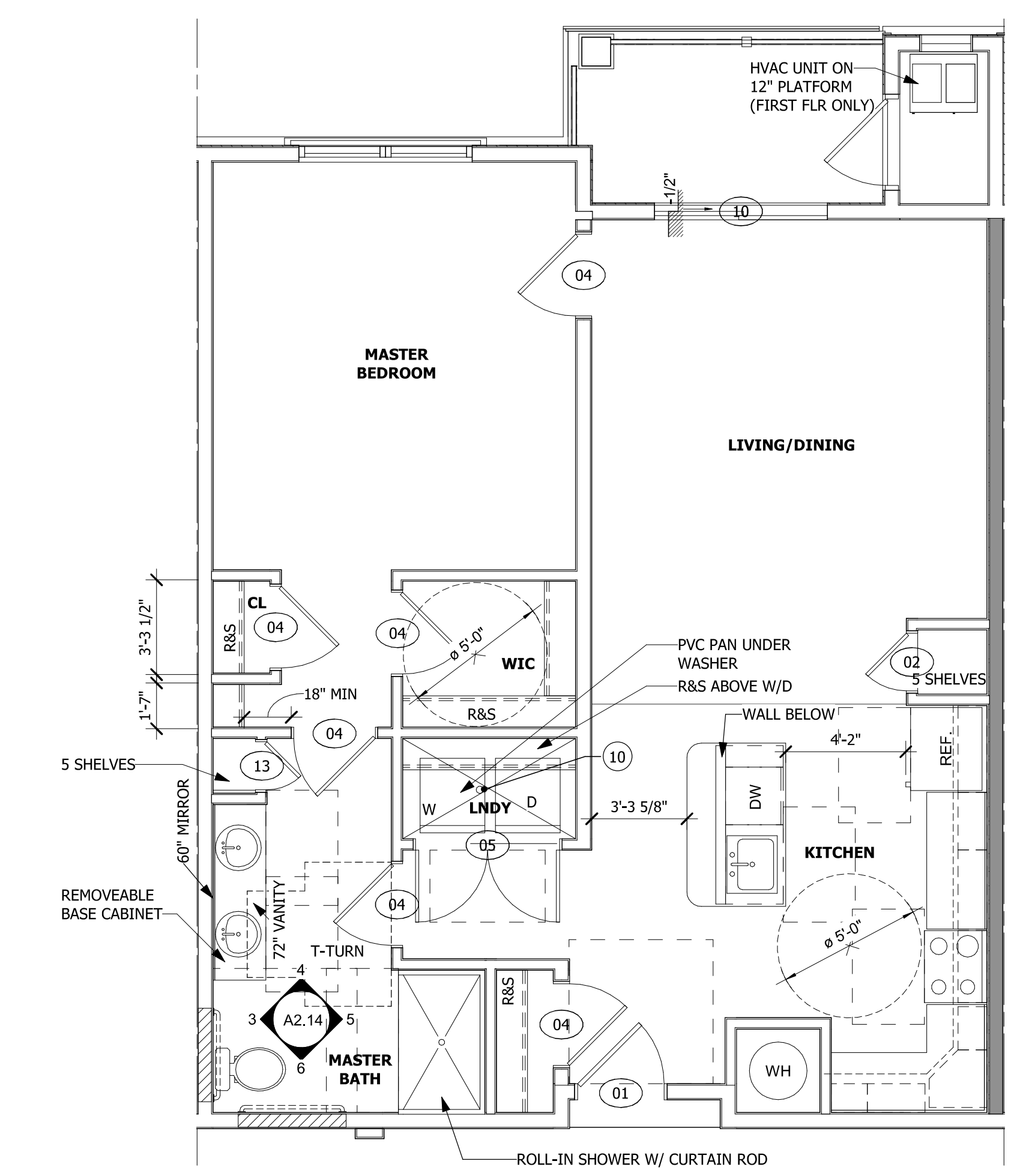
**8 UNIT C ACCESSIBLE MSTR BATH - 2**  
 SCALE: 1/4" = 1'-0"



**7 UNIT C ACCESSIBLE MSTR BATH - 1**  
 SCALE: 1/4" = 1'-0"



**2 UNIT C ACCESSIBLE PLAN**  
 SCALE: 1/4" = 1'-0"

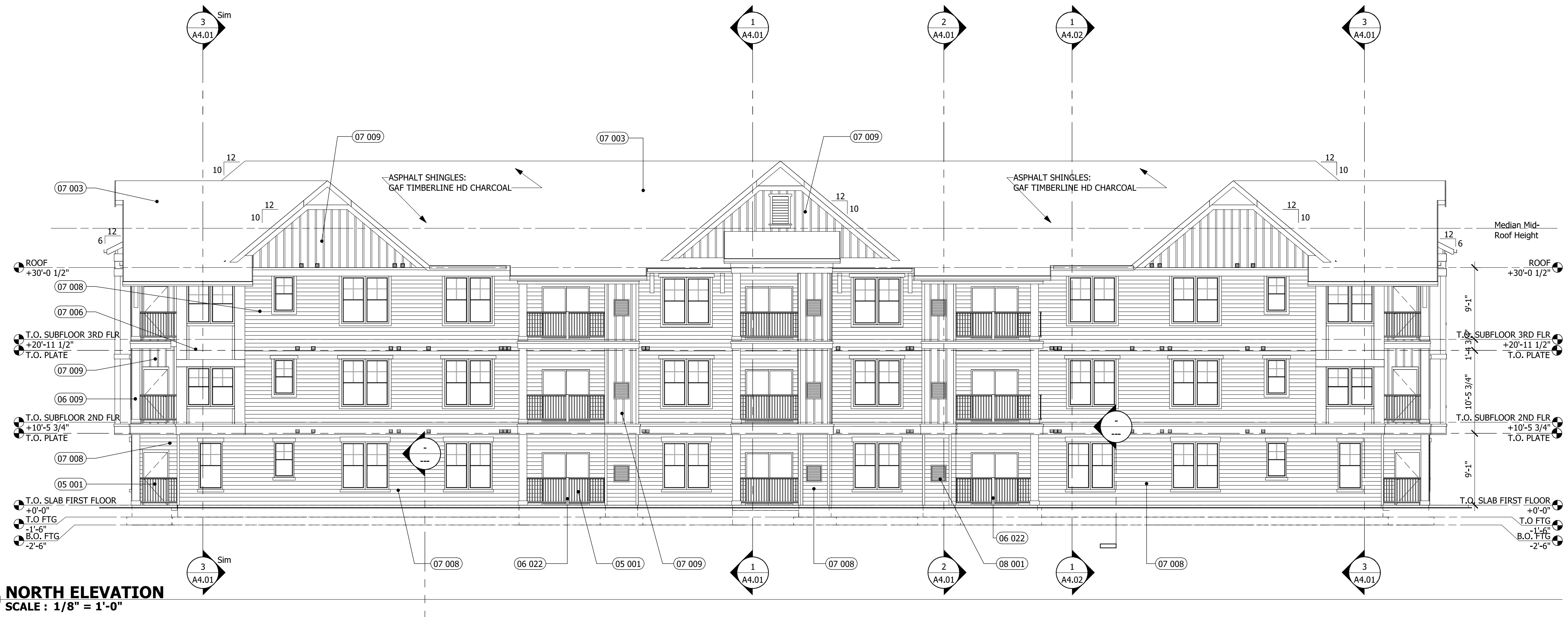


**1 UNIT D ACCESSIBLE PLAN**  
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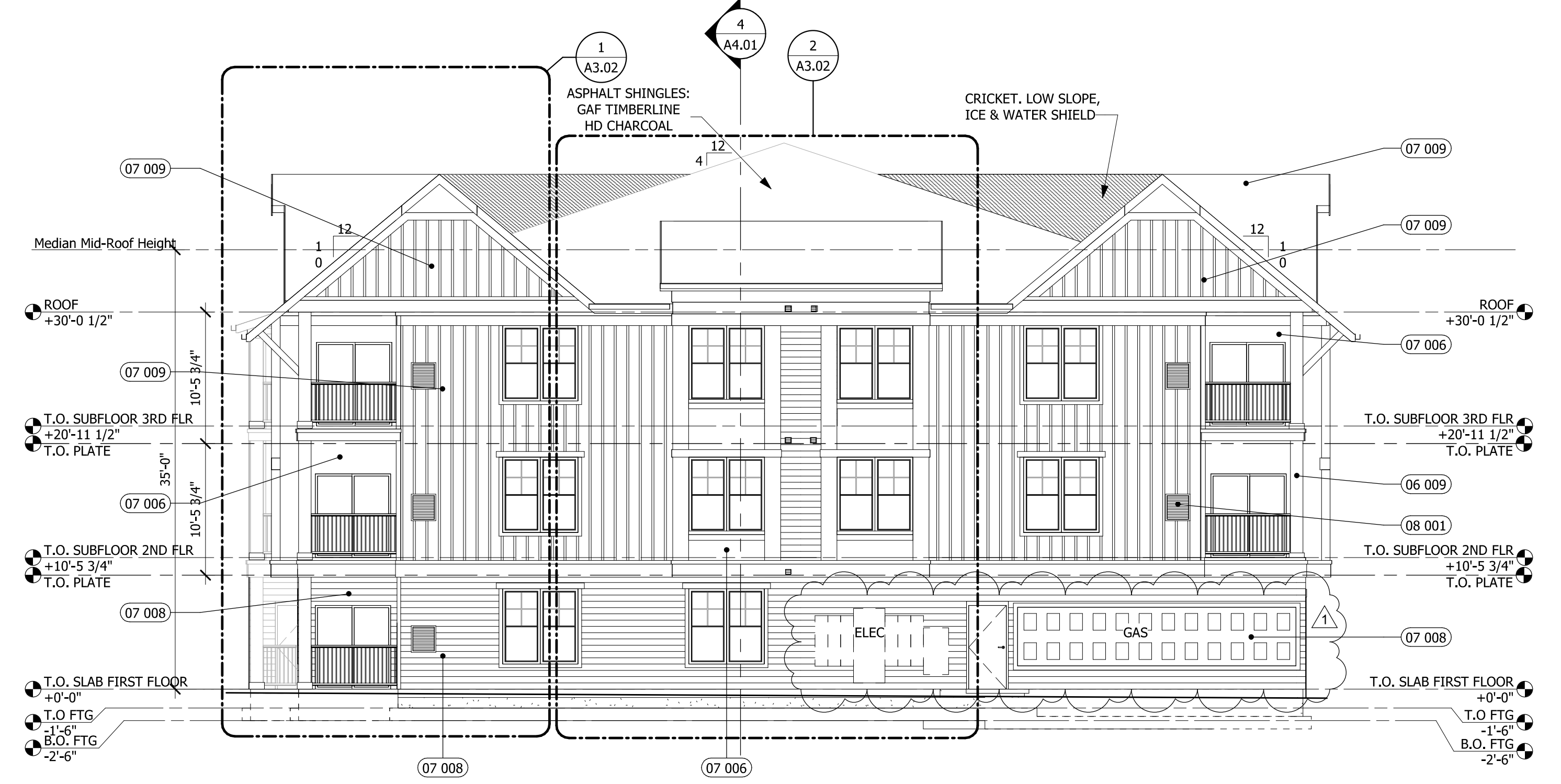
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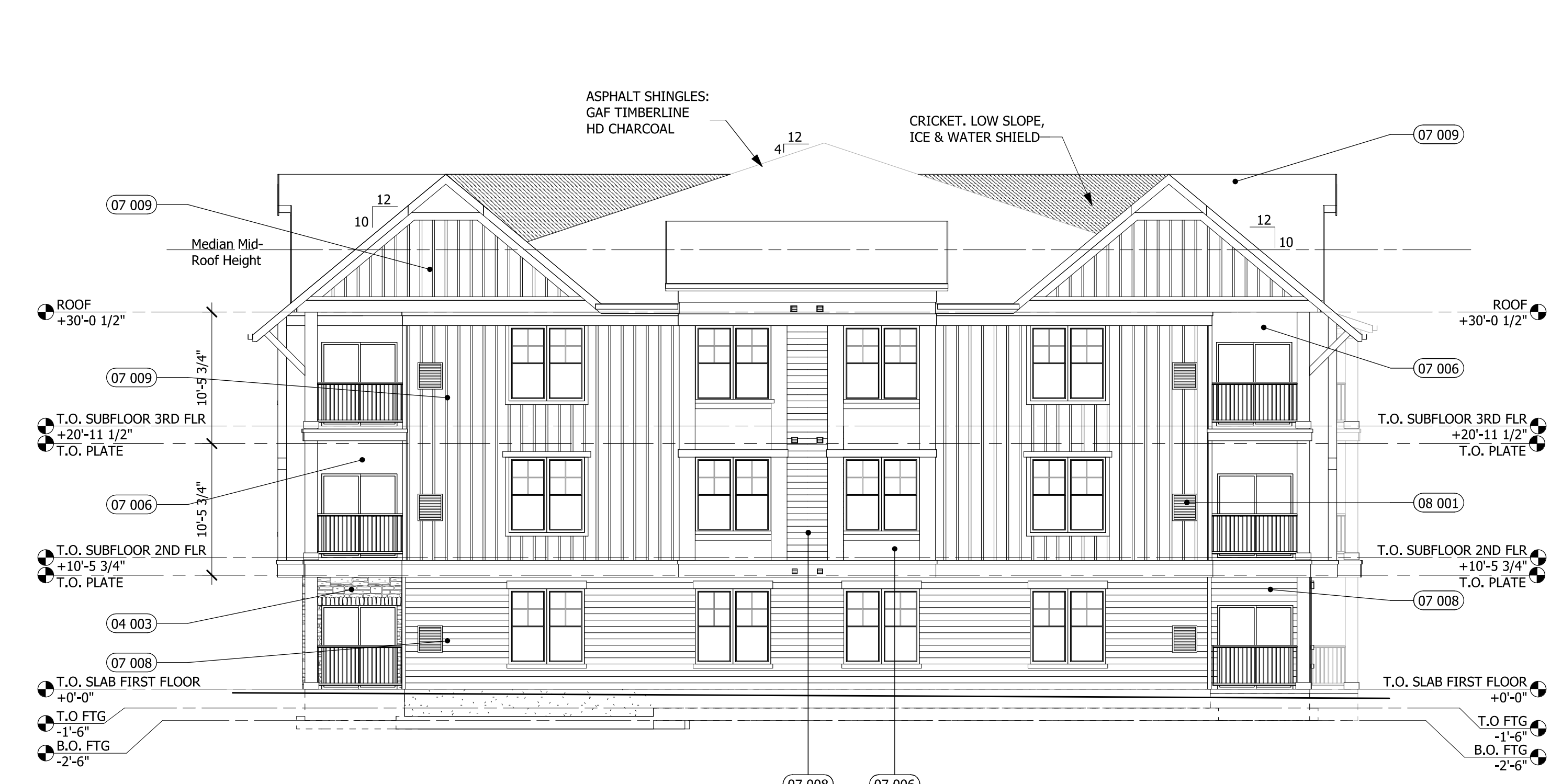
ELEVATION KEYNOTE LEGEND	
MARK	DESCRIPTION
03 001	CONCRETE FOOTING
03 002	CONCRETE FOUNDATION
03 003	CONCRETE SIDEWALK/CONC. PAD
04 003	MANUFACTURED STONE VENEER
04 006	PRECAST CAP
04 007	MANUFACTURED STONE SOLDIER HEADER
04 008	MANUFACTURED STONE WINDOW SILL
05 001	VINYL RAILING SYSTEM
05 002	GUTTERS
05 003	
06 001	AZEK PANEL
06 002	2 x 8 WOOD FASCIA / FRIEZE BOARD WRAPPED - TRIM COIL
06 003	5/4 x 10 AZEK TRIM
06 004	5/4 x 12 AZEK TRIM
06 005	5/4 x 16 - AZEK TRIMBOARD
06 006	5/4 x 4 - AZEK TRIMBOARD
06 007	24 x 48 FYPON DECORATIVE LOUVER
06 008	PVC BRACKET
06 009	FAIRWAY BRAND COLUMN COLOR: WHITE
06 010	8/4 x 4 AZEK TRIM
06 012	4/4 x 6 AZEK TRIM - TRIMBOARD
06 013	4/4 x 4 AZEK TRIM - TRIMBOARD
06 014	5/4 x 16 AZEK TRIM RIPPED TO FIT
06 020	5/4 x 4 AZEK TRIM - TRIMBOARD
06 021	5/4 x 6 AZEK TRIM - TRIMBOARD
06 022	4 x 4 BALUSTER
07 003	ASPHALT SHINGLES - GAF TIMBERLINE HD CHARCOAL
07 004	STANDING SEAM METAL ROOF
07 006	AZEK PANEL (SMOOTH)
07 008	VINYL HORIZONTAL SIDING "CERTAIN TEED" OR EQUIVALENT
07 009	VINYL BATTEN BOARD "CERTAIN TEED" OR EQUIVALENT
08 001	33" MAGIC PAK AHU LOUVER
08 002	OVERHEAD GARAGE DOOR



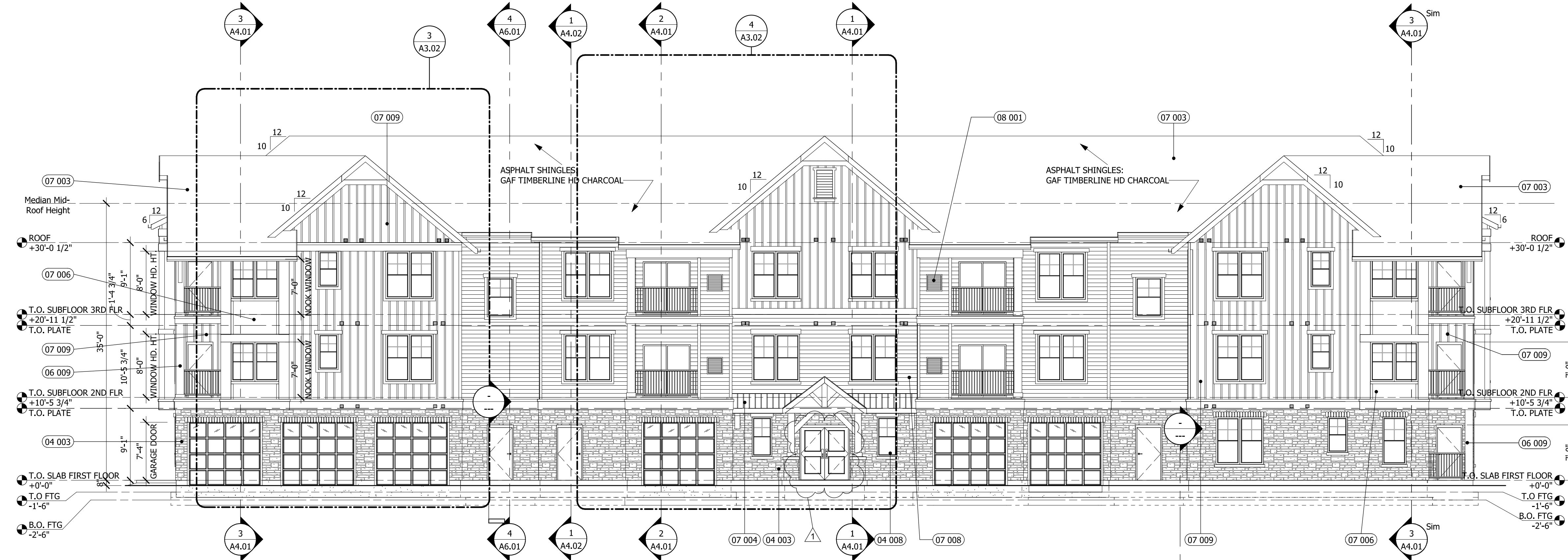
**4 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**2 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**3 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION

DANIEL MCCAULEY  
 21A0712620  
 Professional Architect  
 NJ License Number:

**THE MARTIN ARCHITECTURAL GROUP, P.C.**  
 ARCHITECTS AND PLANNERS  
 A PROFESSIONAL CORPORATION  
 240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103  
 P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY  
 P.M.: JULIAN DELGADO  
 DRAWN BY: TT  
 PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	06/02/2022
2	OWNER REQUEST	06/21/2022

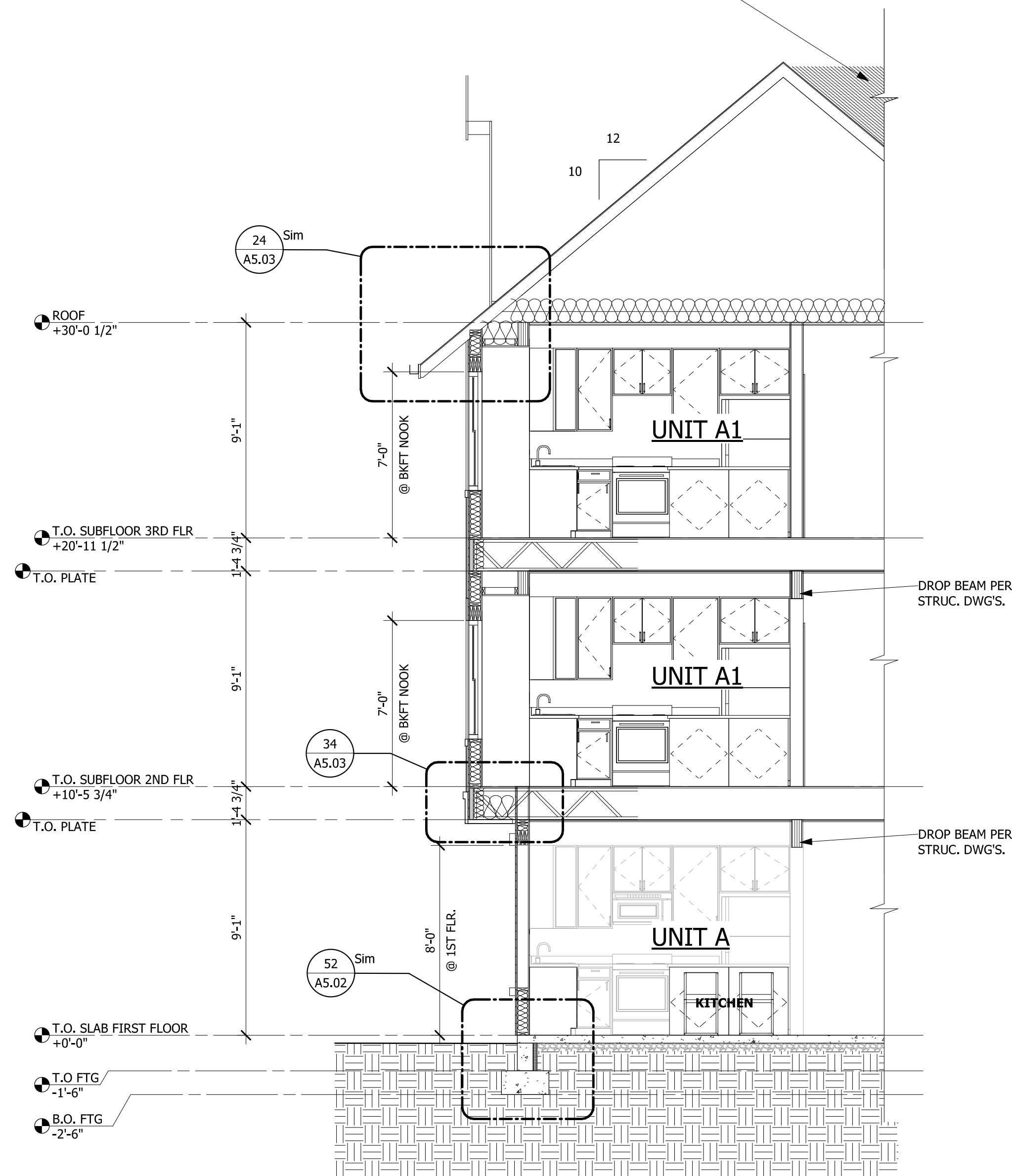
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**ELEVATIONS**  
**RAVEN'S NEST - APARTMENTS**  
 Building #3  
 Gateway Township, NJ 08205

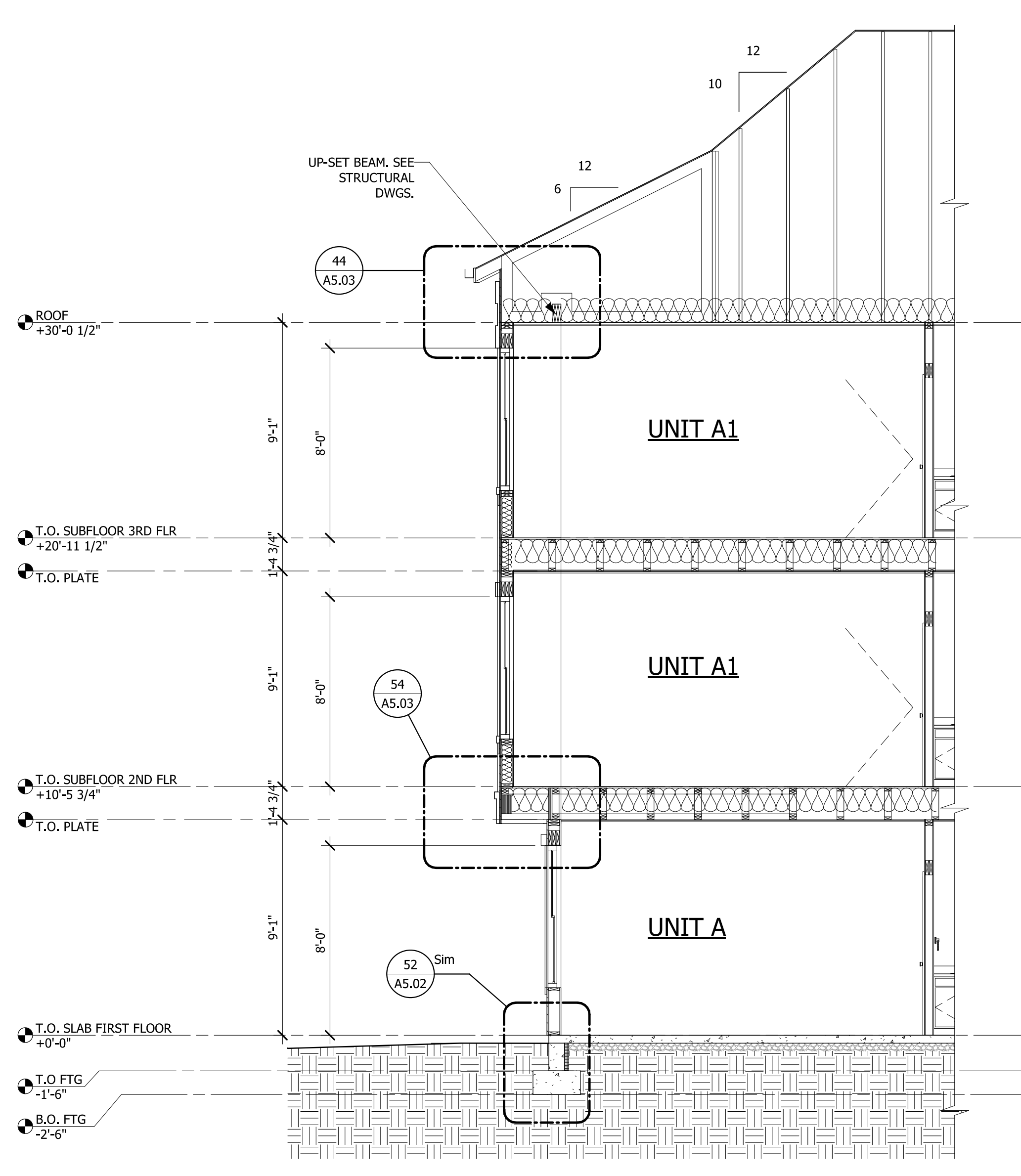
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Building #3  
**A3.01**  
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CRICKET, LOW SLOPE,  
USE ICE & WATER SHIELD

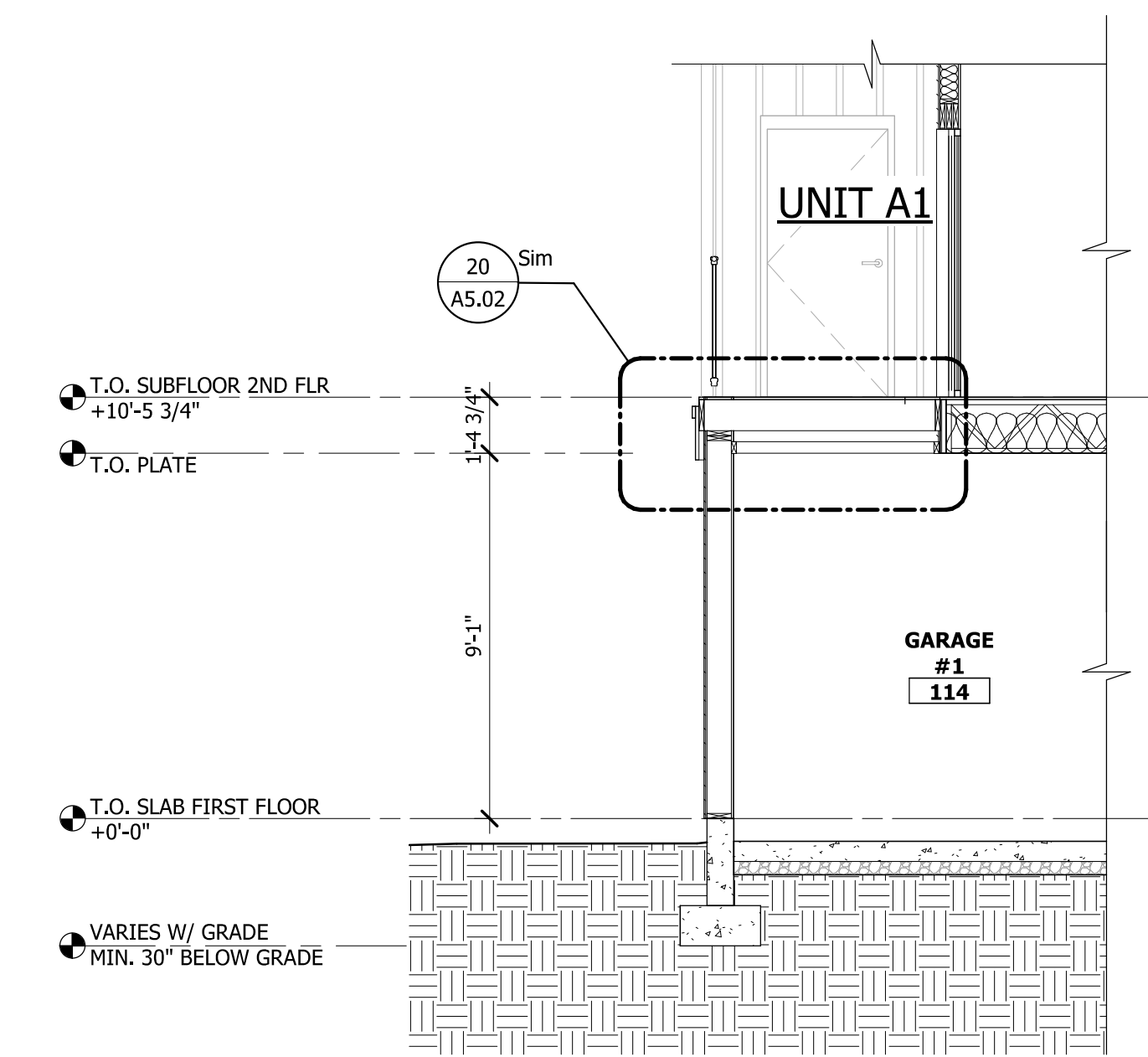


**3 Partial Section @ Dining Rm Bump Out**  
SCALE: 1/4" = 1'-0"

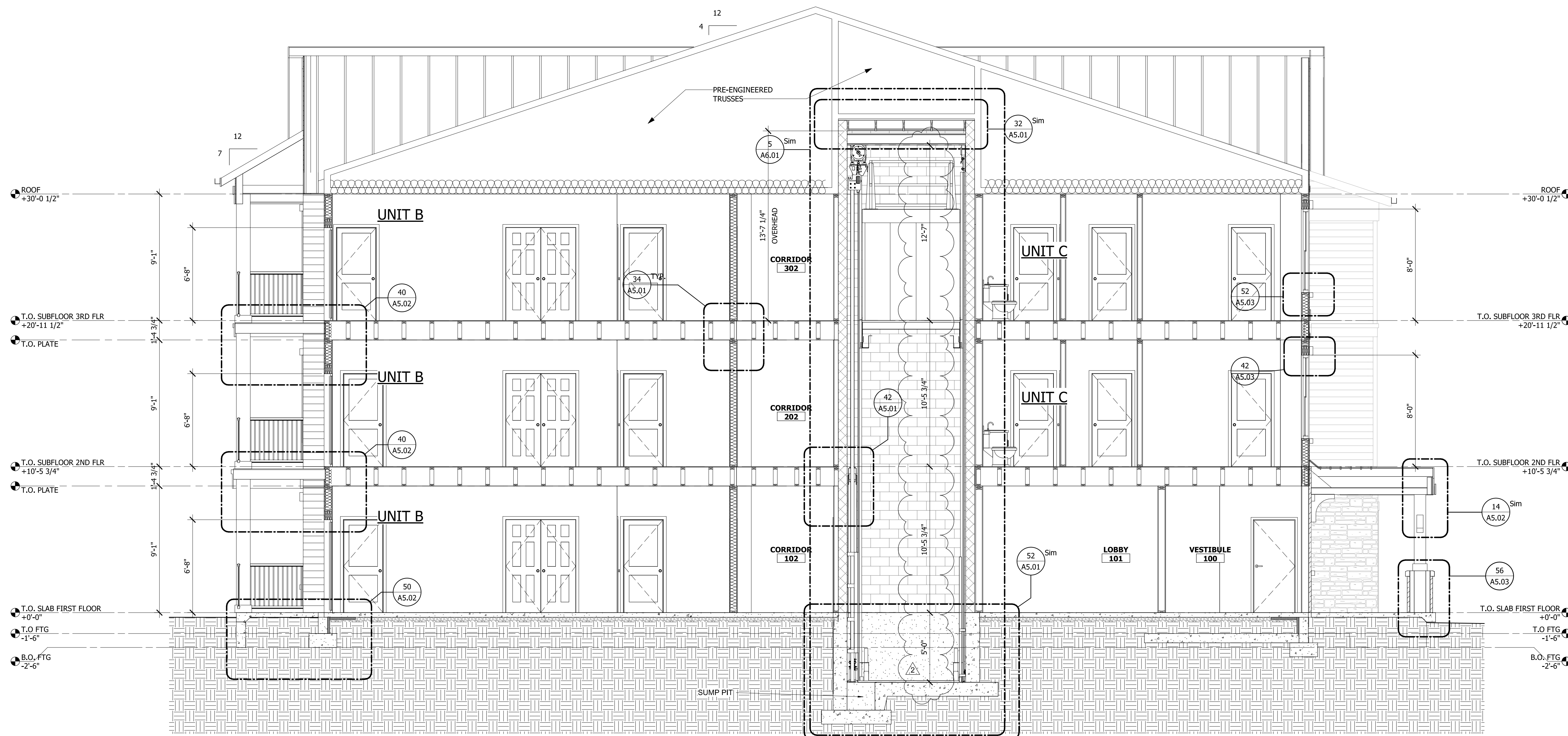


**4 Partial Section @ Bedroom Bump Out**  
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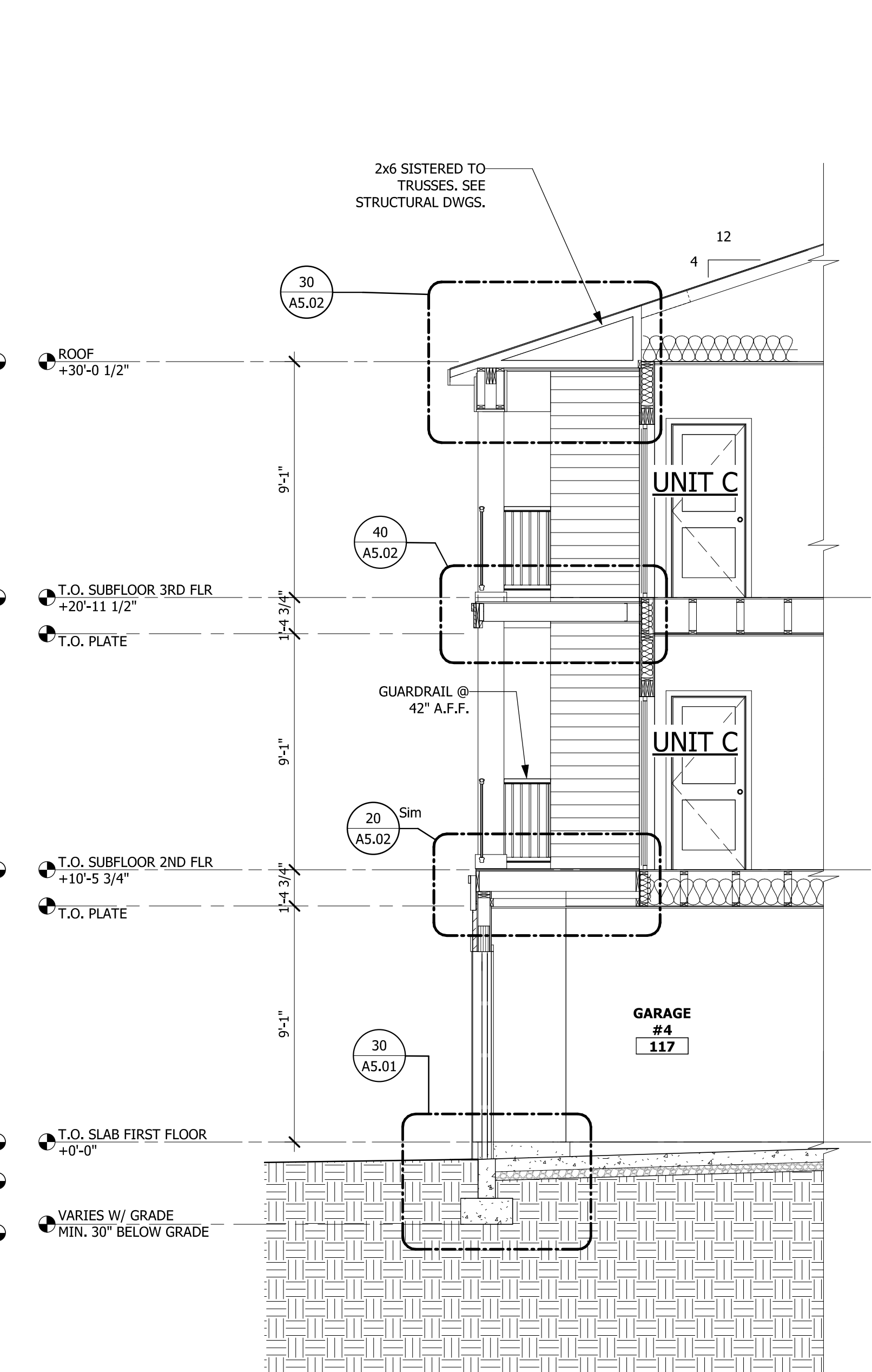
- GENERAL NOTES**
- ALL DIMENSIONS ARE TO ROUGH FRAMING STUD TO STUD & 3 1/2" STUDS UNLESS NOTED OTHERWISE
  - ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
  - ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
  - ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
  - REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
  - WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
  - AT RATED SEPARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
  - WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
  - ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS
  - TYPE A UNITS = 24 UNITS x 5% = 1.2 UNITS = 2 UNITS, ONE UNIT MIN. EACH BEDROOM TYPE = 2 UNITS TOTAL



**5 Partial Section @ Garage & Deck @ Building Corners**  
SCALE: 1/4" = 1'-0"



**1 Building Section Thru Elevator**  
SCALE: 1/4" = 1'-0"



**2 Partial Section @ Garage & Balcony**  
SCALE: 1/4" = 1'-0"

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DANIEL MCCAULEY  
NJ License Number:  
21A0072600

**THE MARTIN ARCHITECTURAL GROUP,**  
ARCHITECTS AND PLANNERS  
A PROFESSIONAL CORPORATION  
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103  
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY  
P.M.: JULIAN DELGADO  
DRAWN BY: TT  
PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	06/02/2022
2	ELEVATOR & STAIR SUBMITTAL	08/17/2022

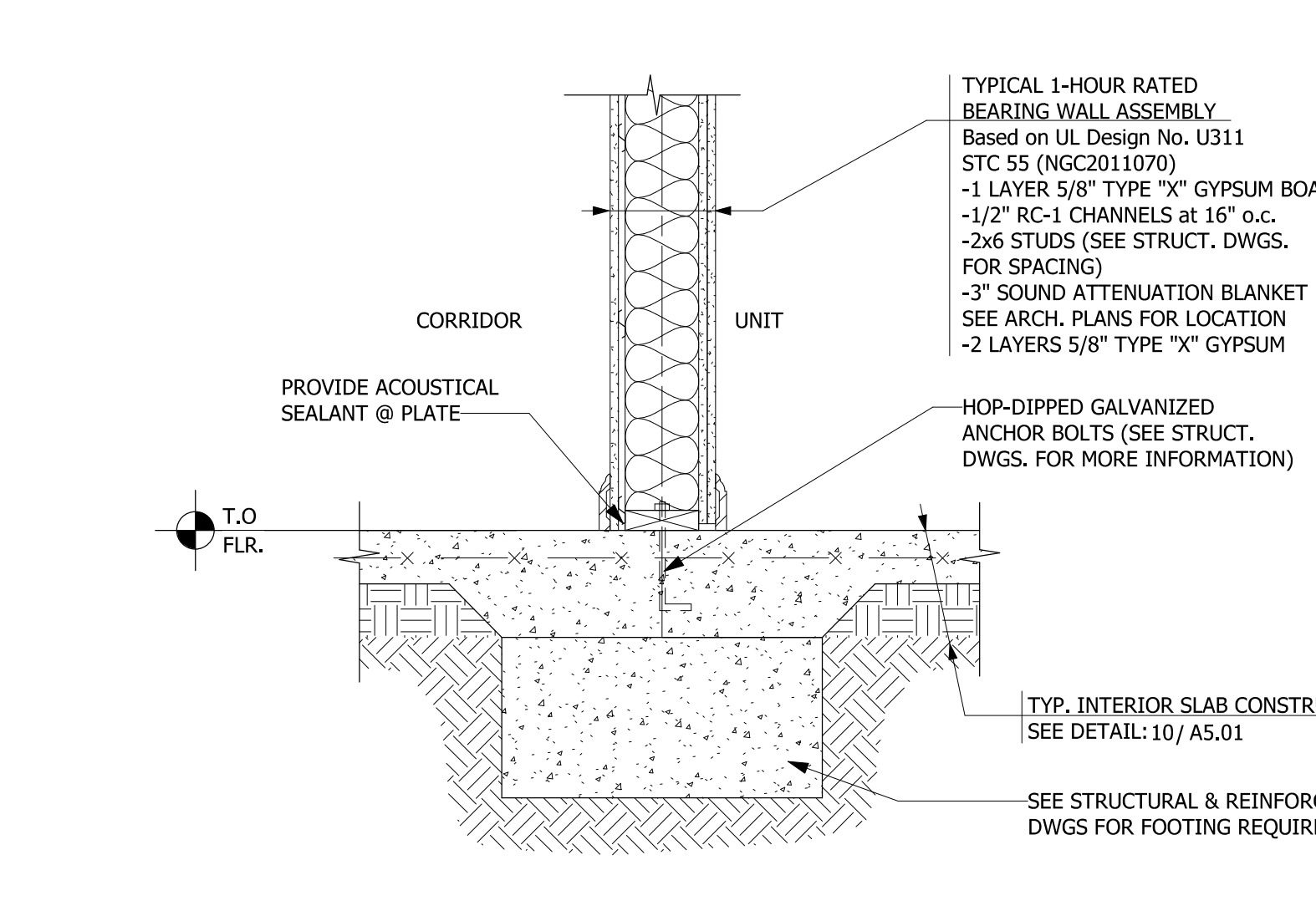
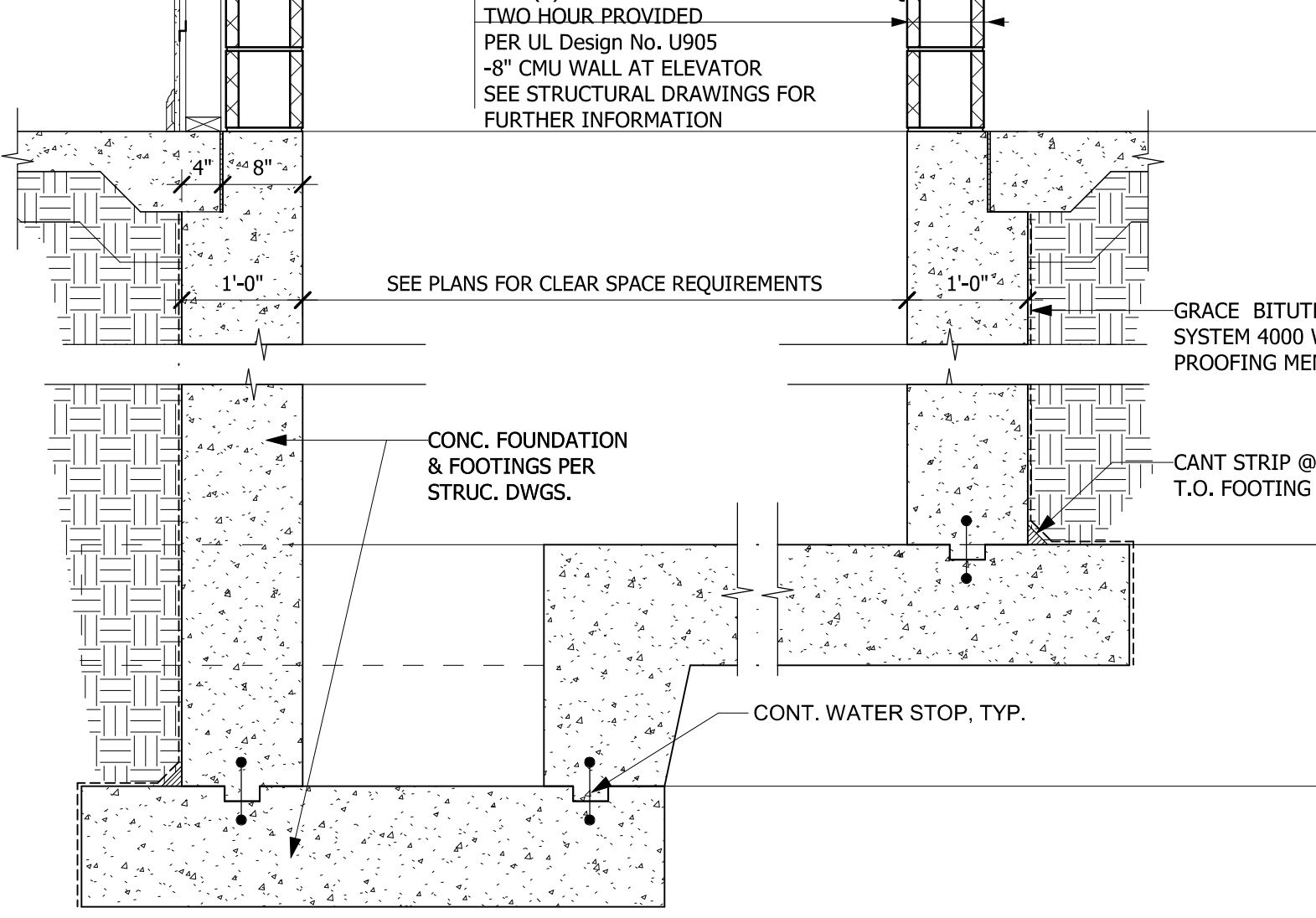
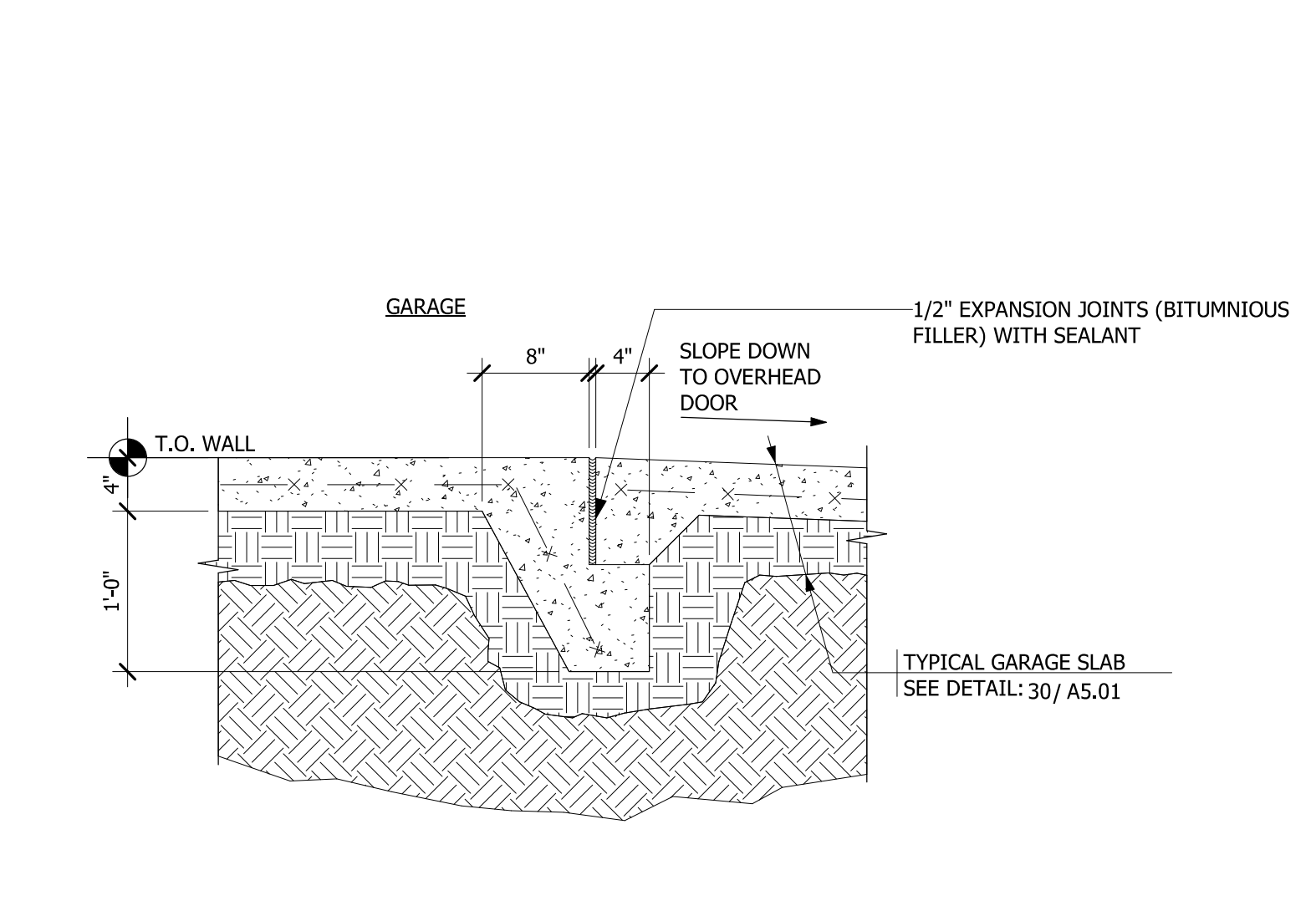
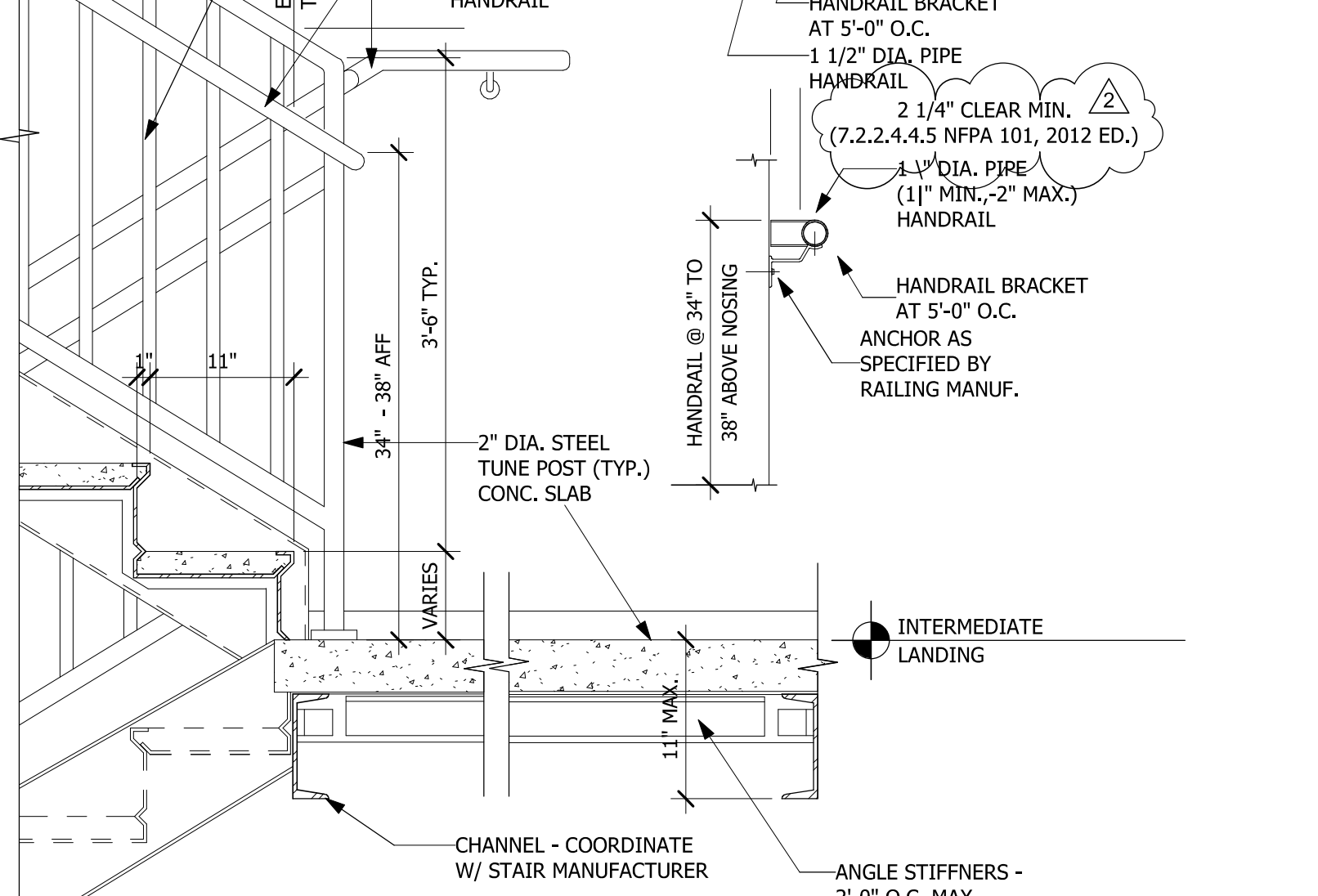
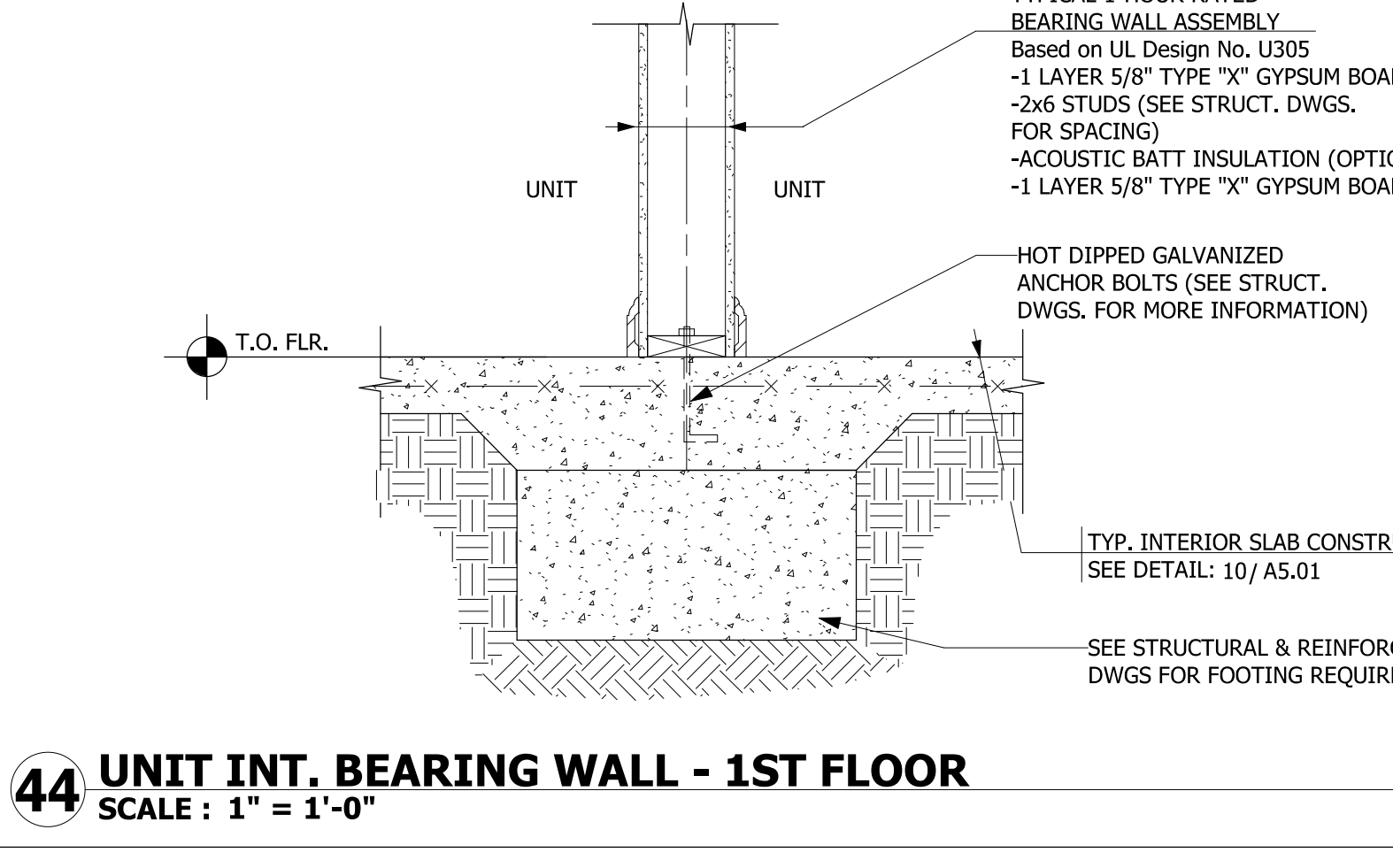
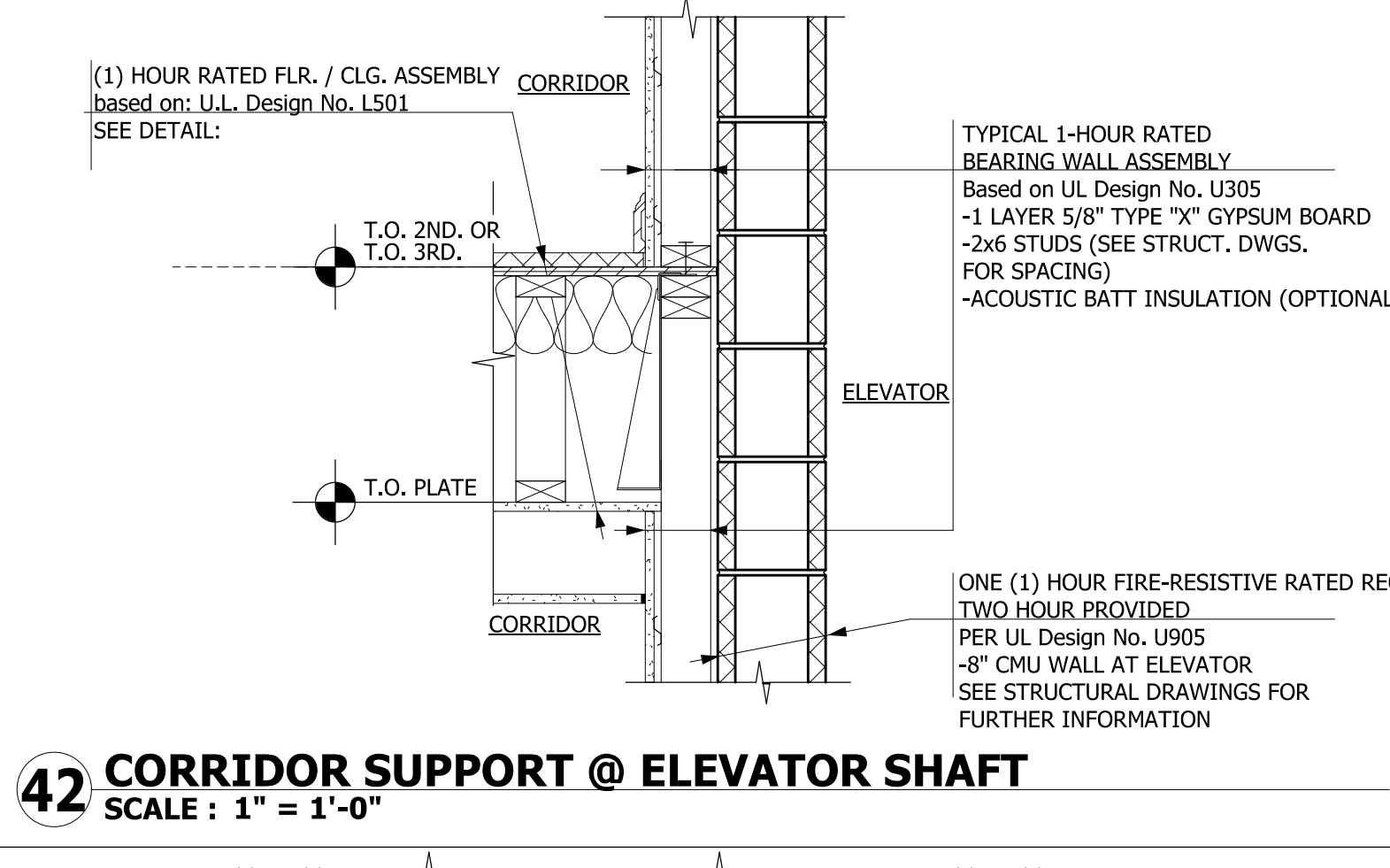
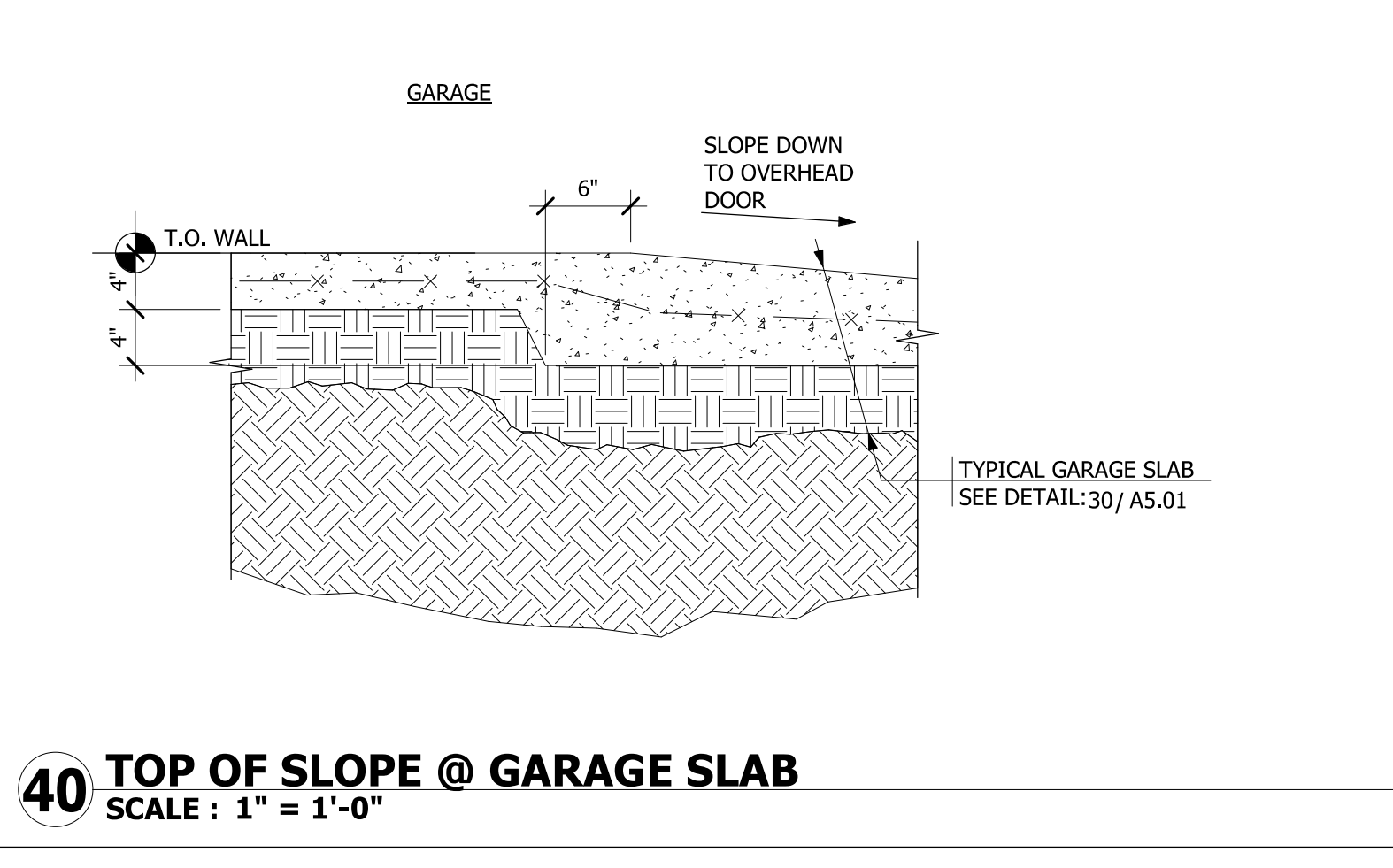
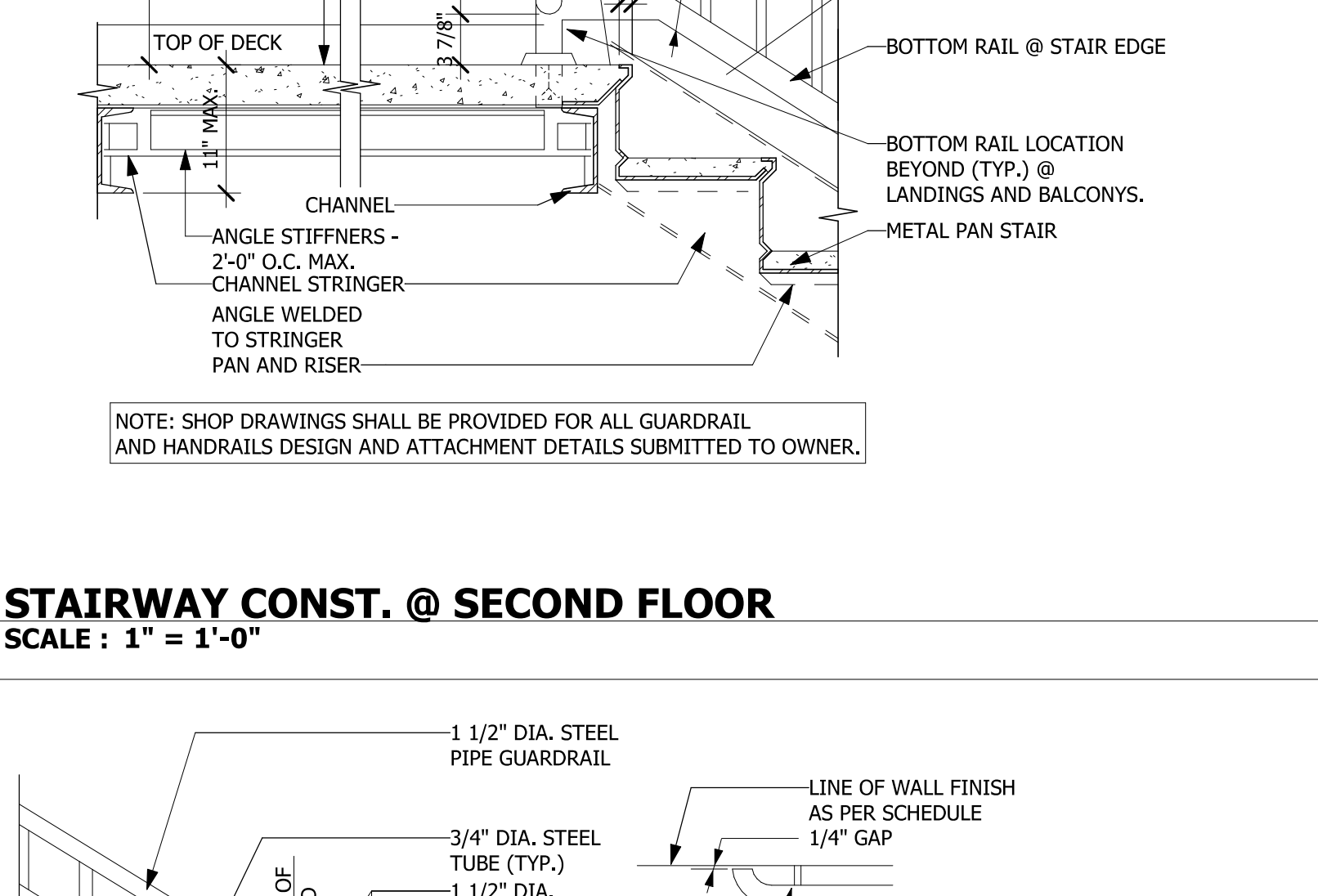
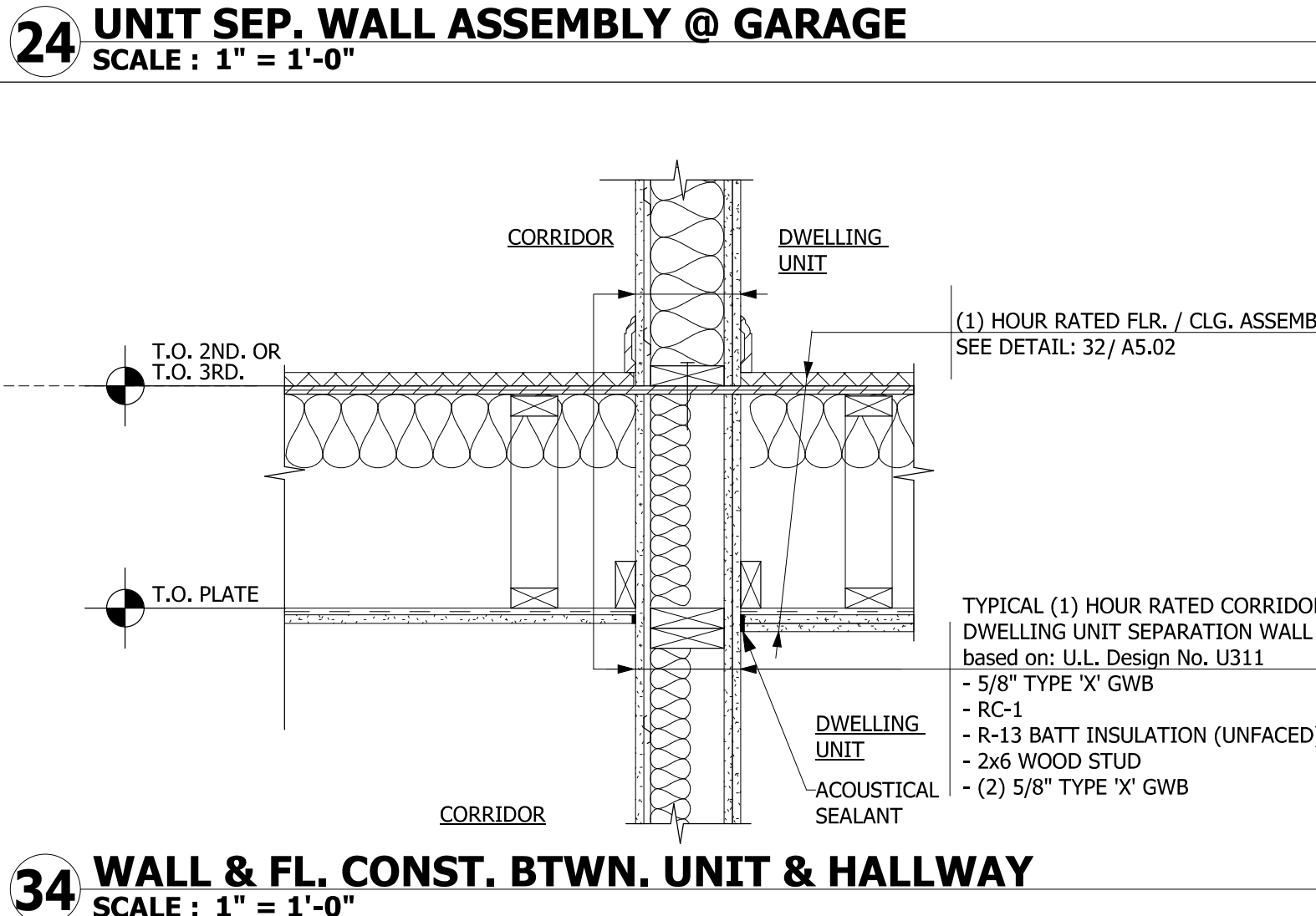
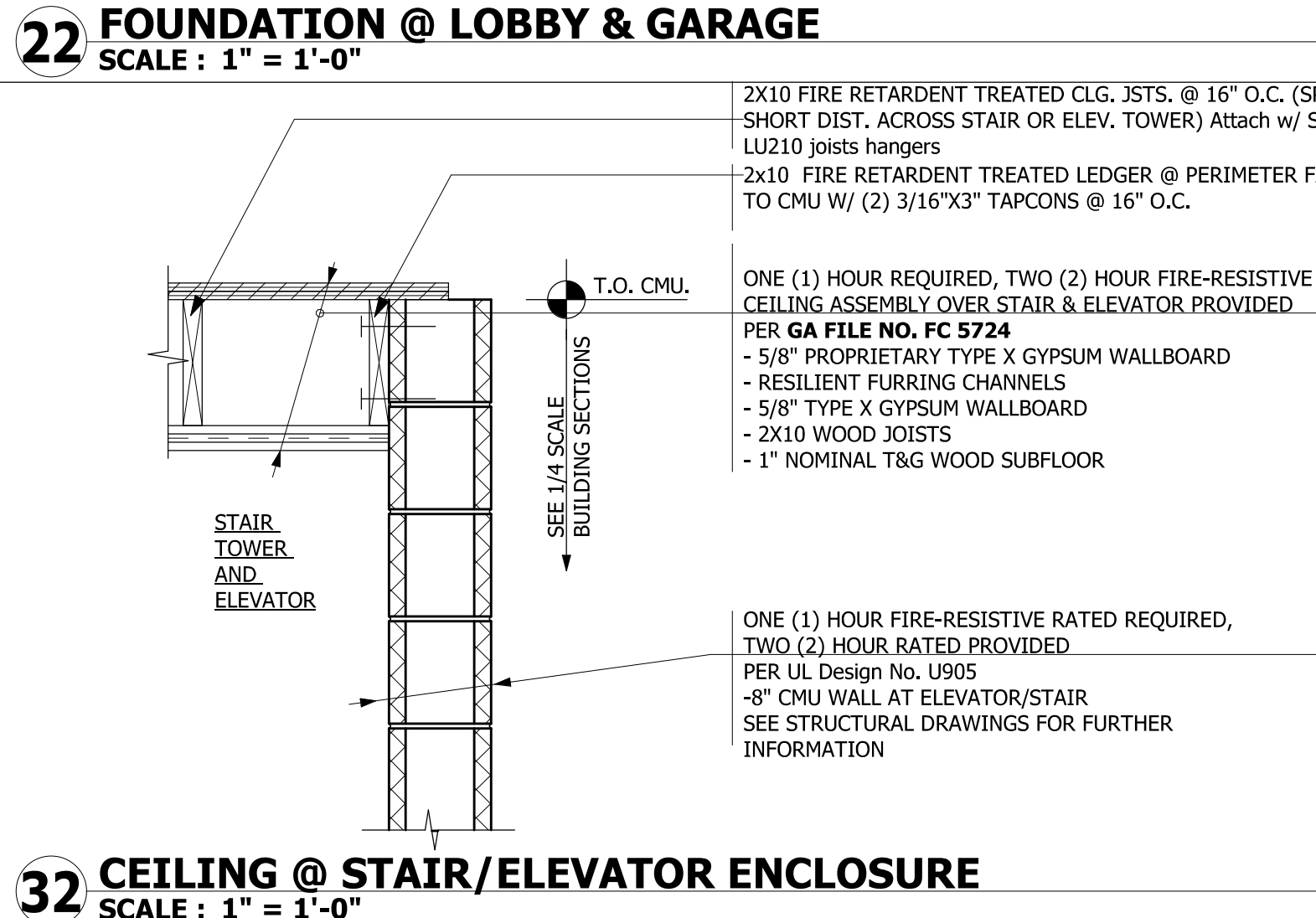
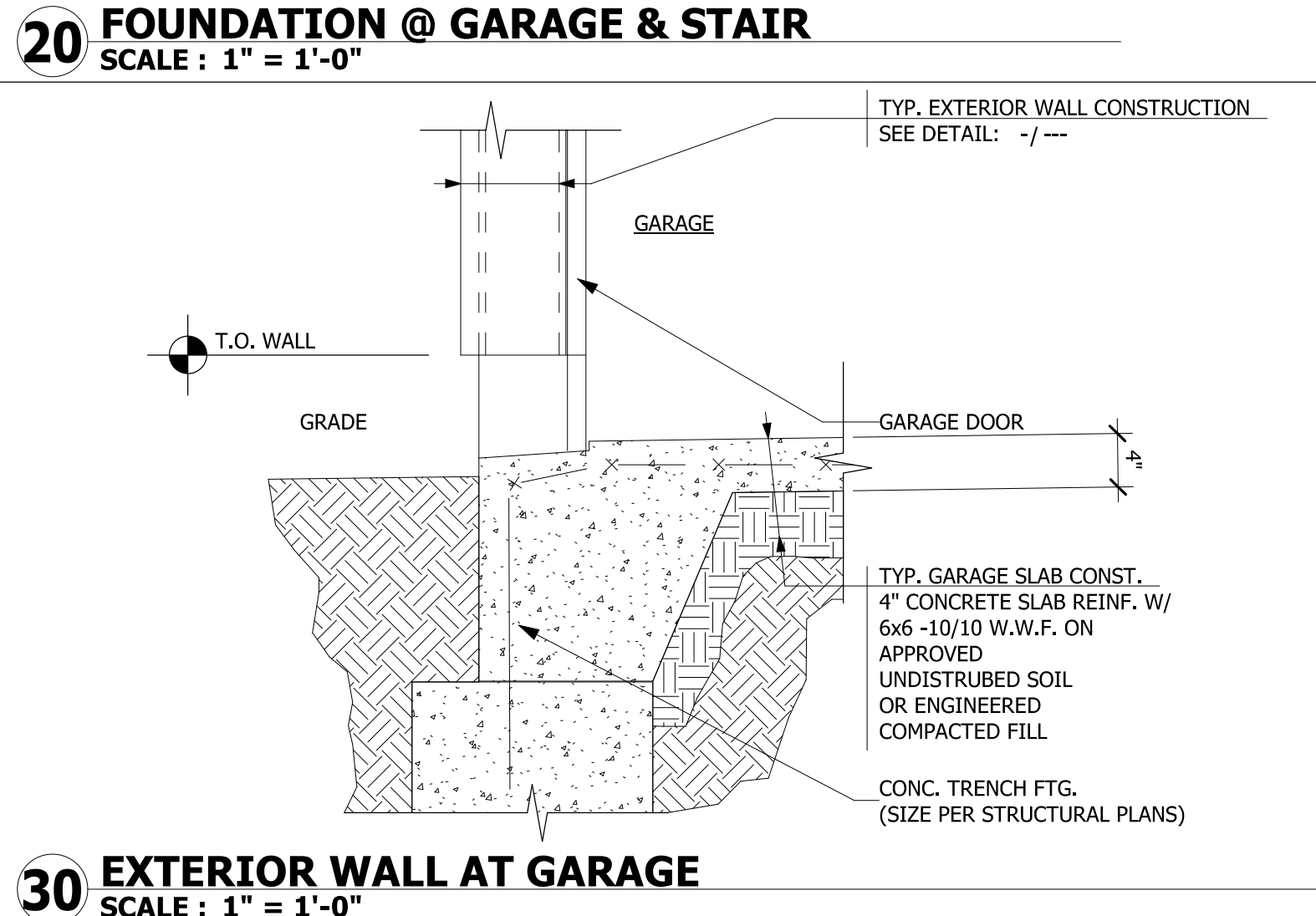
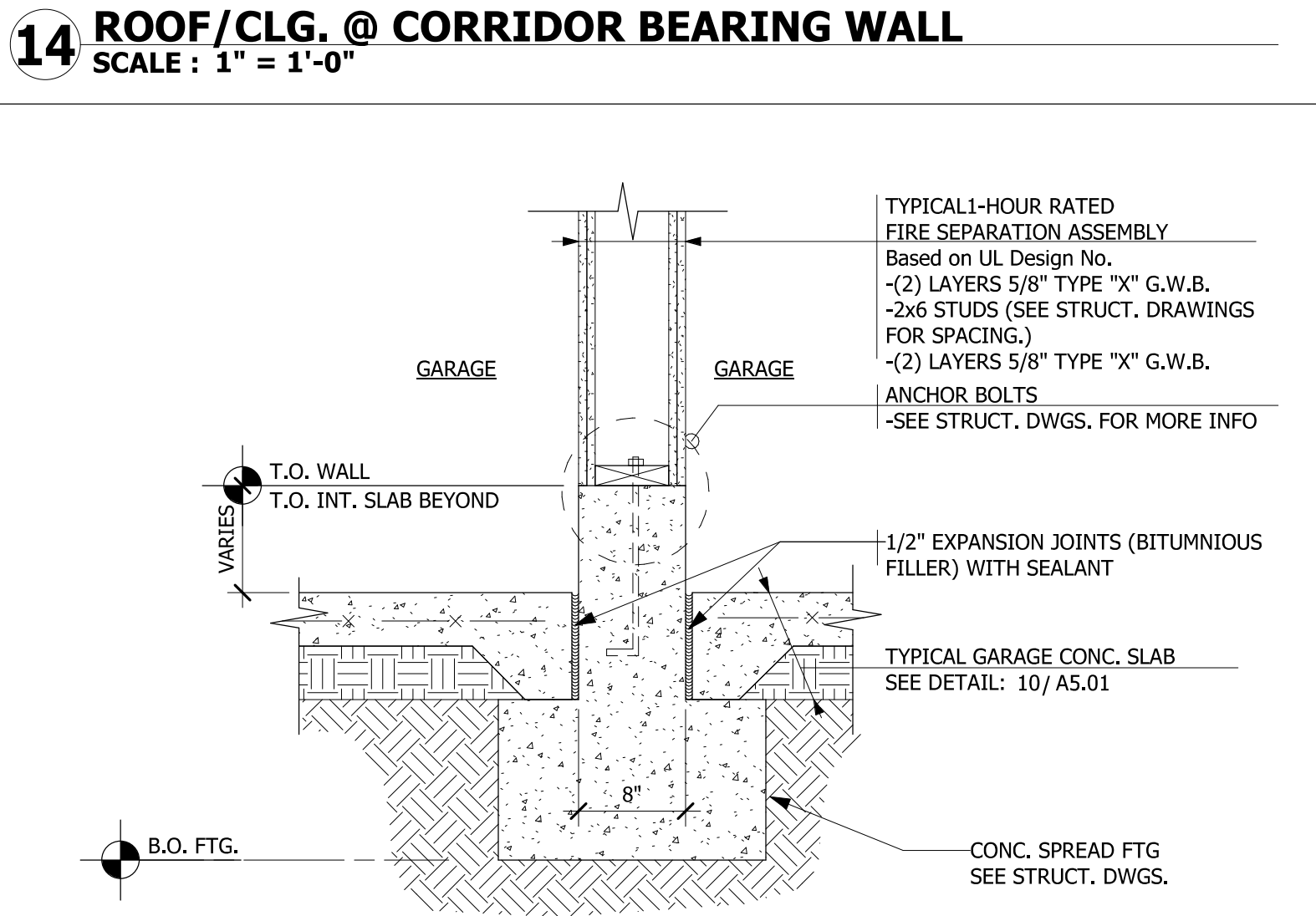
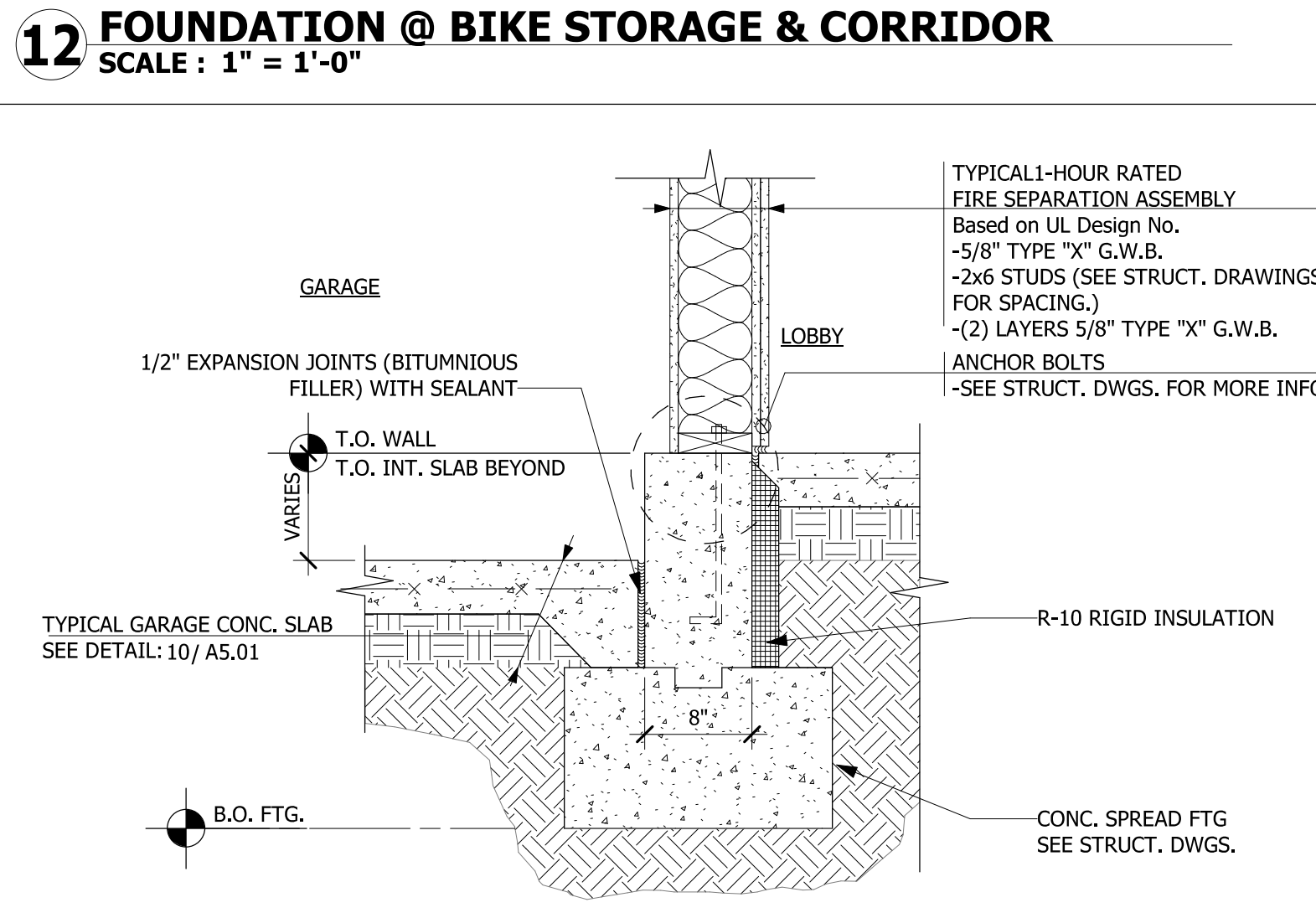
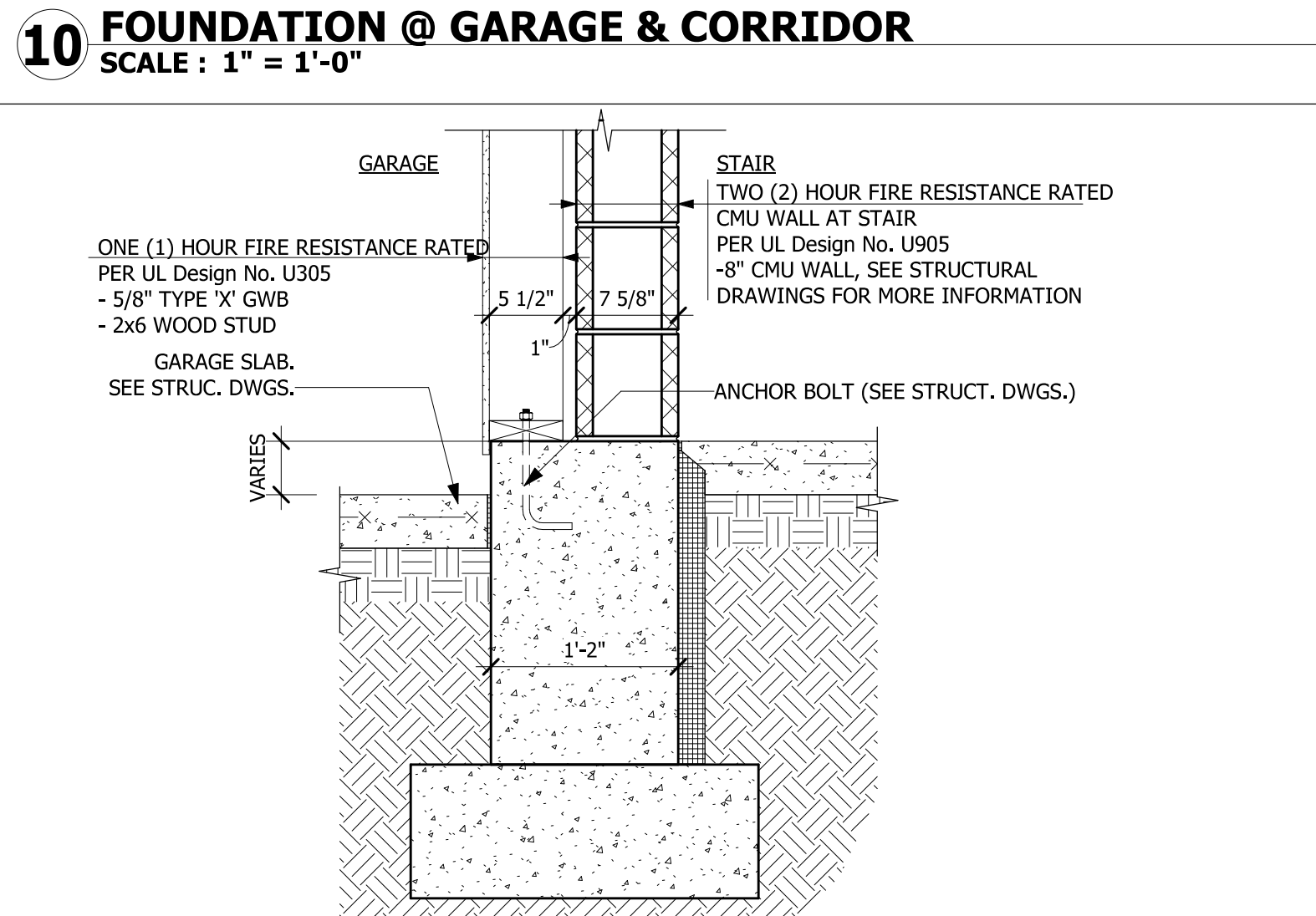
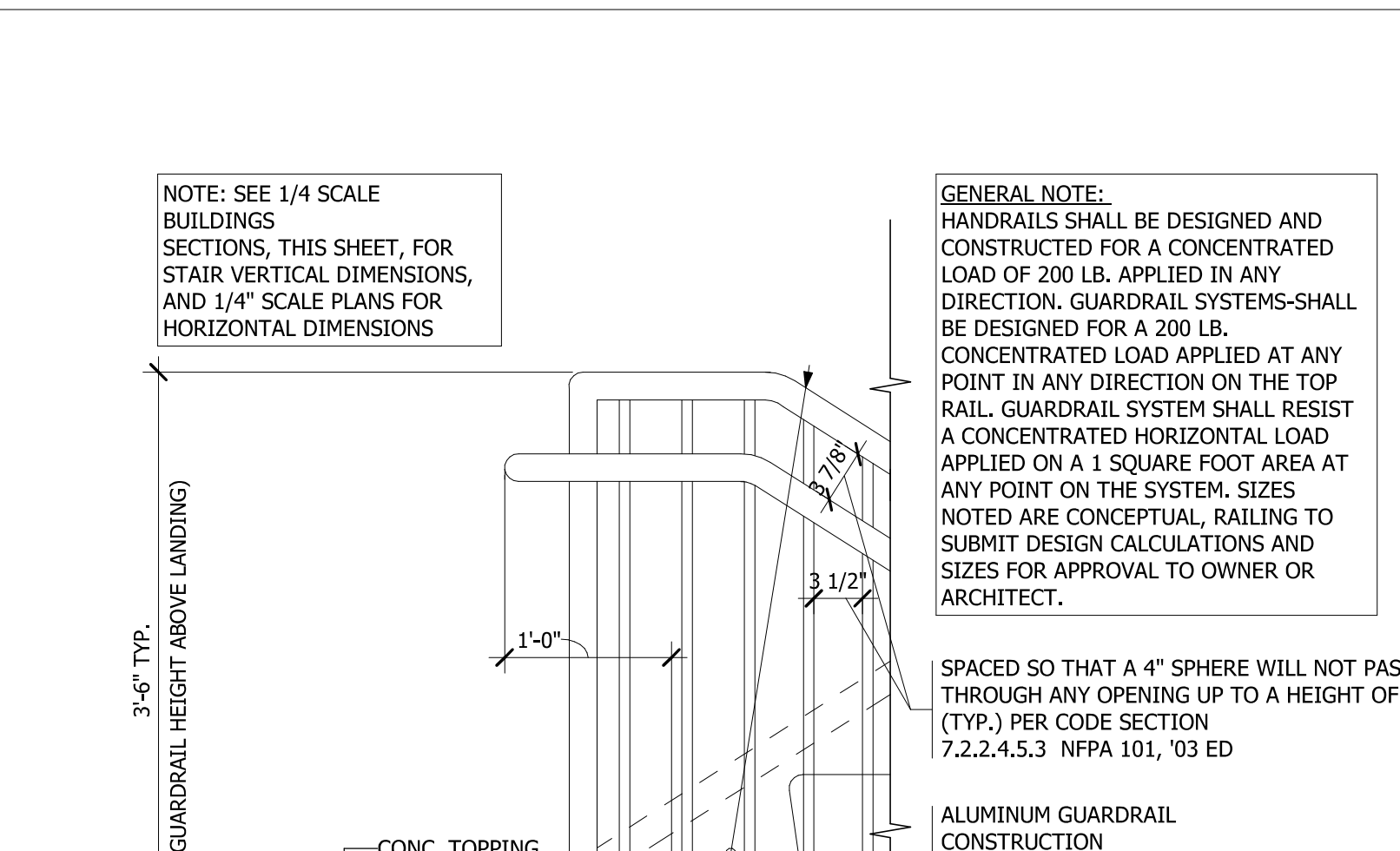
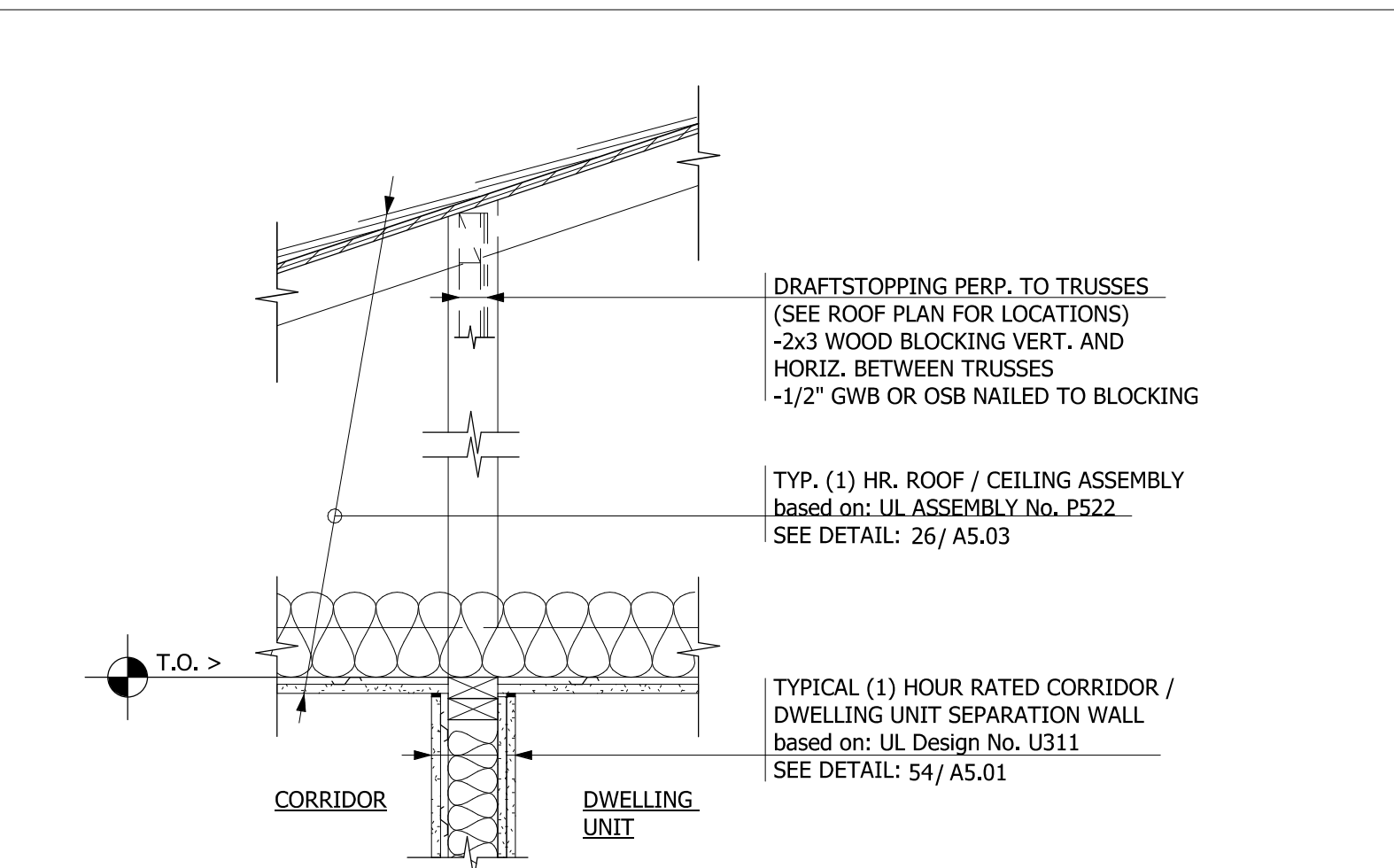
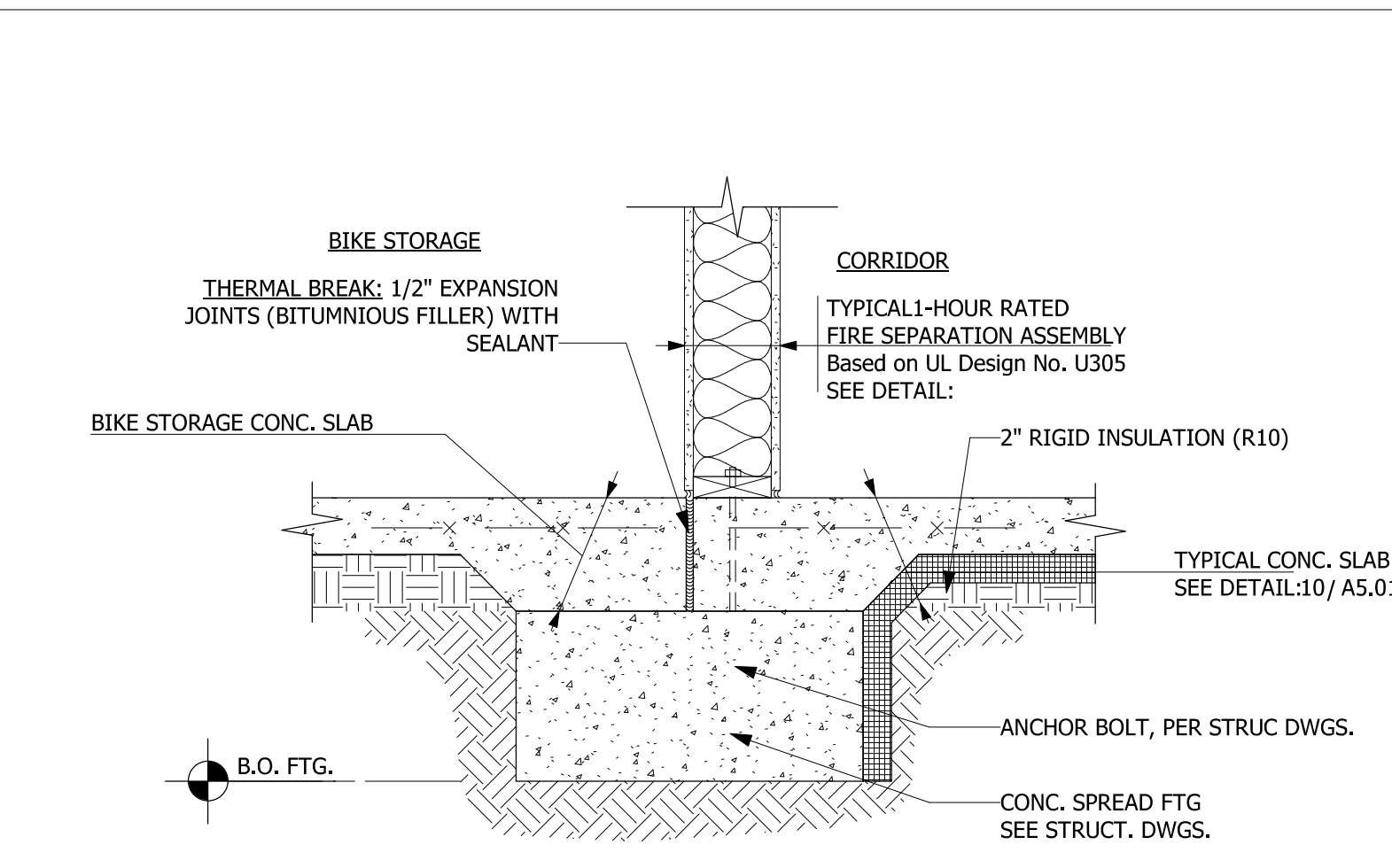
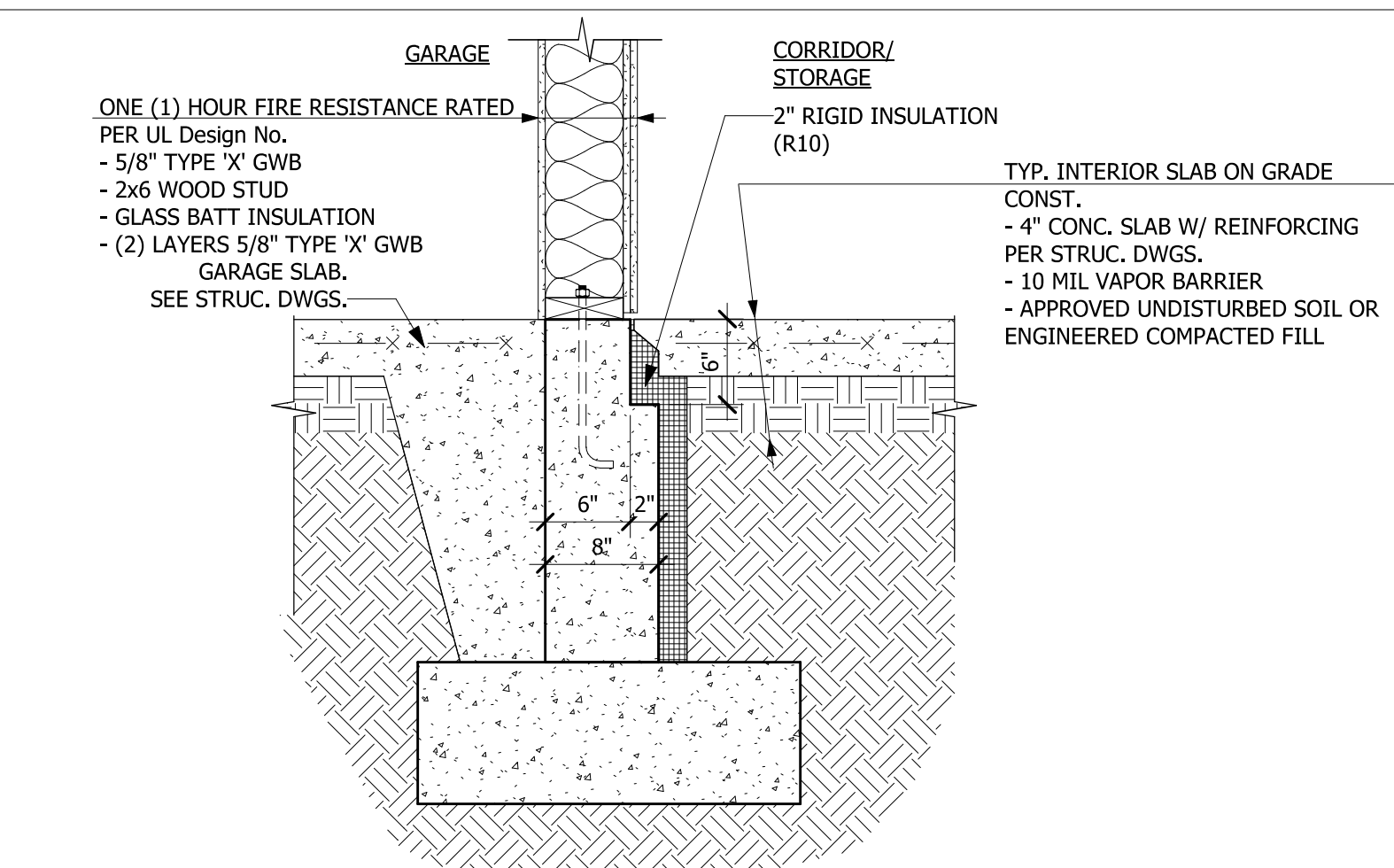
ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

**SECTIONS**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

SCALE: AS NOTED  
DATE: 12/31/2017

Building #3

**A4.01**  
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A PROFESSIONAL CORPORATION  
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103  
P (215) 665-1080 F (215) 561-5064

Professional Architect:  
DANIEL MCCAULEY  
21A0712600  
NJ License Number:

P.A.I.: DANIEL MCCAULEY  
P.M.: JULIAN DELGADO  
DRAWN BY: TT  
PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	06/02/2022
2	ELEVATOR & STAIR SUBMITTAL	08/17/2022

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

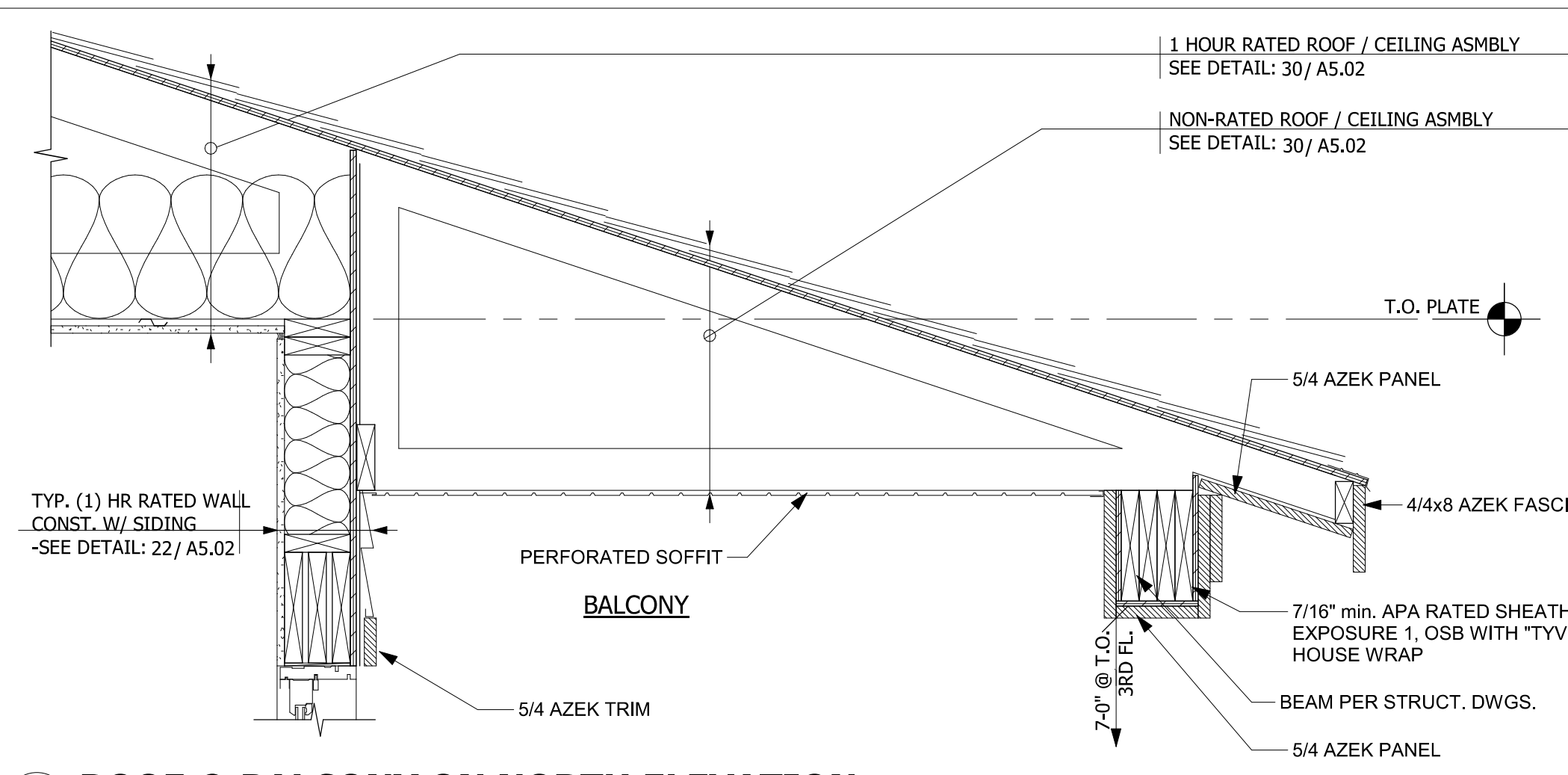
**DETAILS**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

SCALE: AS NOTED  
DATE: 12/31/2017

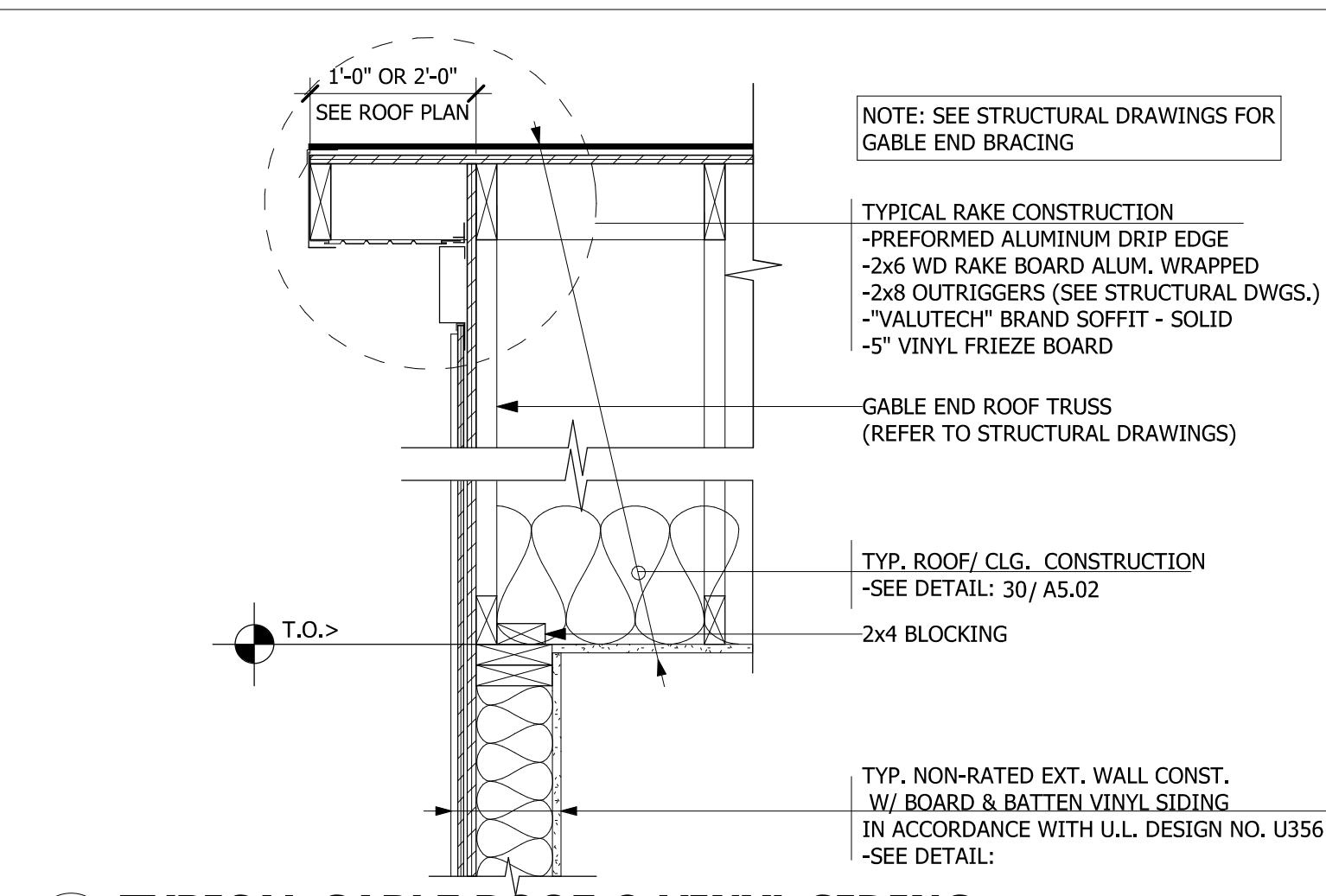
Building #3

**A5.01**  
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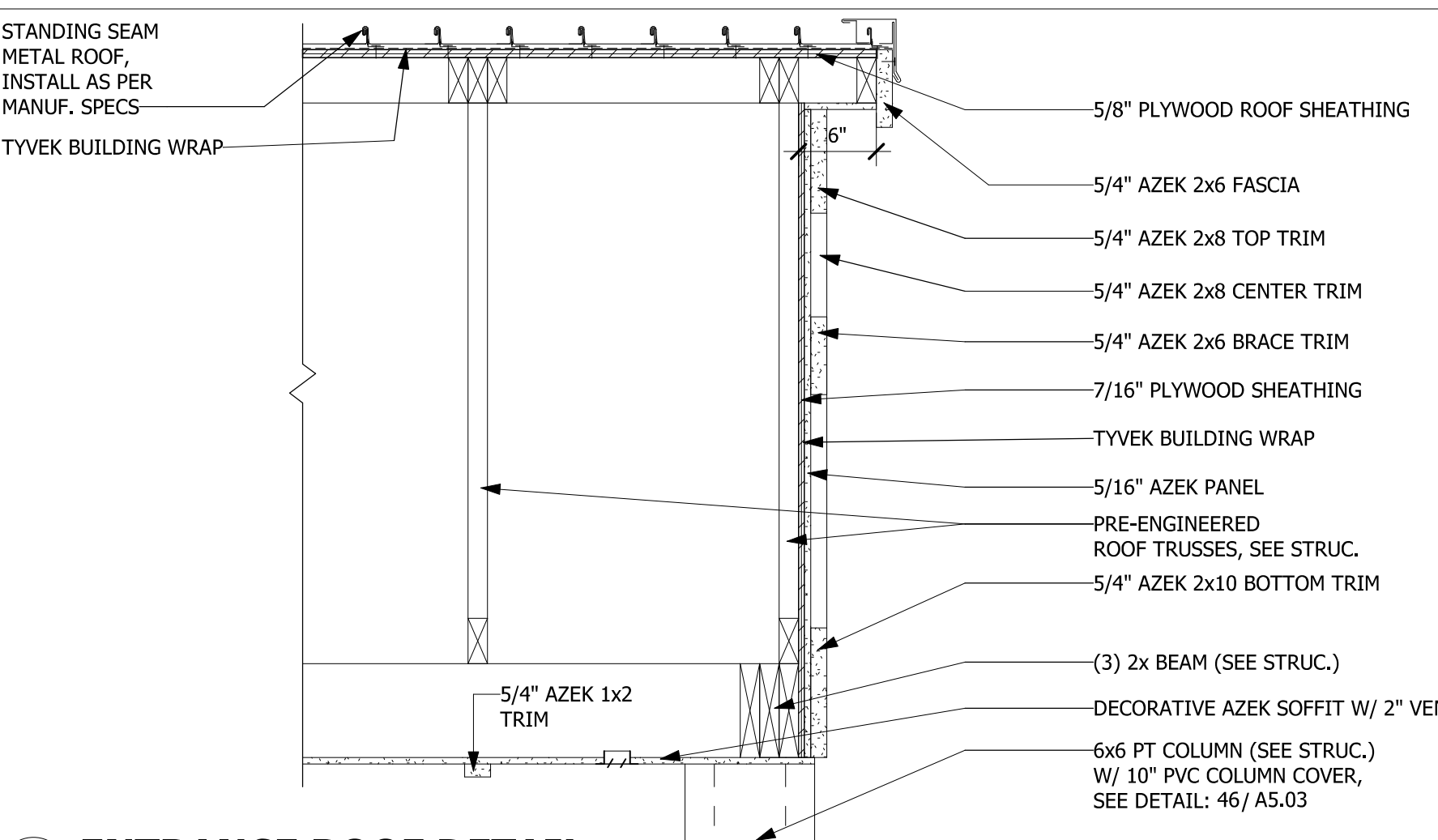
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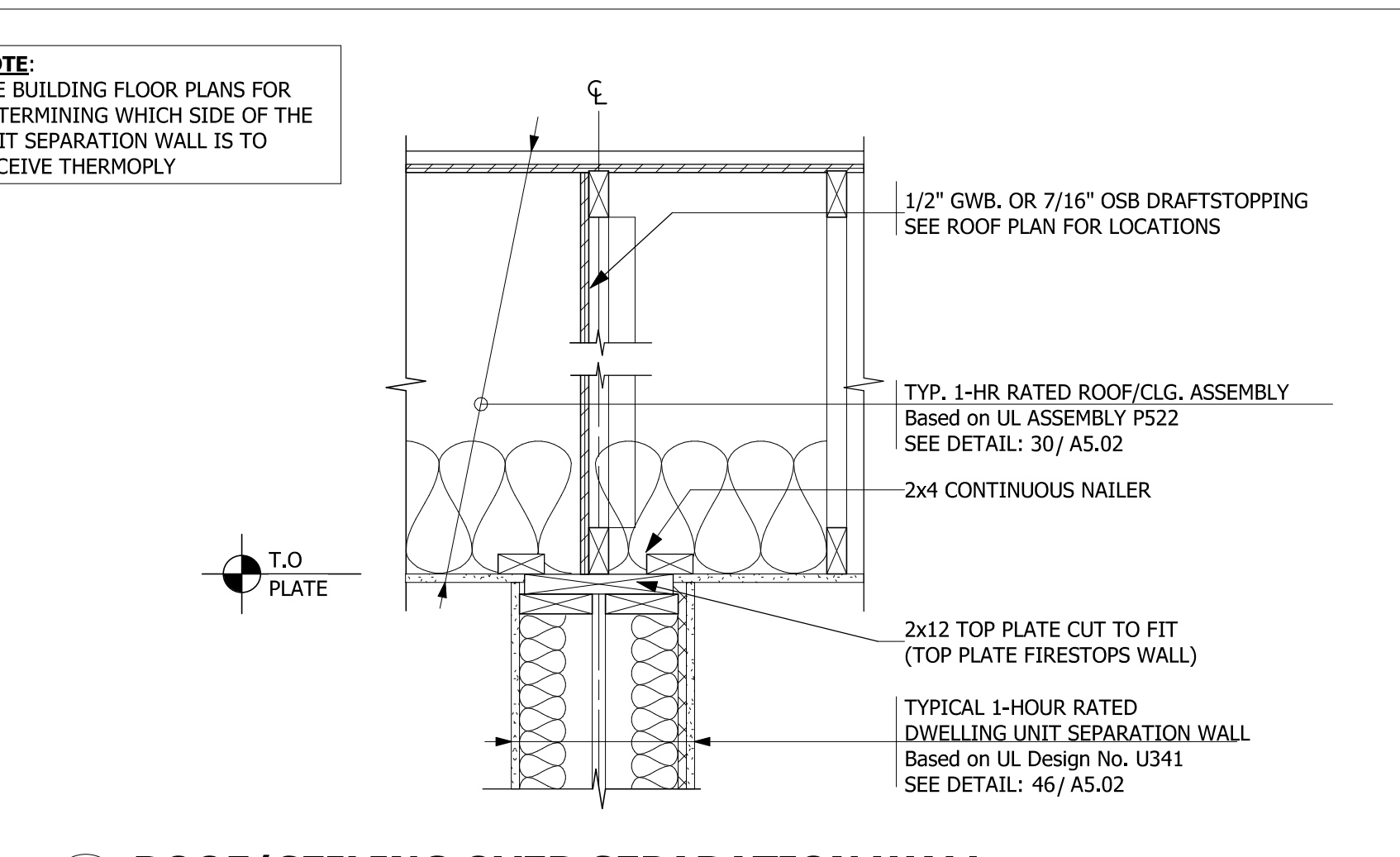
**10 ROOF @ BALCONY ON NORTH ELEVATION**  
SCALE: 1" = 1'-0"



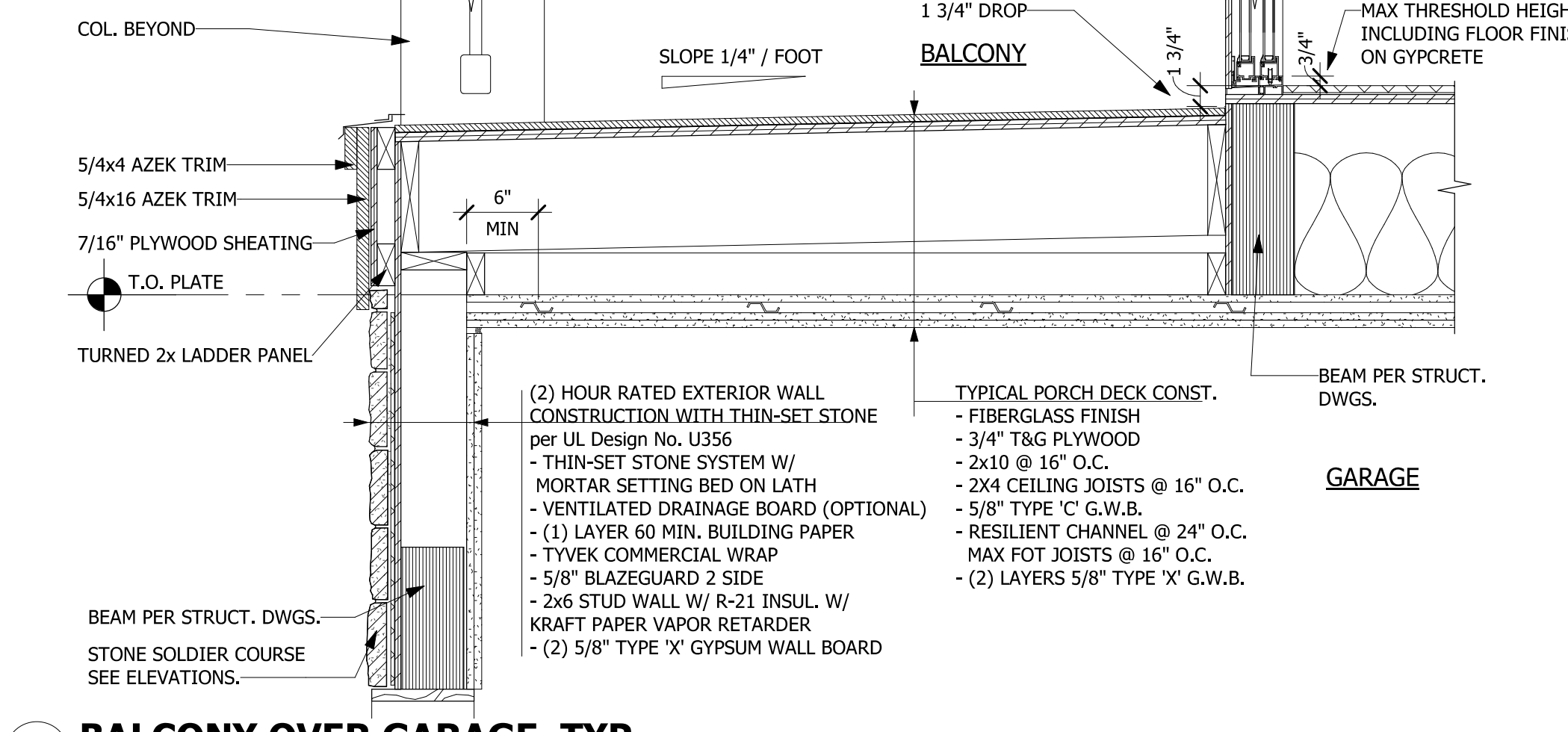
**12 TYPICAL GABLE ROOF @ VINYL SIDING**  
SCALE: 1" = 1'-0"



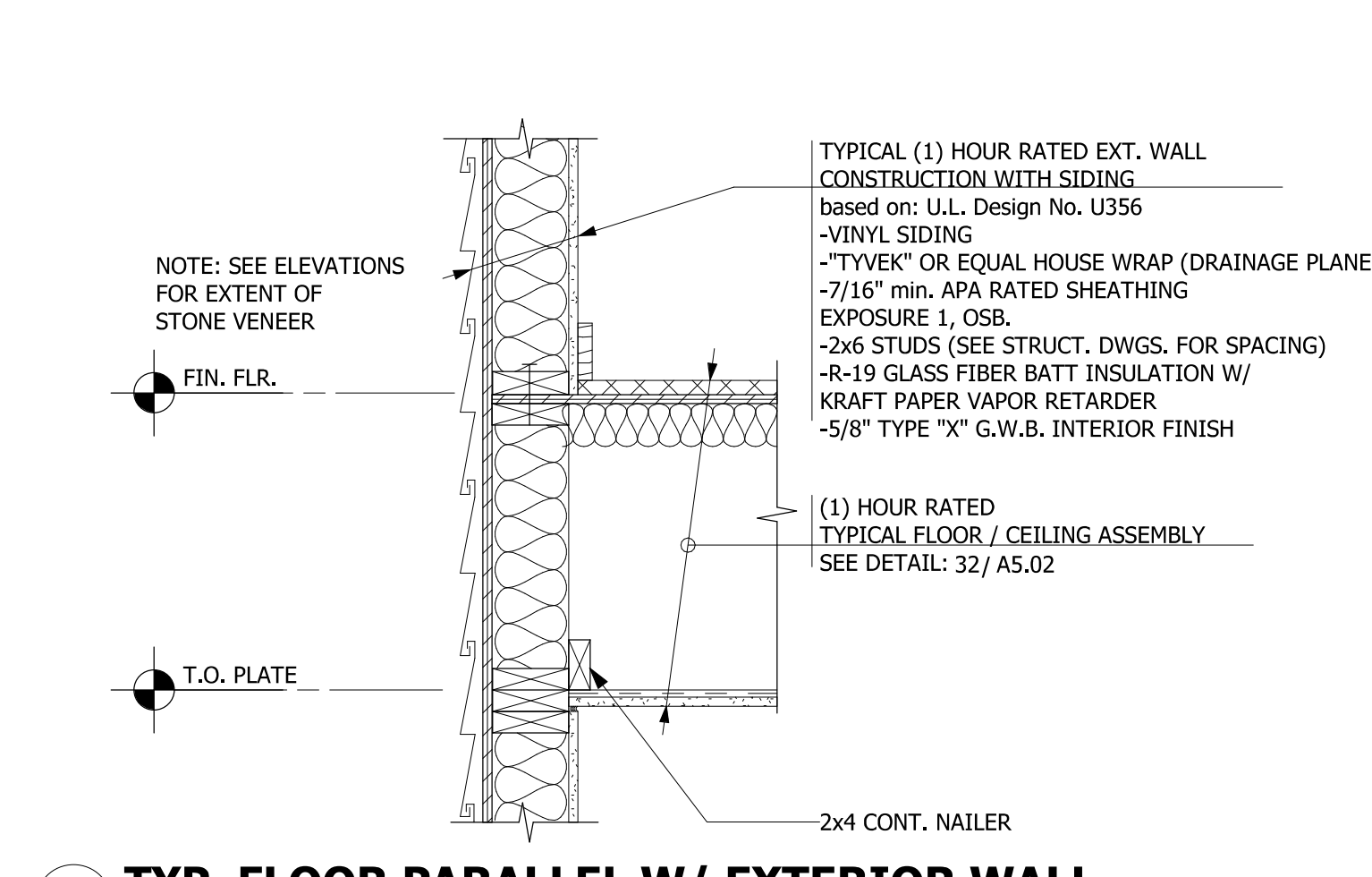
**14 ENTRANCE ROOF DETAIL**  
SCALE: 1" = 1'-0"



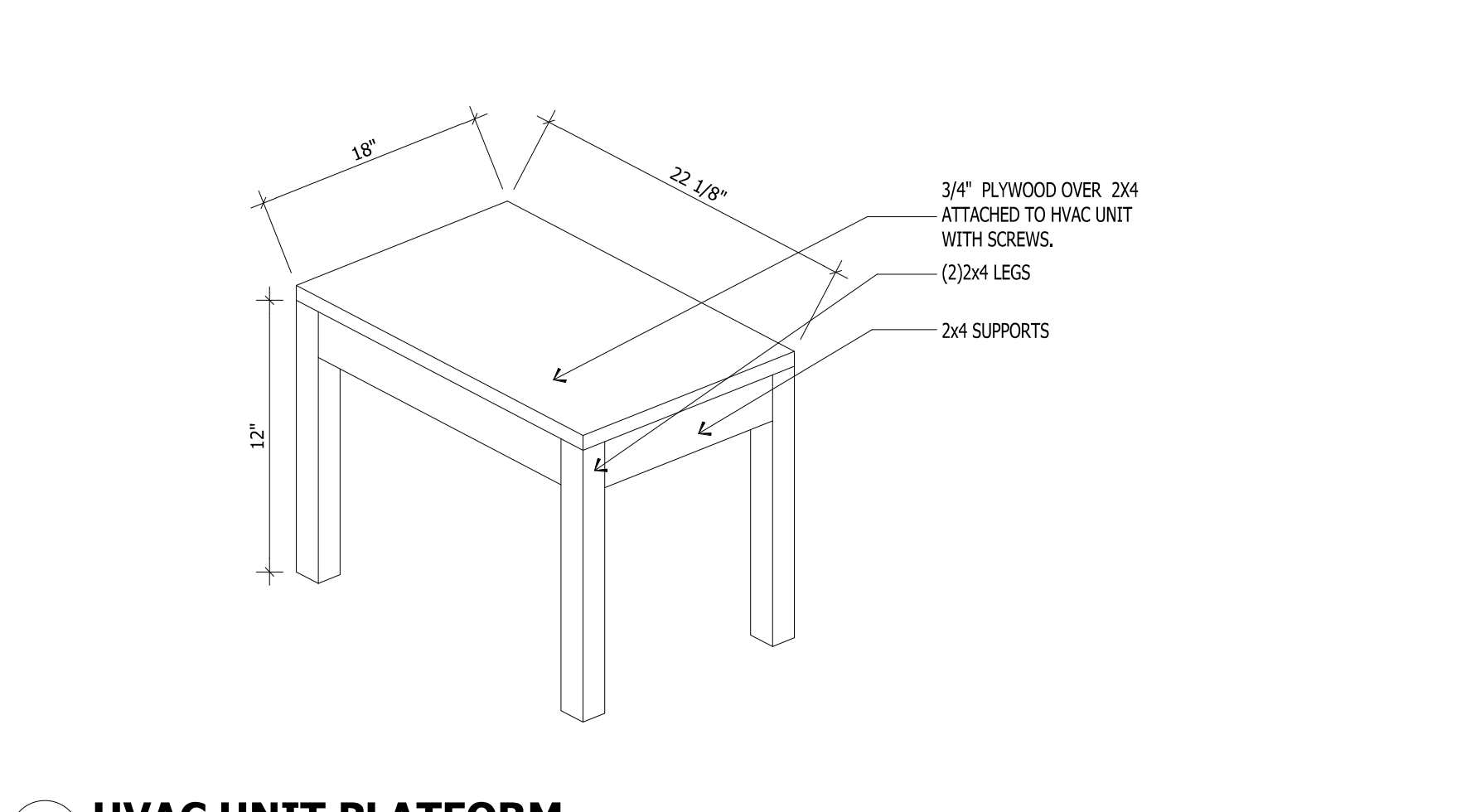
**16 ROOF/CEILING OVER SEPARATION WALL**  
SCALE: 1" = 1'-0"



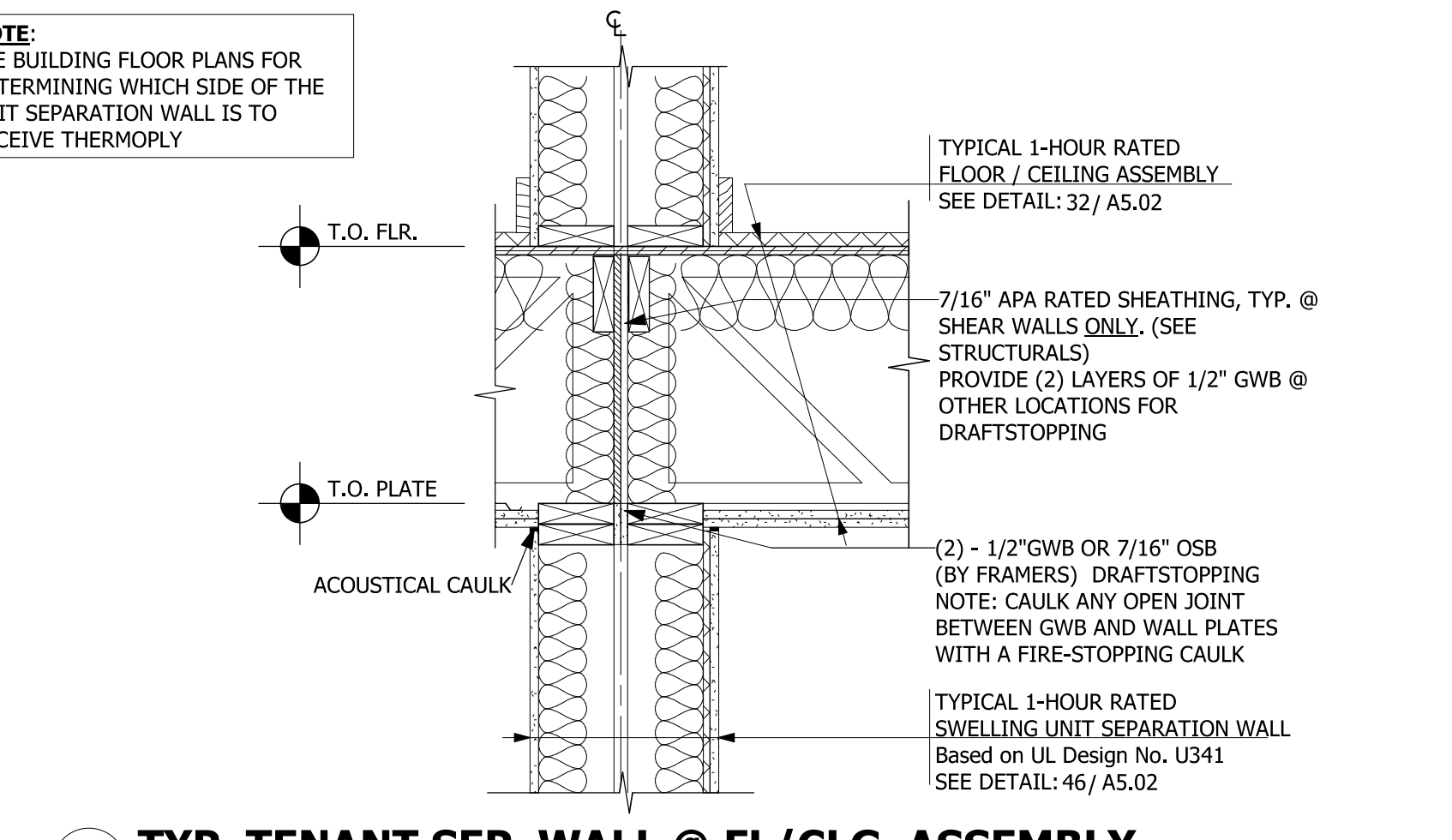
**20 BALCONY OVER GARAGE, TYP.**  
SCALE: 1" = 1'-0"



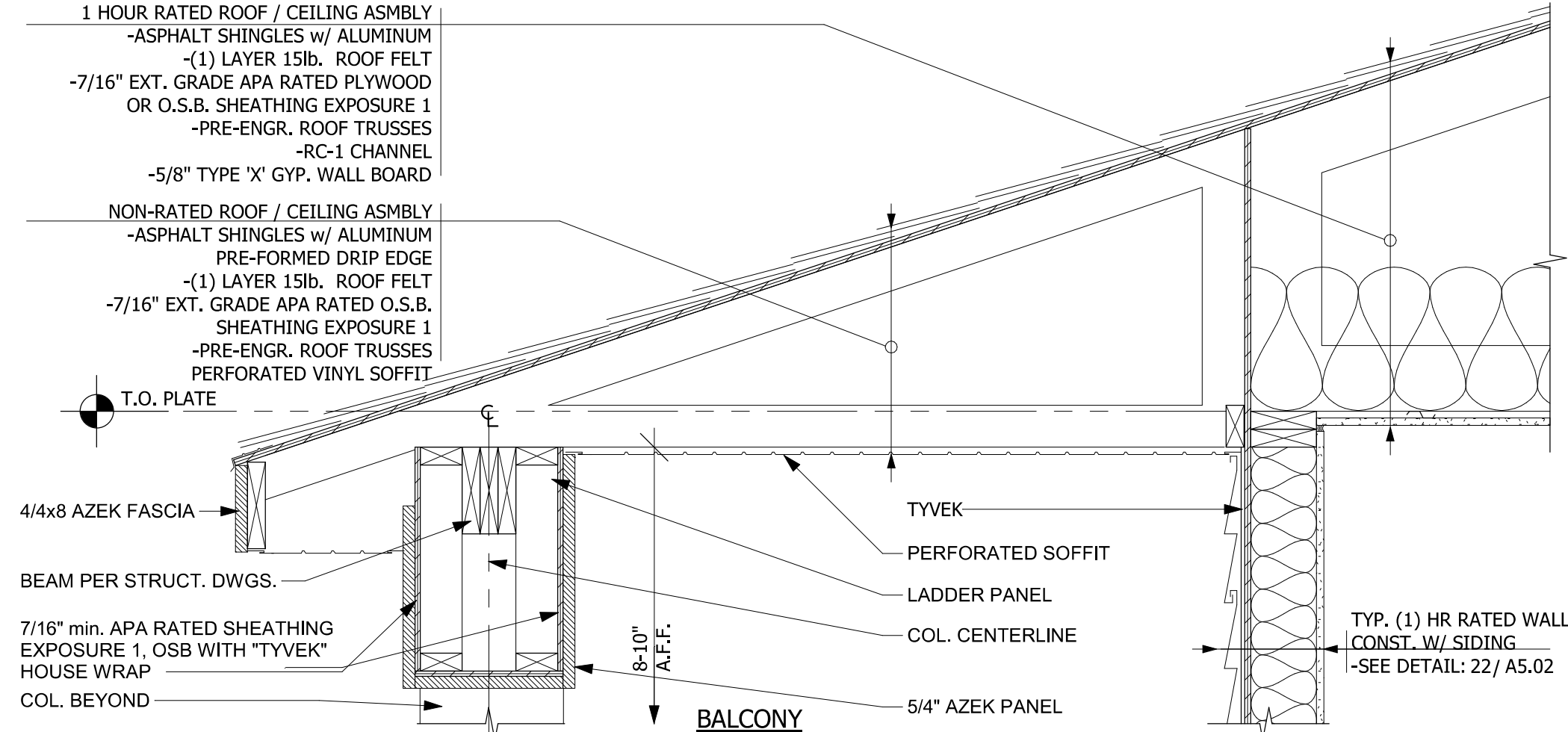
**22 TYP. FLOOR PARALLEL W/ EXTERIOR WALL**  
SCALE: 1" = 1'-0"



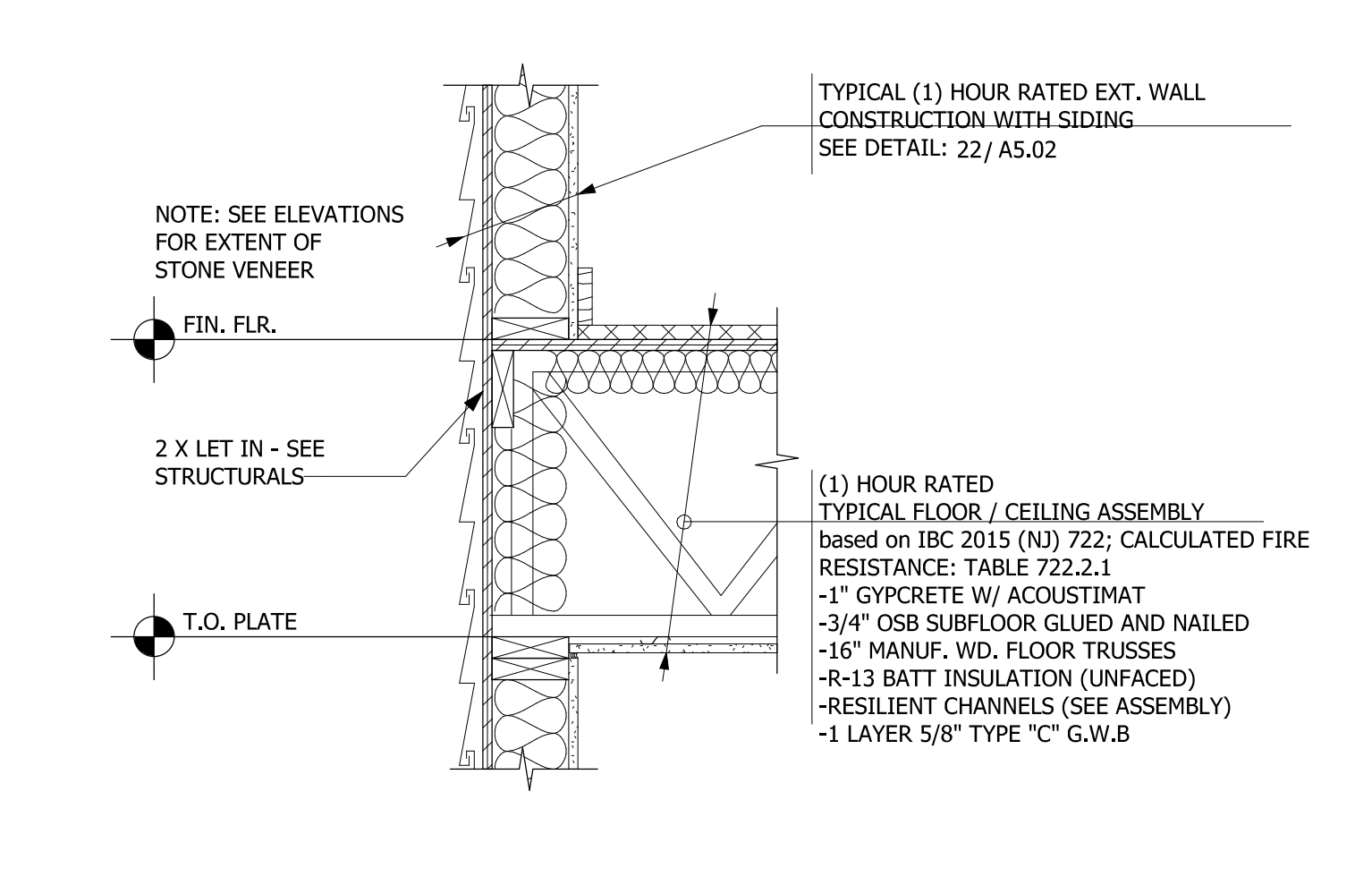
**24 HVAC UNIT PLATFORM**  
SCALE: 1" = 1'-0"



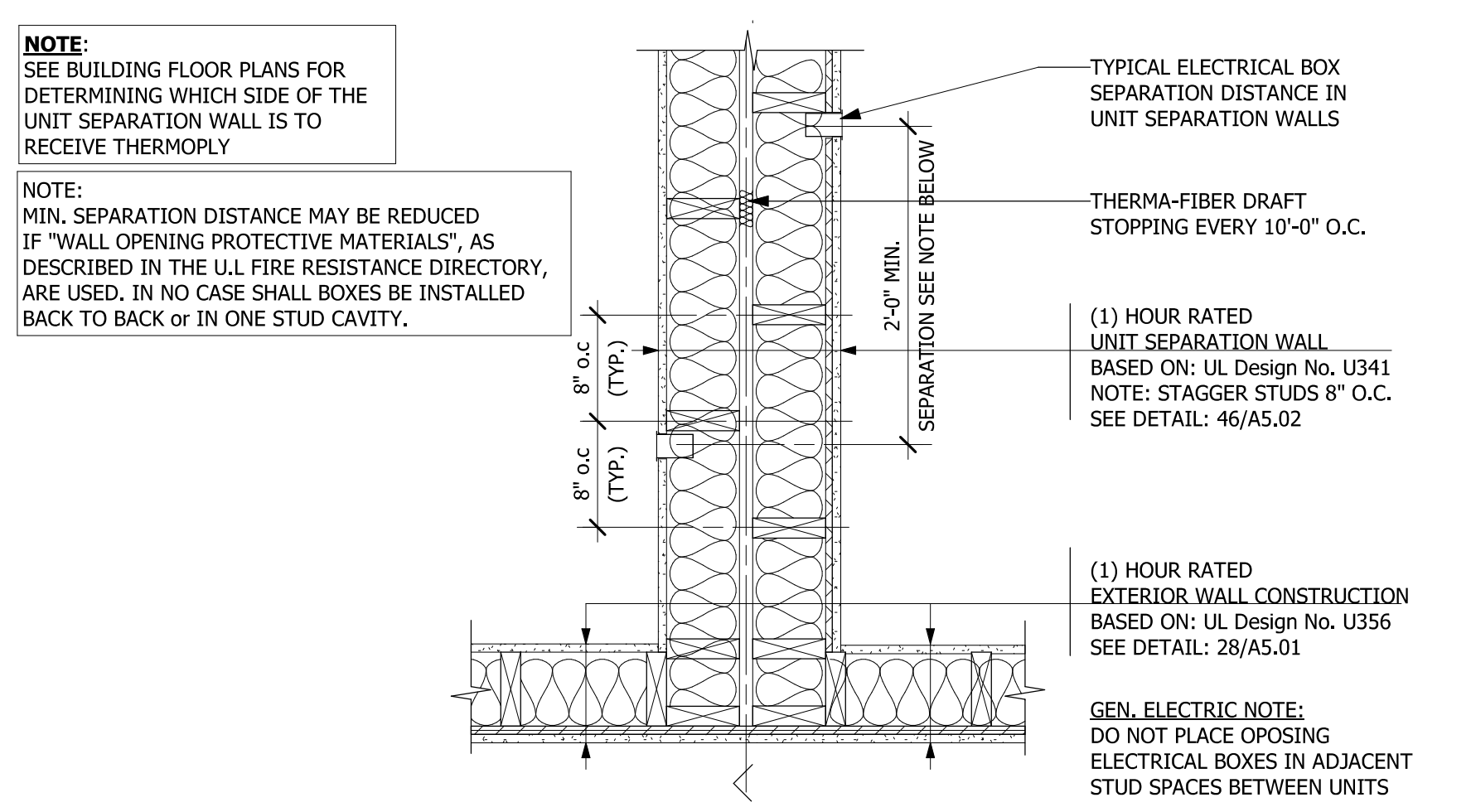
**26 TYP. TENANT SEP. WALL @ FL/CLG. ASSEMBLY**  
SCALE: 1" = 1'-0"



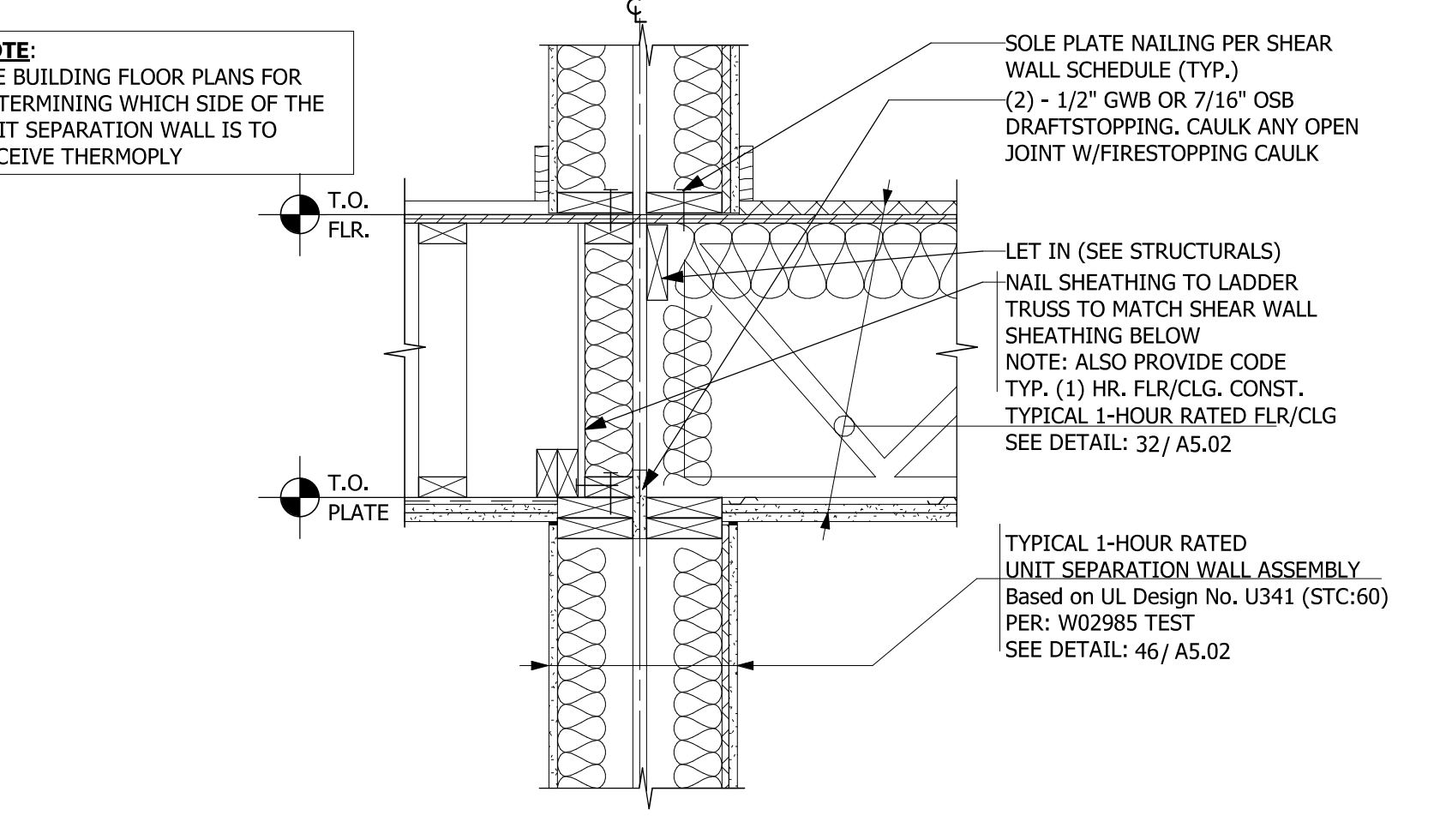
**30 ROOF @ BALCONY ON SOUTH ELEVATION**  
SCALE: 1" = 1'-0"



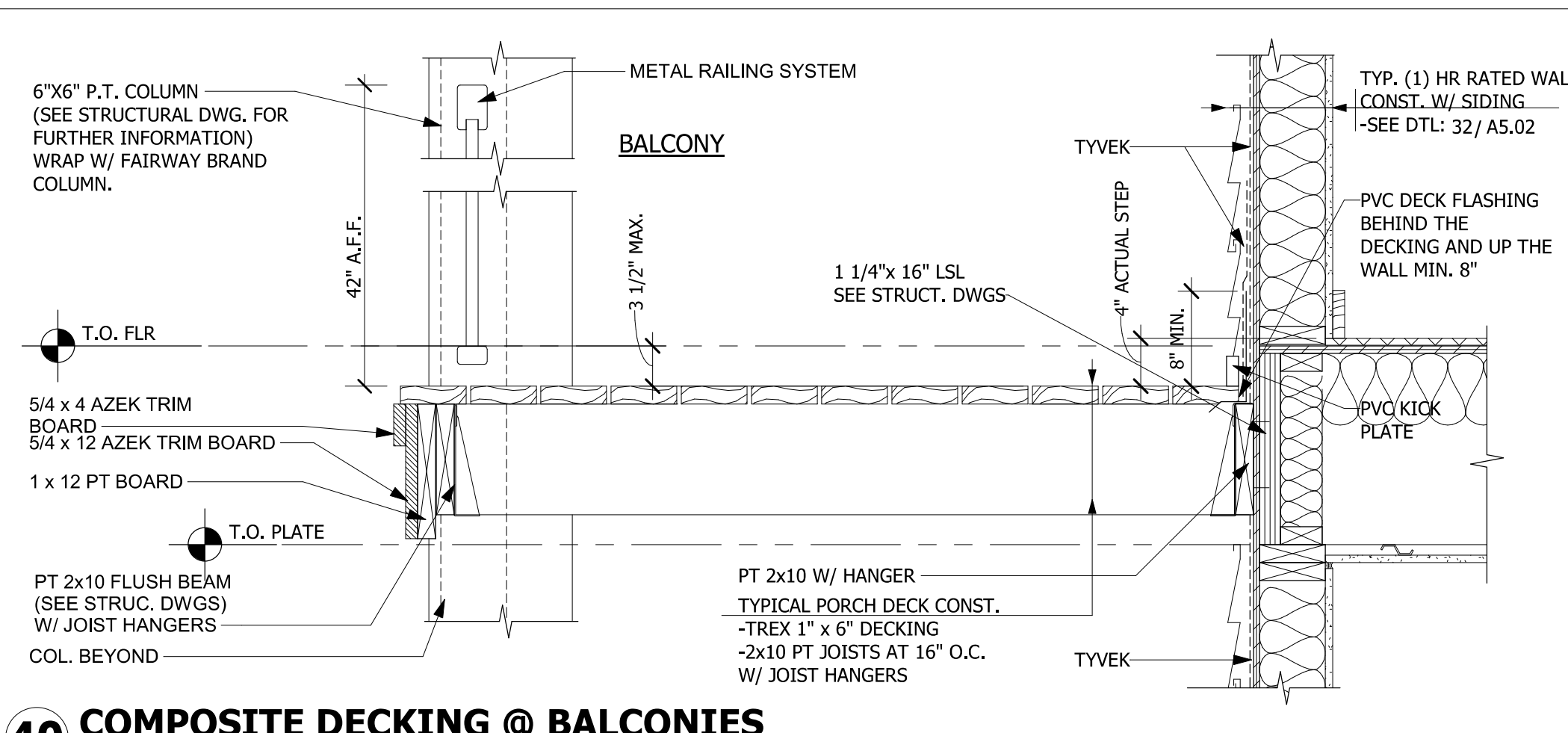
**32 TYP. FLOOR PERPENDICULAR W/ EXT. WALL**  
SCALE: 1" = 1'-0"



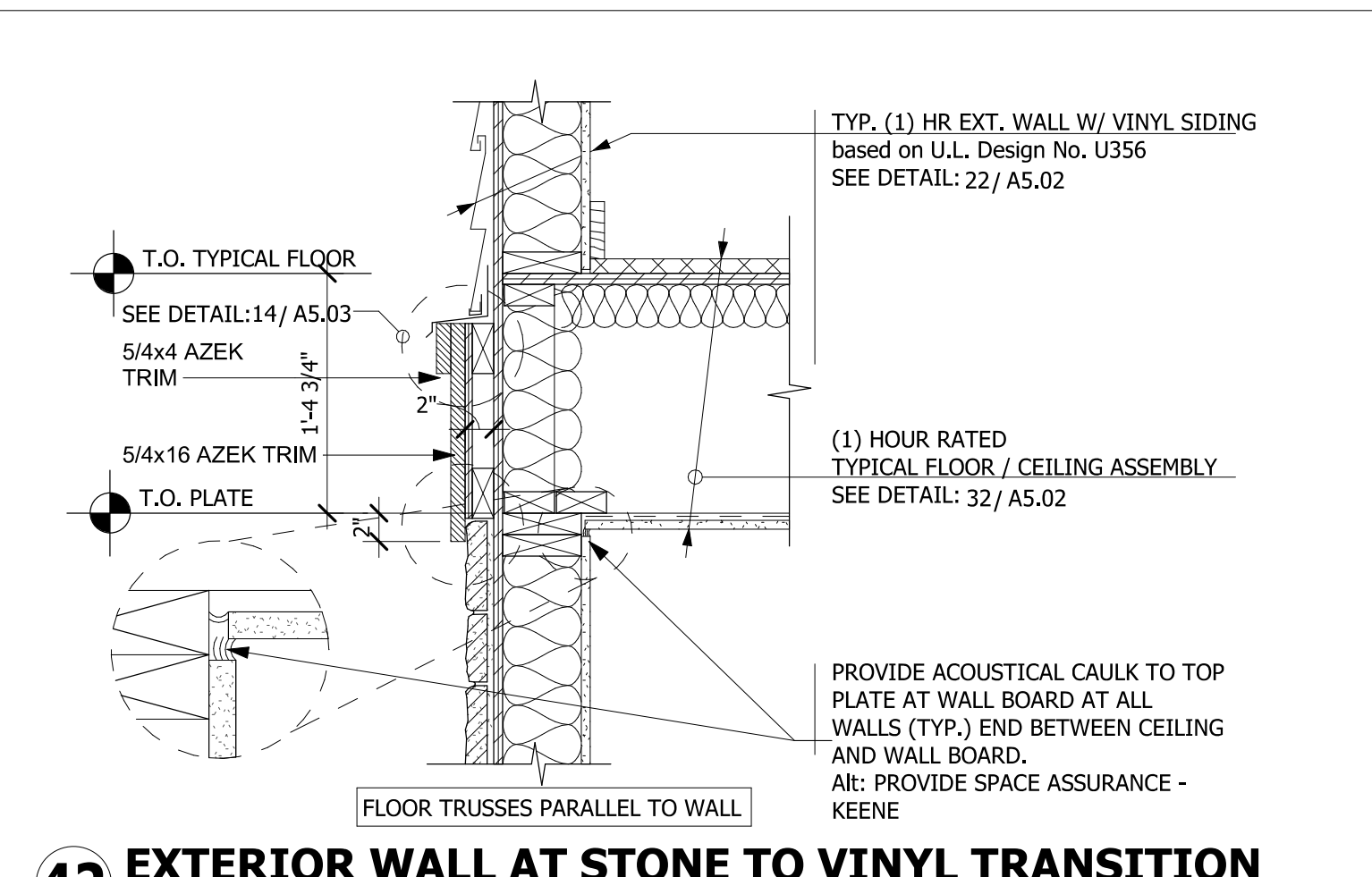
**34 PLAN VIEW-DWELLING UNIT SEPARATION**  
SCALE: 1" = 1'-0"



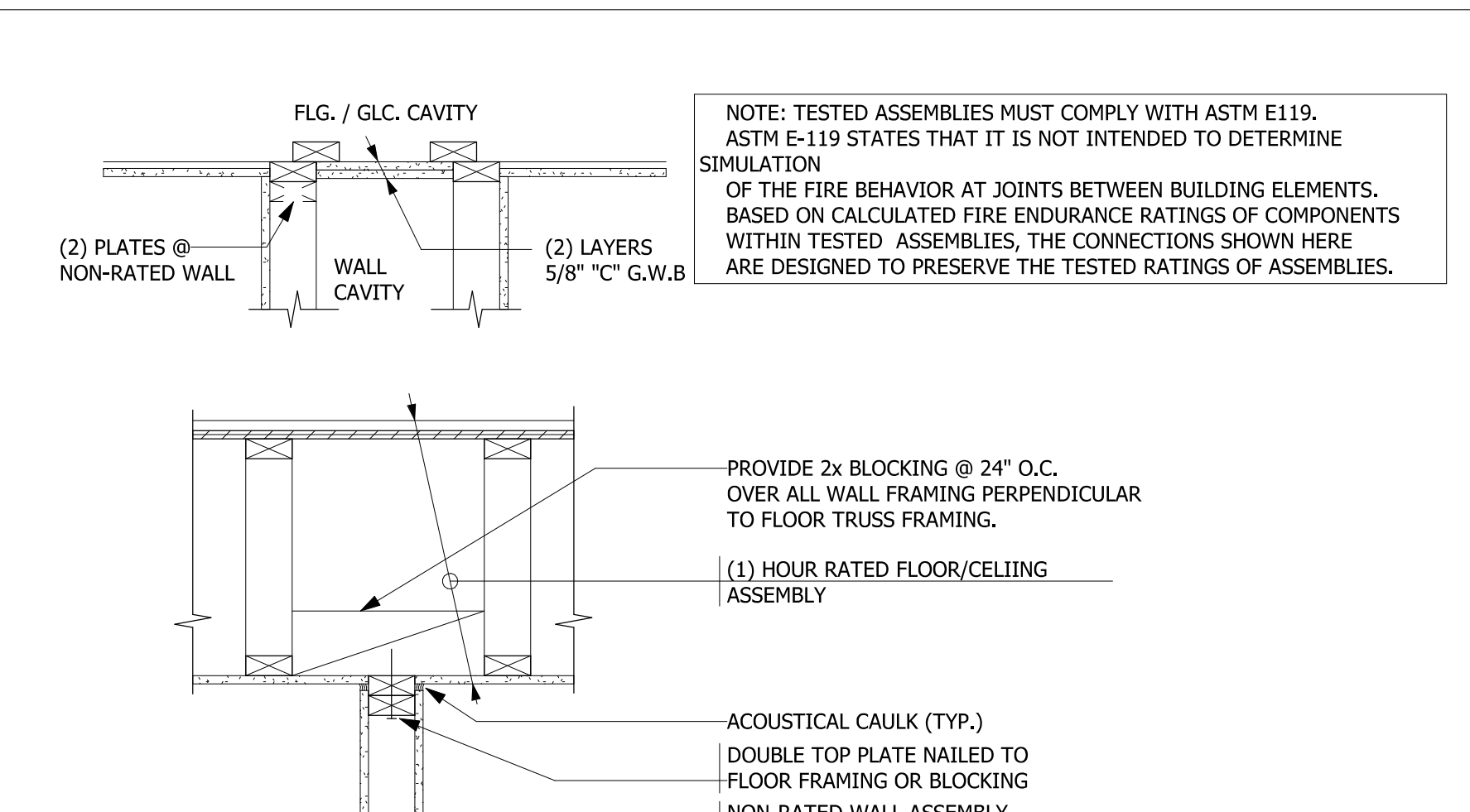
**36 UNIT SEP. WALL FLR/CLG. ASSEMBLY**  
SCALE: 1" = 1'-0"



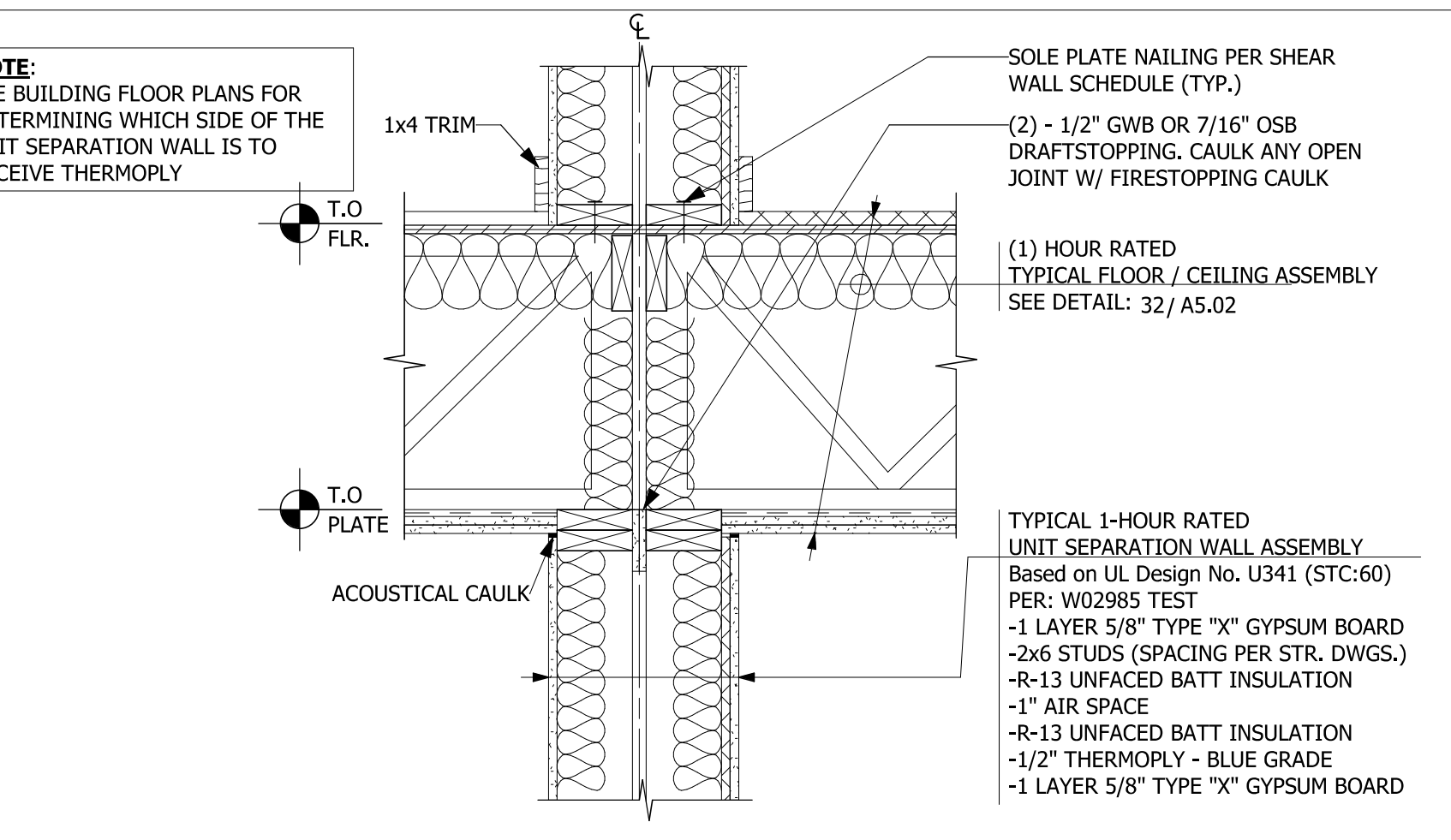
**40 COMPOSITE DECKING @ BALCONIES**  
SCALE: 1" = 1'-0"



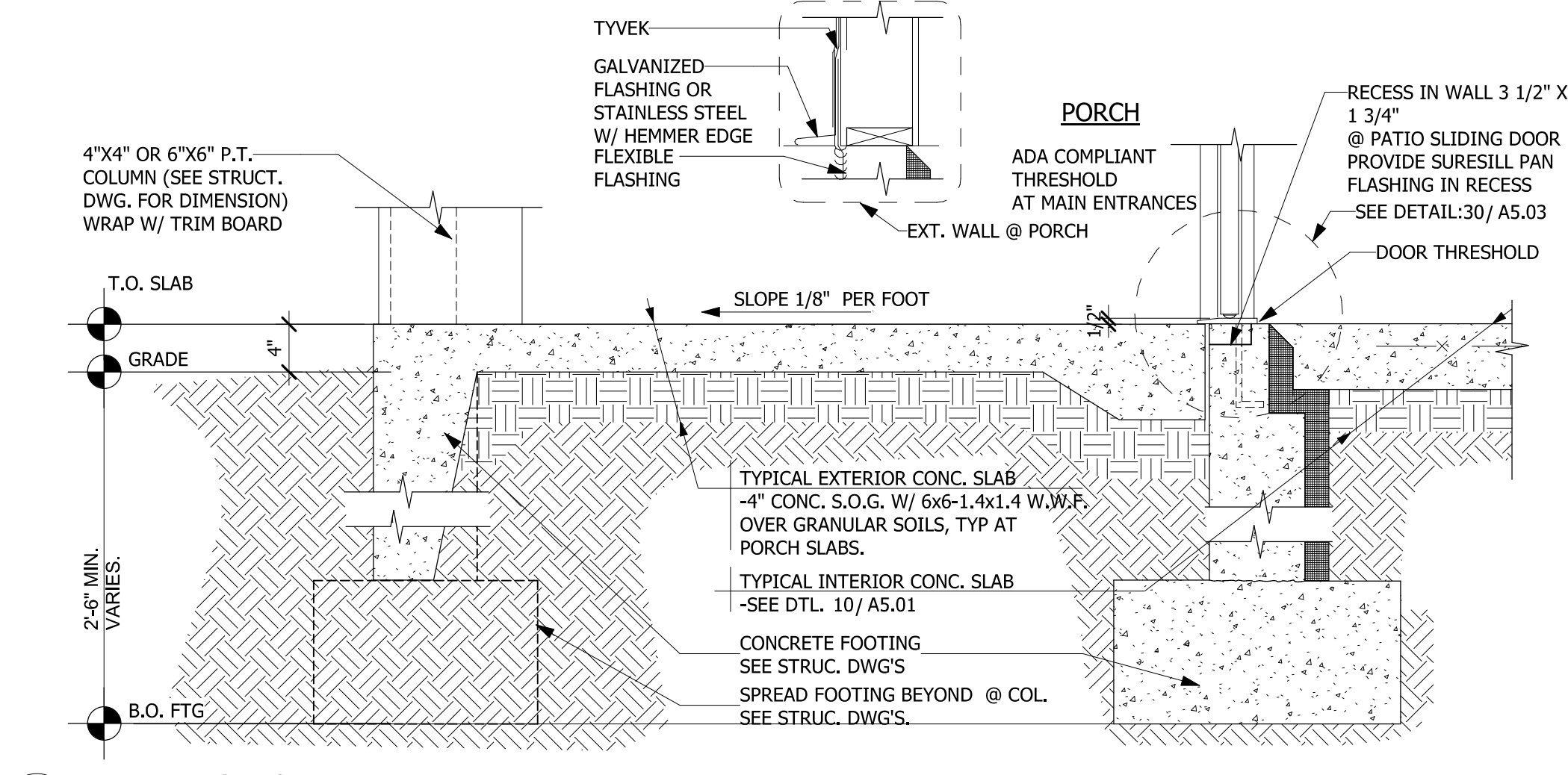
**42 EXTERIOR WALL AT STONE TO VINYL TRANSITION**  
SCALE: 1" = 1'-0"



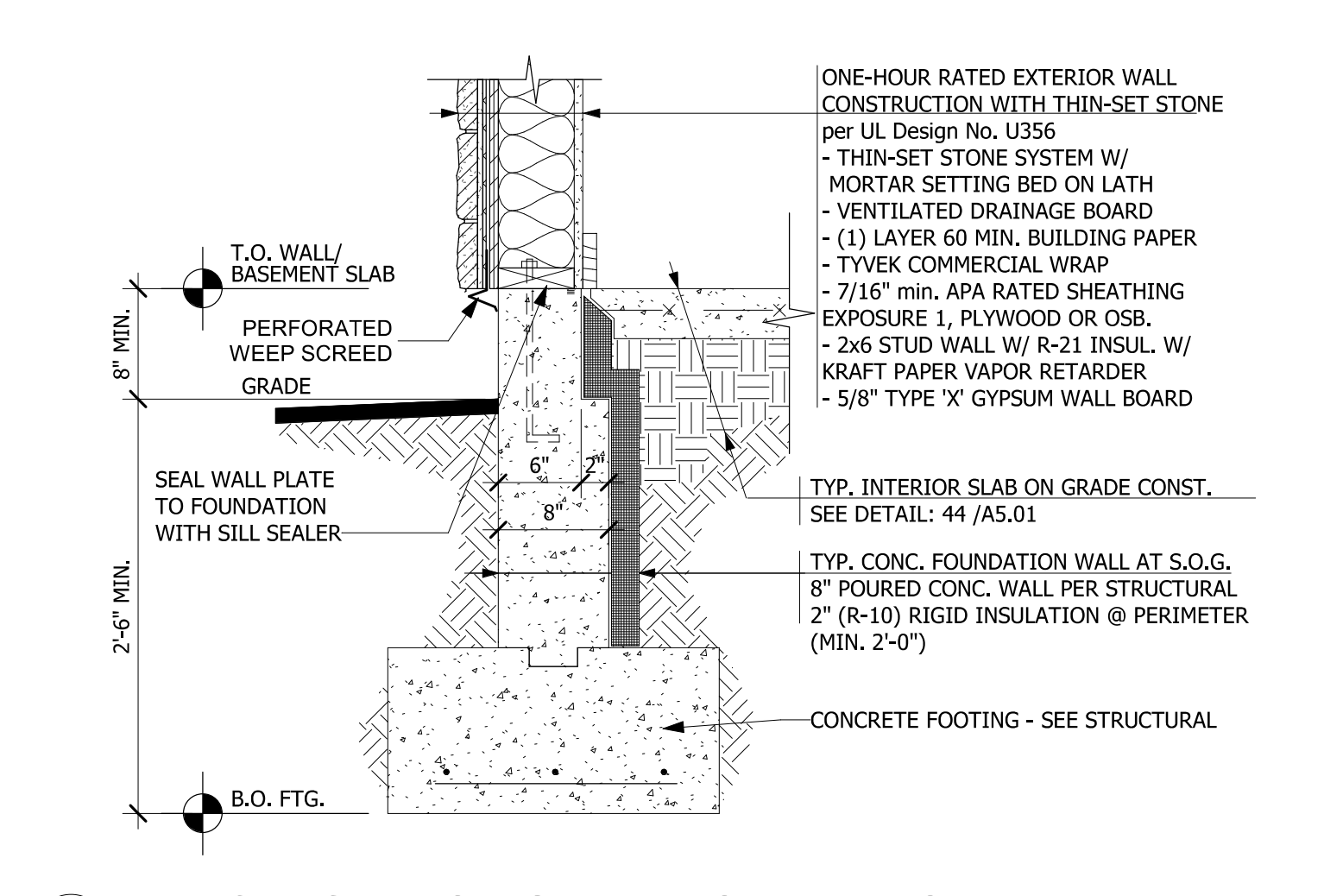
**54 WALL AND CEILING INTERSECTIONS**  
SCALE: 1" = 1'-0"



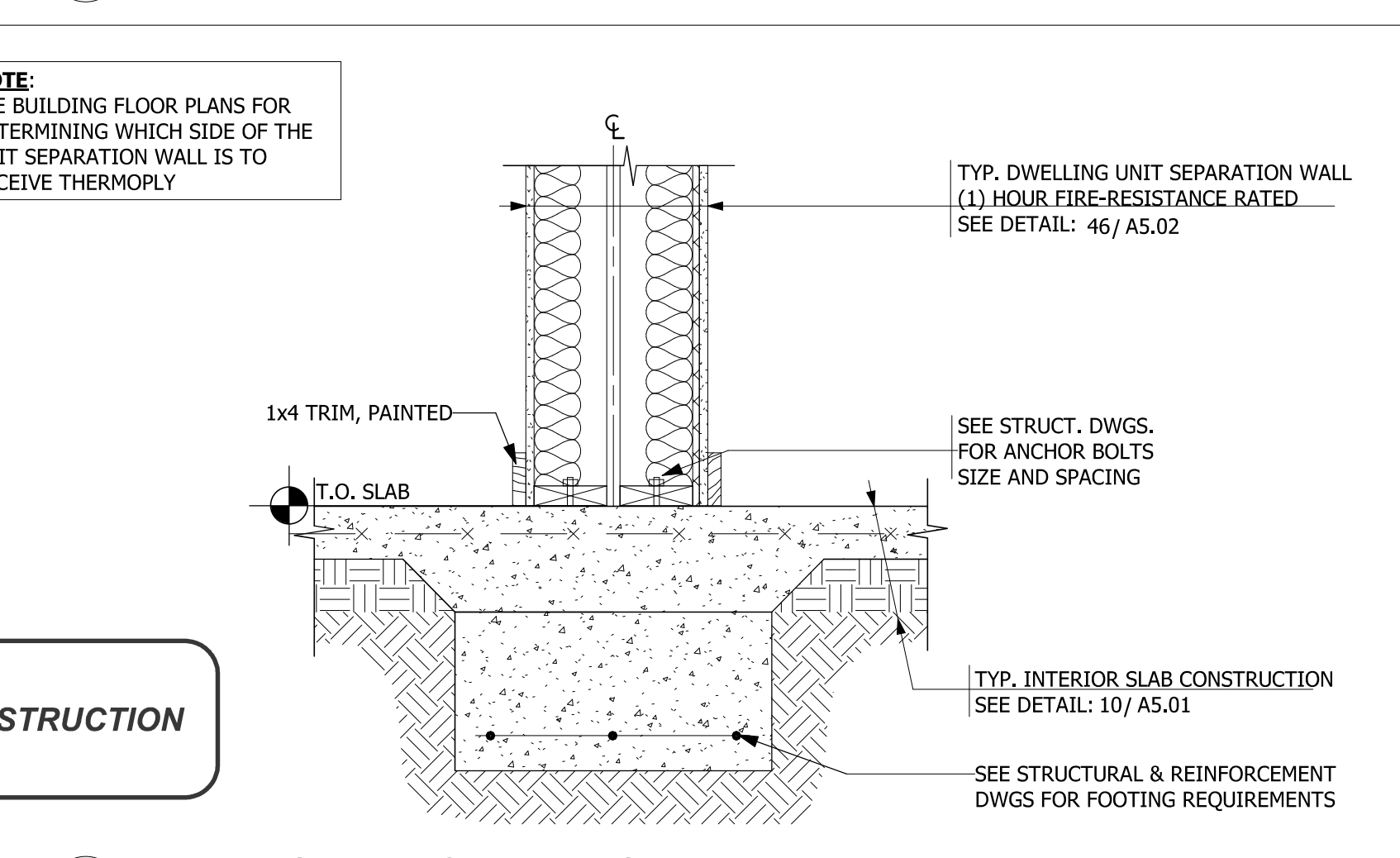
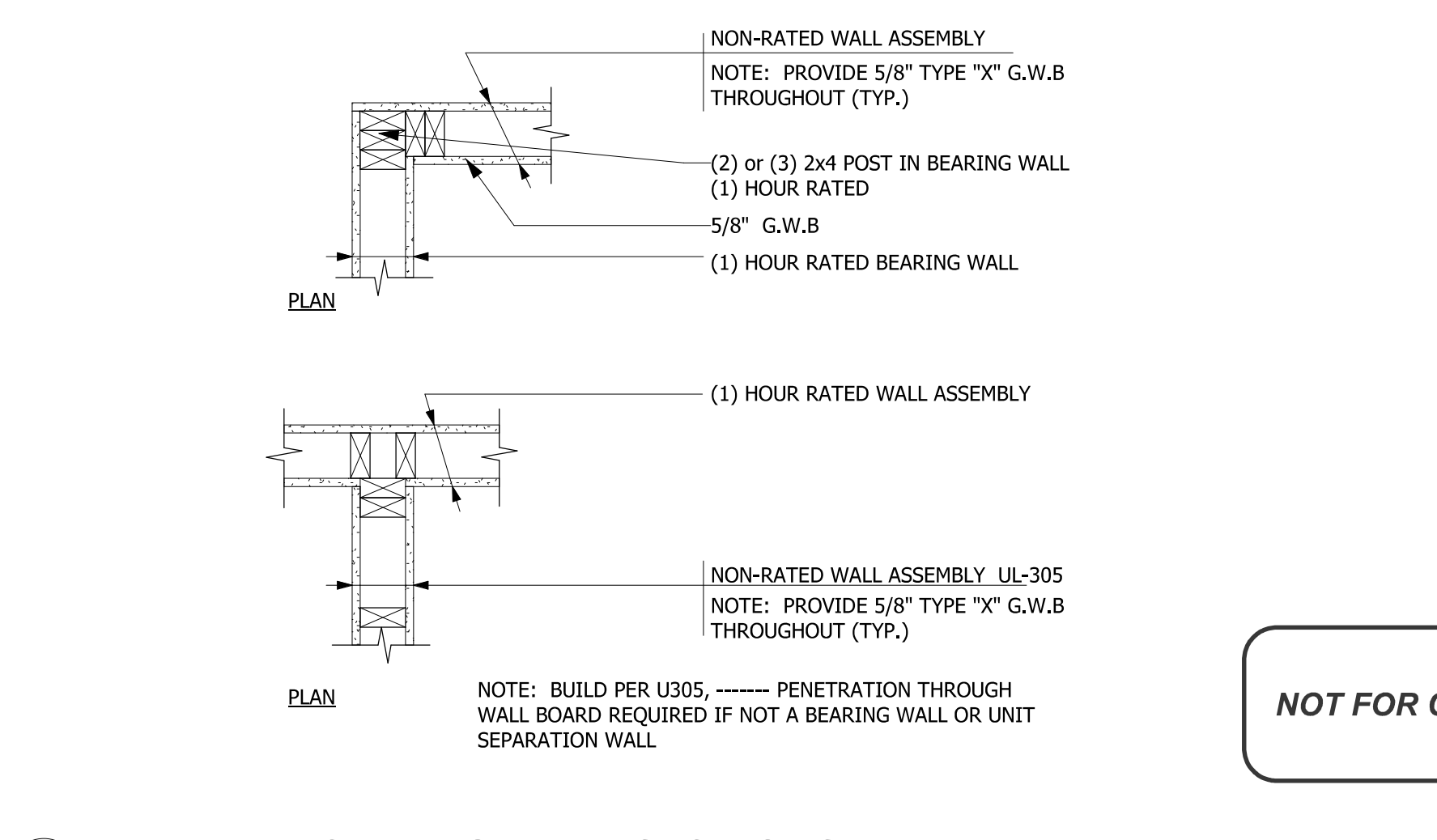
**46 UNIT SEP. WALL FLR/CLG. ASSEMBLY**  
SCALE: 1" = 1'-0"



**50 UNIT PORCH**  
SCALE: 1" = 1'-0"



**52 TYPICAL SLAB ON GRADE FOUNDATION**  
SCALE: 1" = 1'-0"



**56 INTERIOR THICKENED SLAB**  
SCALE: 1" = 1'-0"

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DANIEL MCCAULEY  
2.14.07/2.6.20

Professional Architect  
NJ License Number:

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ARCHITECTS AND LAND PLANNERS  
A PROFESSIONAL CORPORATION

240 NORTH 22ND STREET, PHILADELPHIA, PA. 19103  
P (215) 665-1080 F (215) 561-5064

P.A.I.: DANIEL MCCAULEY  
P.M.: JULIAN DELGADO  
DRAWN BY: TT  
PROJECT NO: 1826-05

NO.	REVISION	DATE	BY	CHKD
1	PERFORM SET	06/09/22		

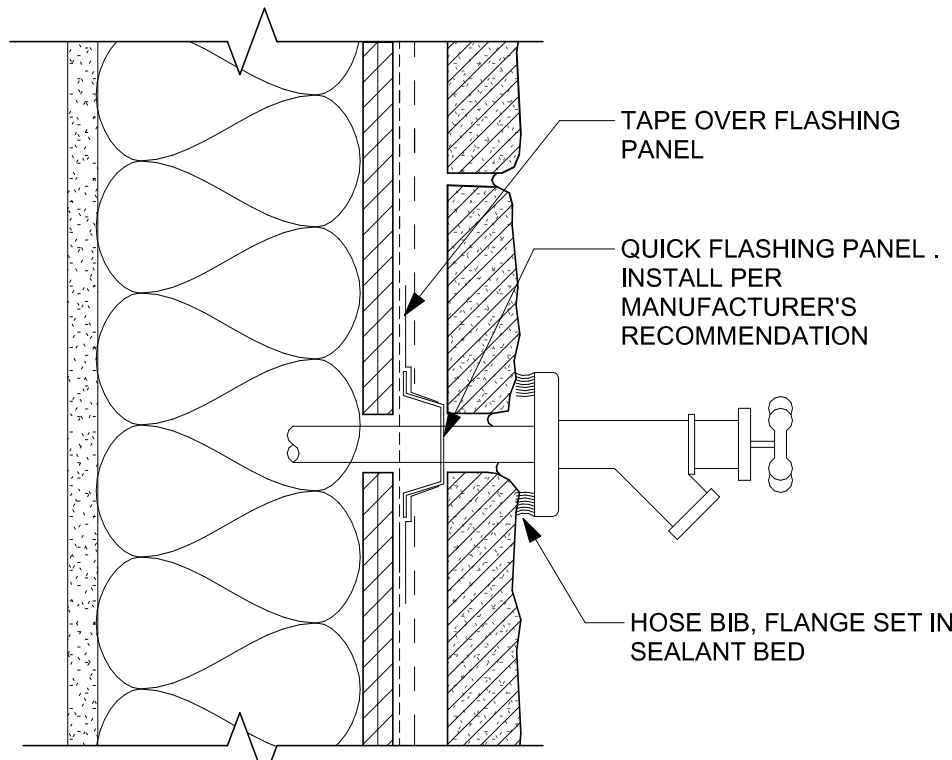
ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

**DETAILS**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

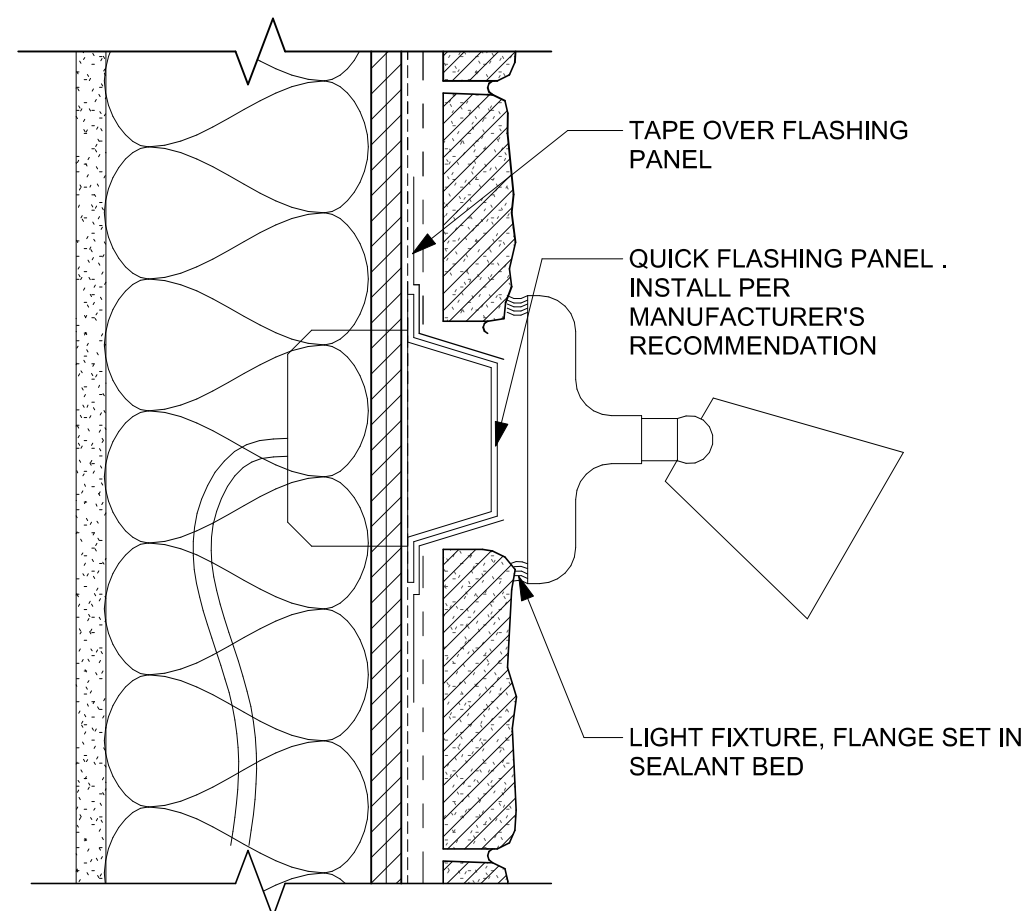
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DATE: 12/31/2017

Building #3

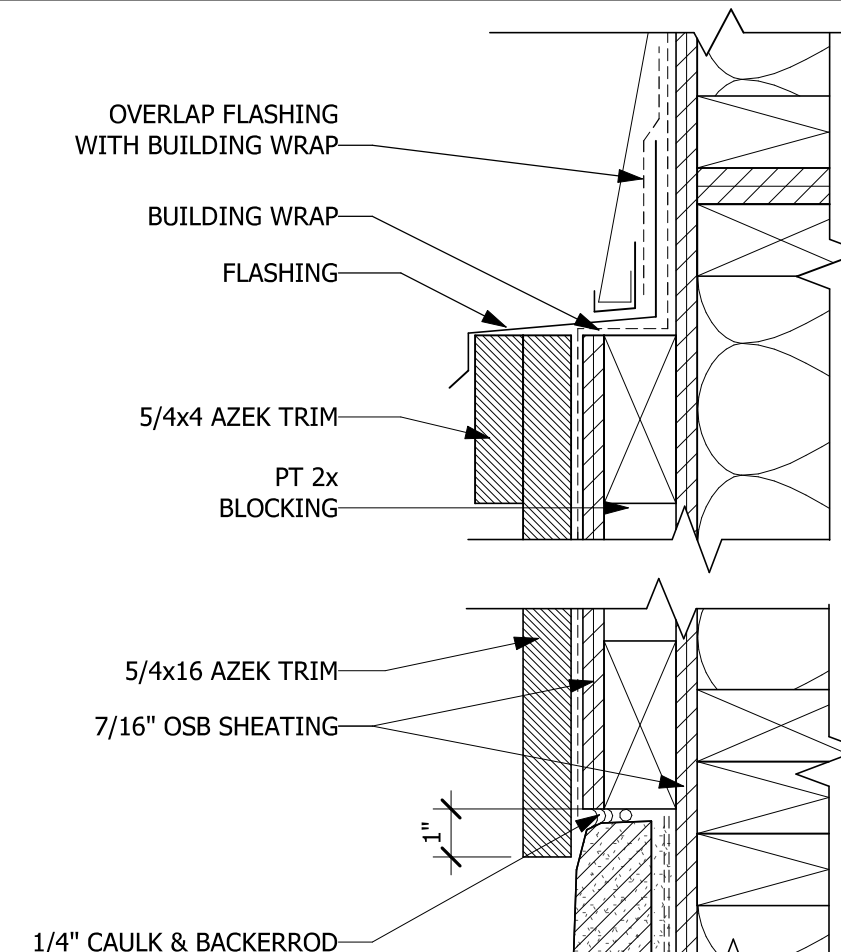
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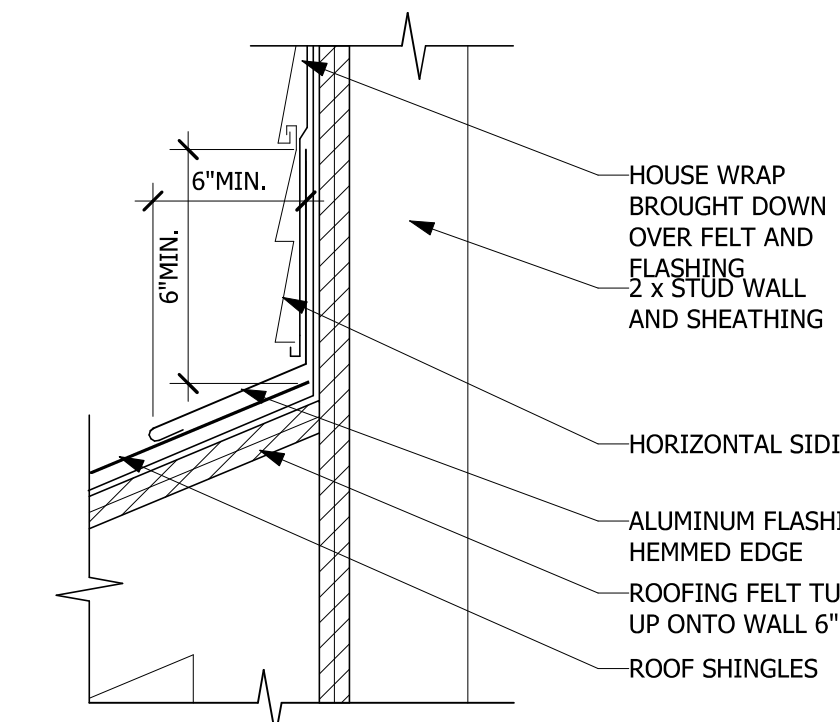
**10 HOSE BIB @ STONE**  
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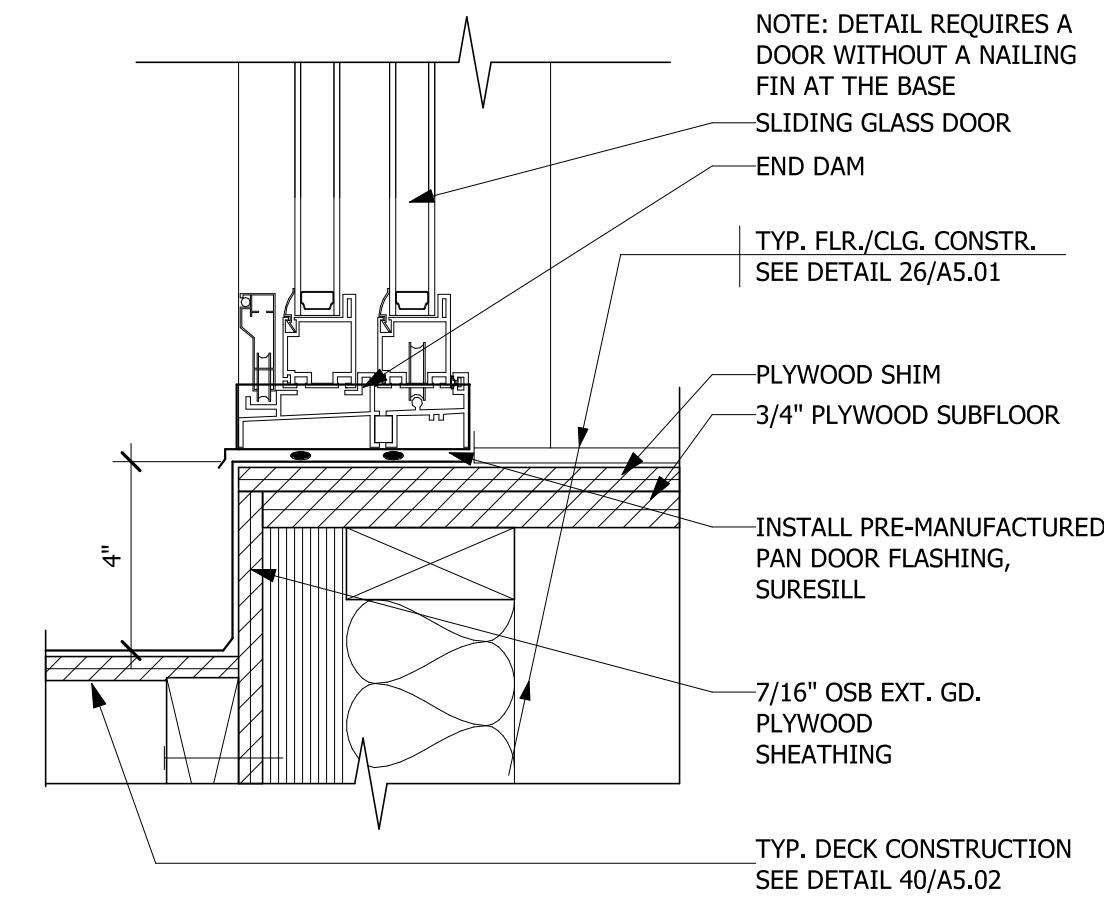
**12 EXTERIOR LIGHT @ STONE**  
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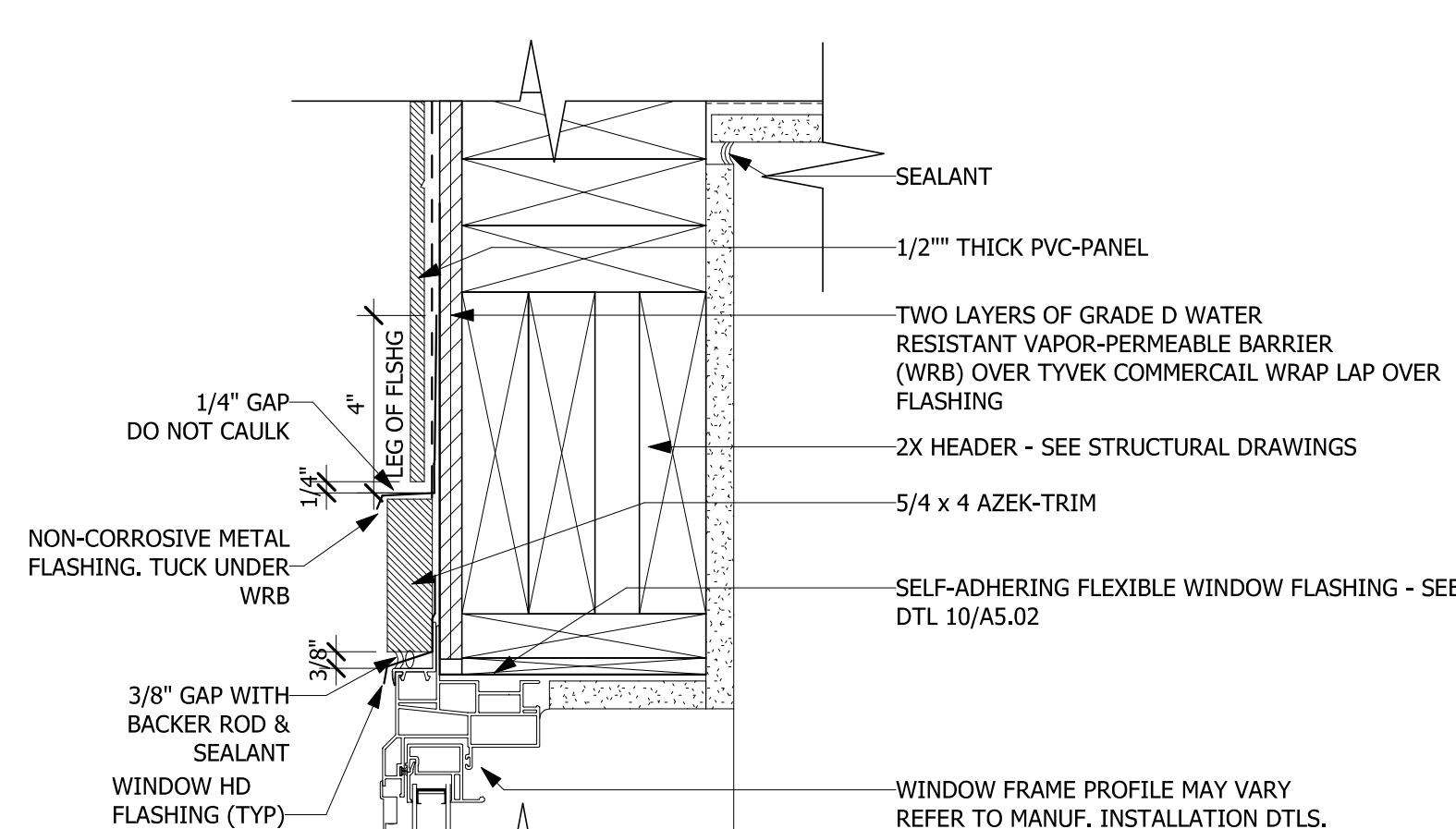
**14 STONE TERMINATION DETAIL**  
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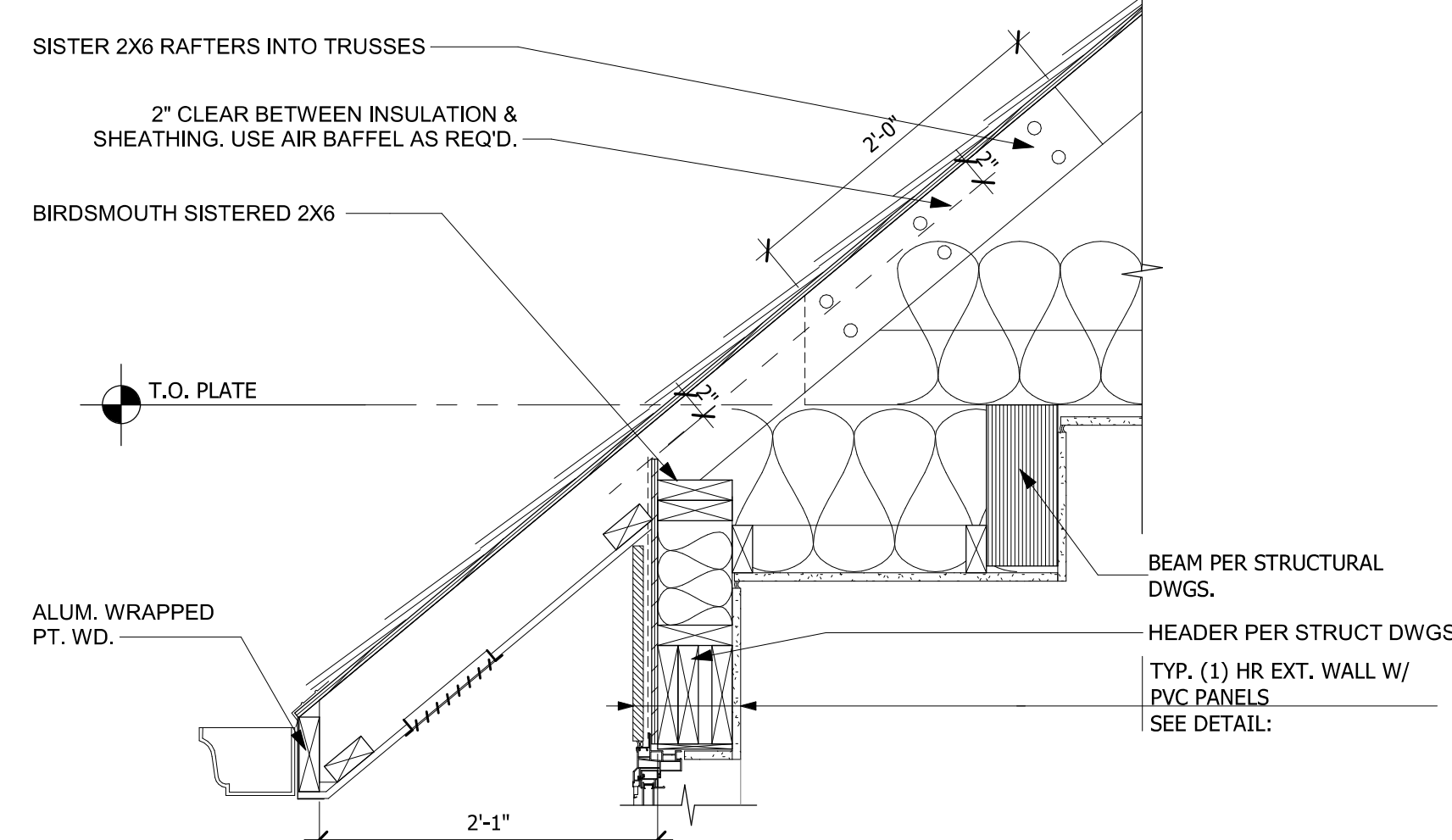
**16 FLASHING @ PITCHED ROOF TO WALL**  
SCALE : 3" = 1'-0"



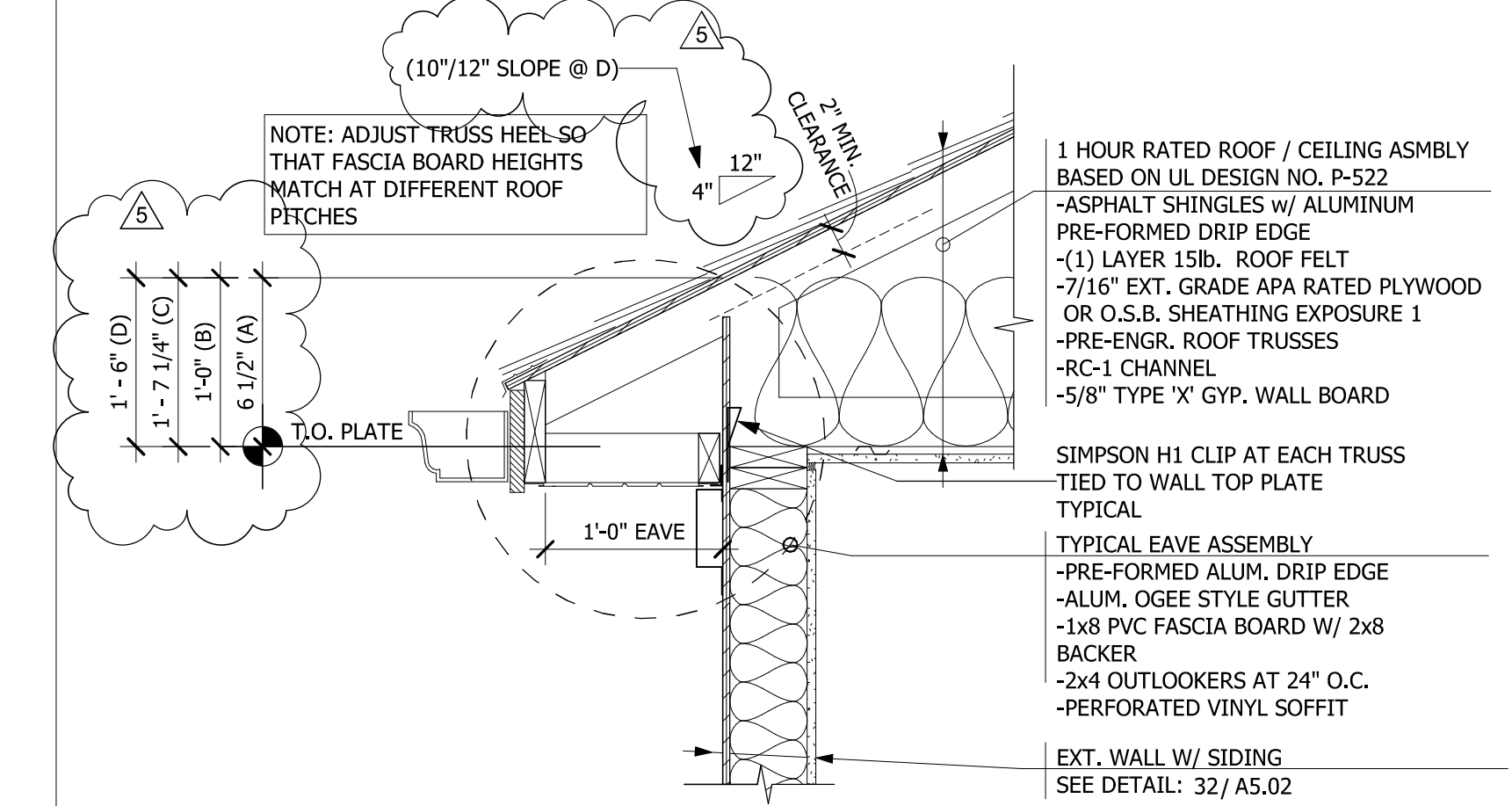
**20 PORCH DOOR DETAIL, TYPICAL**  
SCALE : 3" = 1'-0"



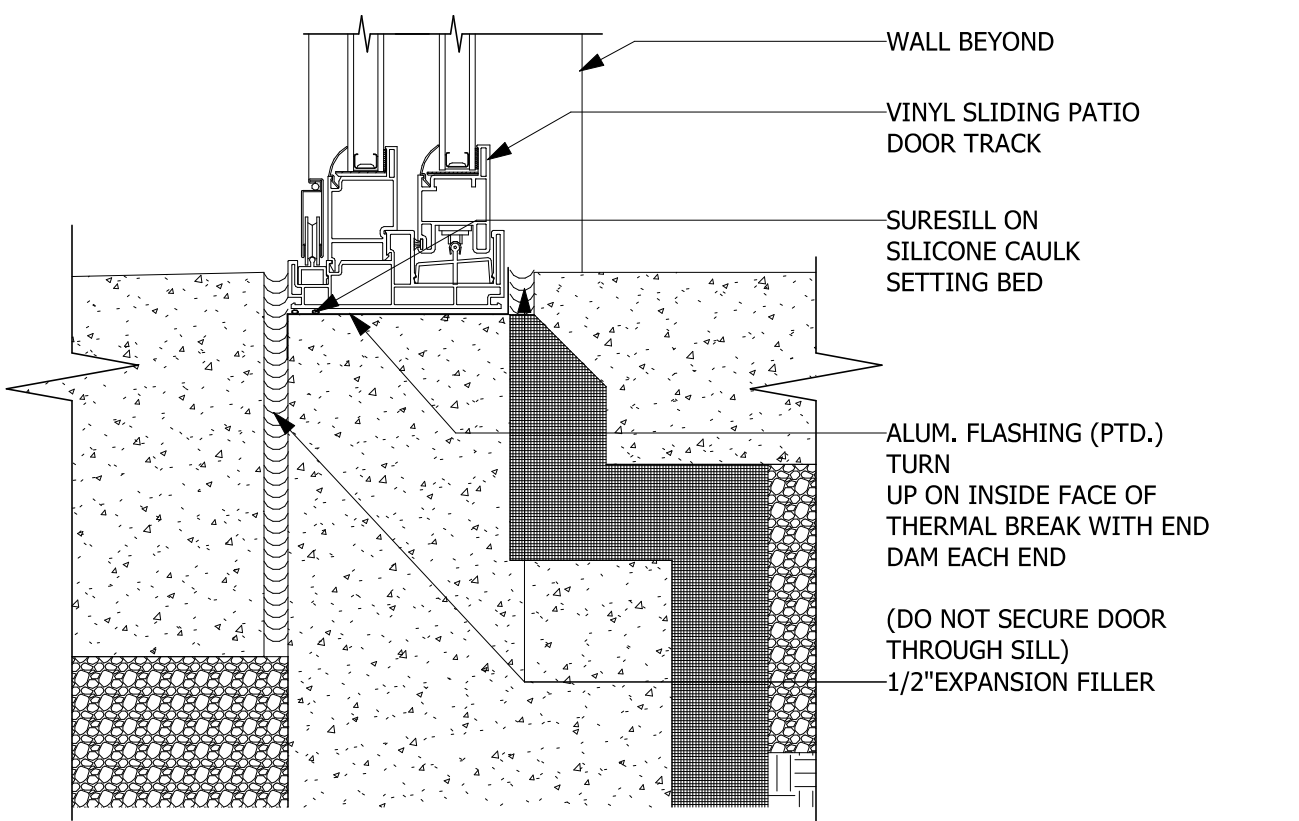
**22 WINDOW HEADER @ PVC PANELS**  
SCALE : 3" = 1'-0"



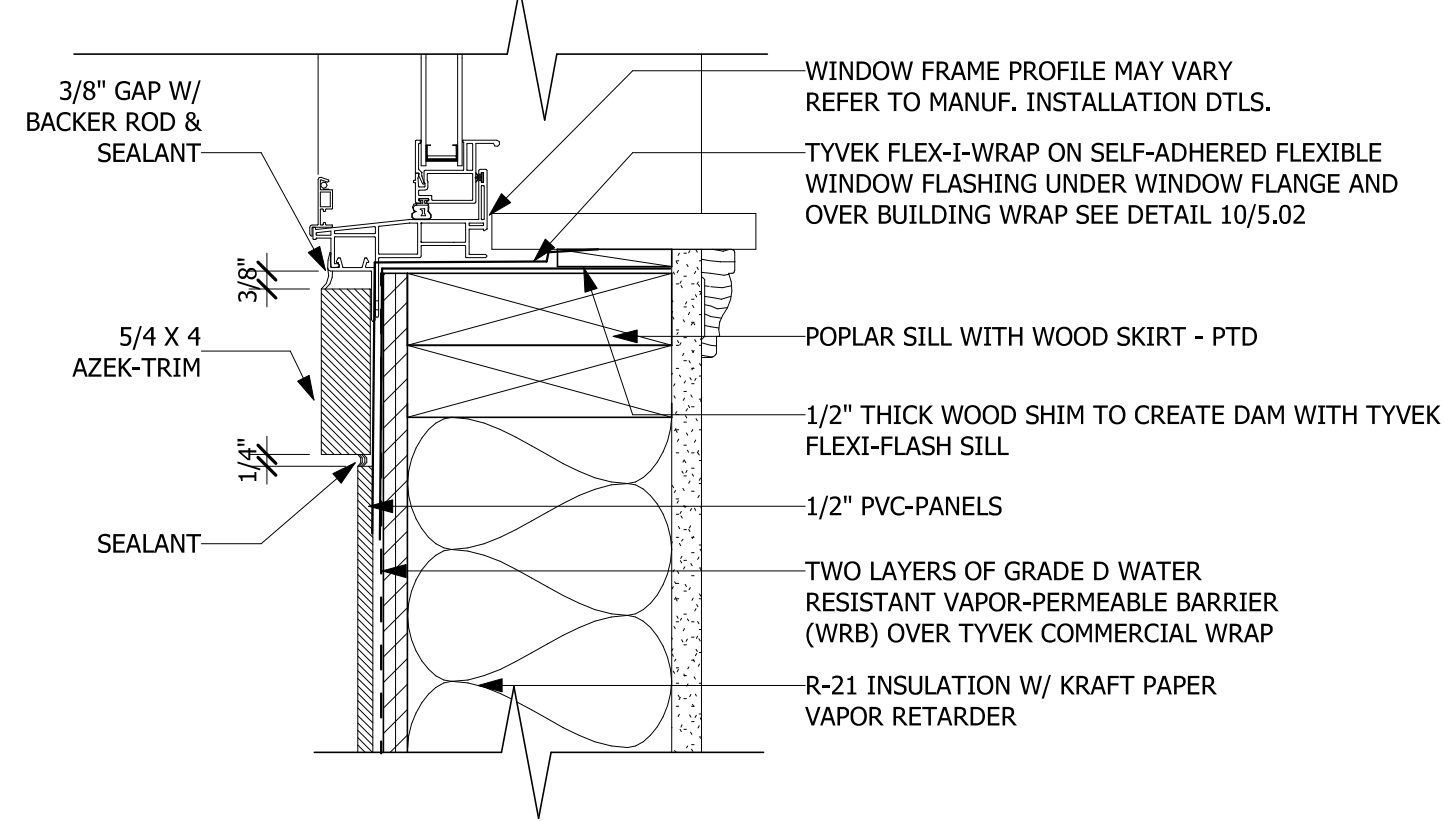
**24 ROOF @ NOOK OVERHANG**  
SCALE : 1" = 1'-0"



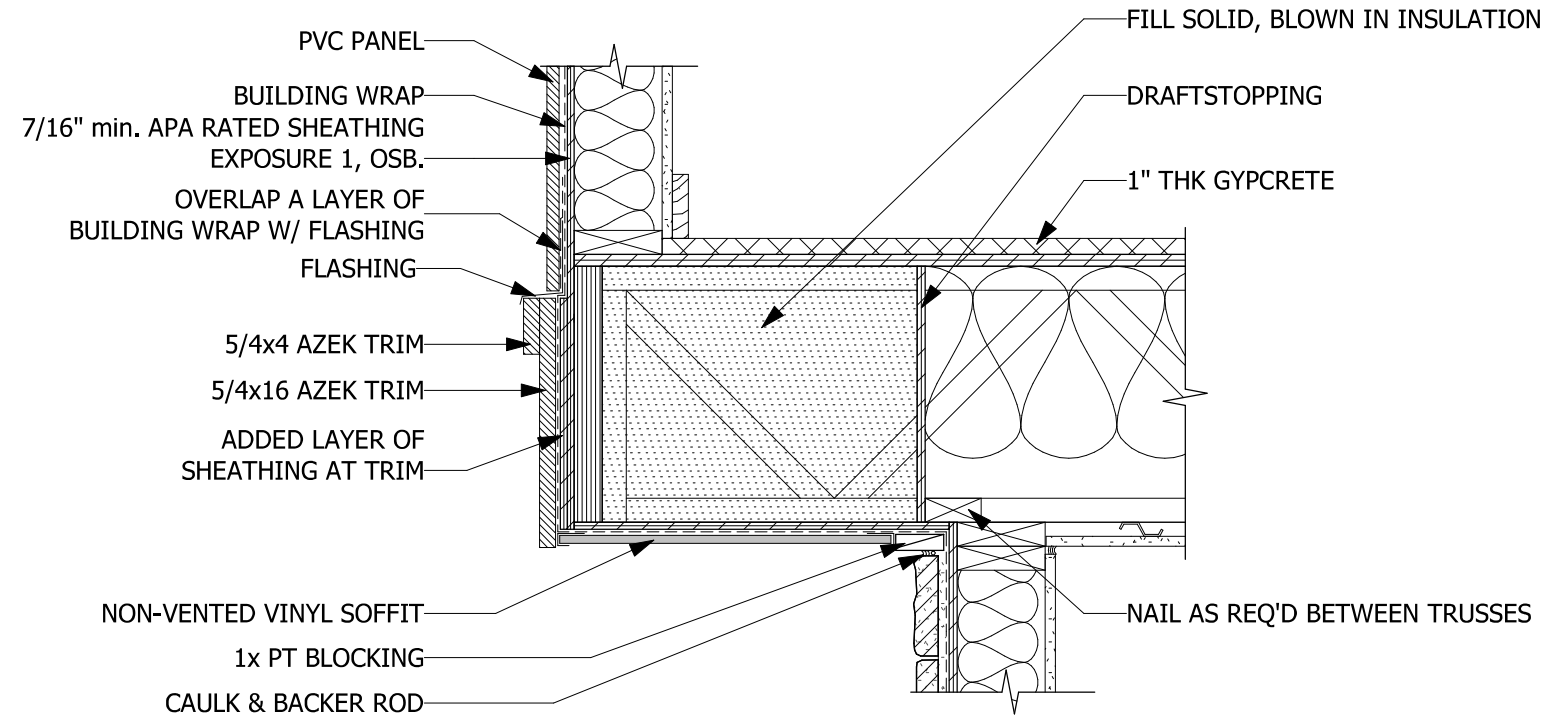
**26 TYPICAL ROOF EAVE**  
SCALE : 1" = 1'-0"



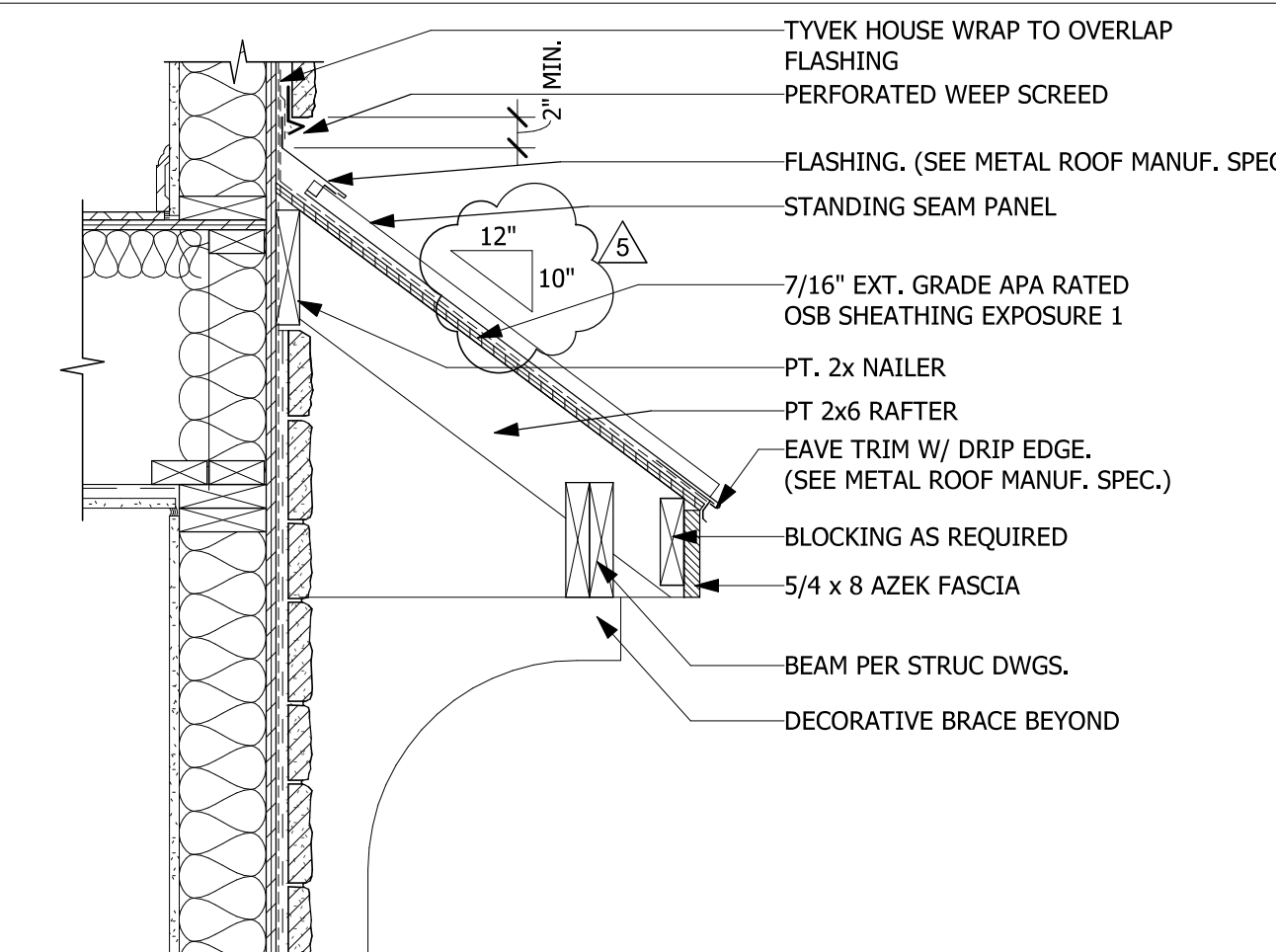
**30 SLIDING DOOR TRACK AT CONC. SLAB**  
SCALE : 3" = 1'-0"



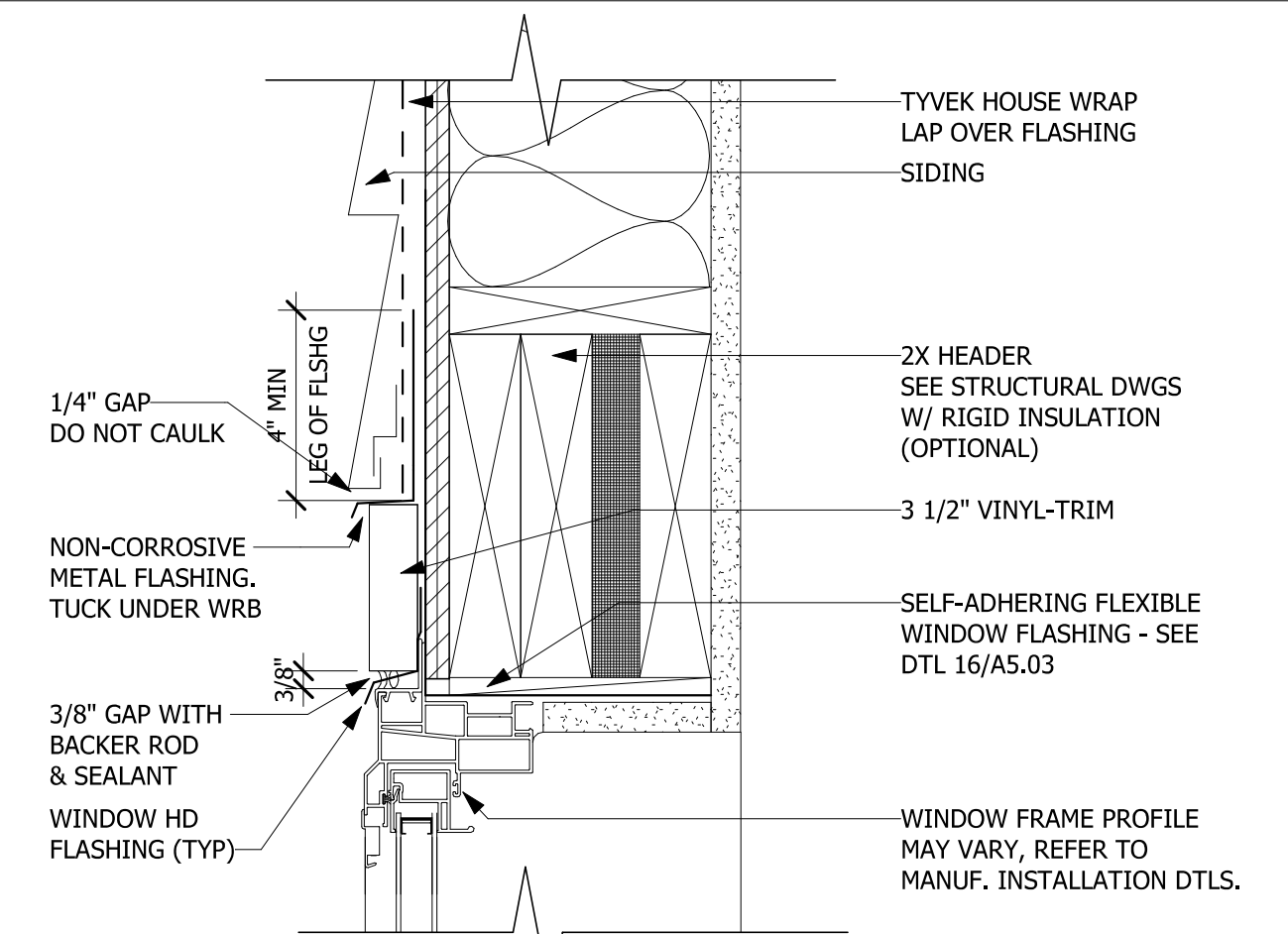
**32 WINDOW SILL DETAIL @ PVC PANELS**  
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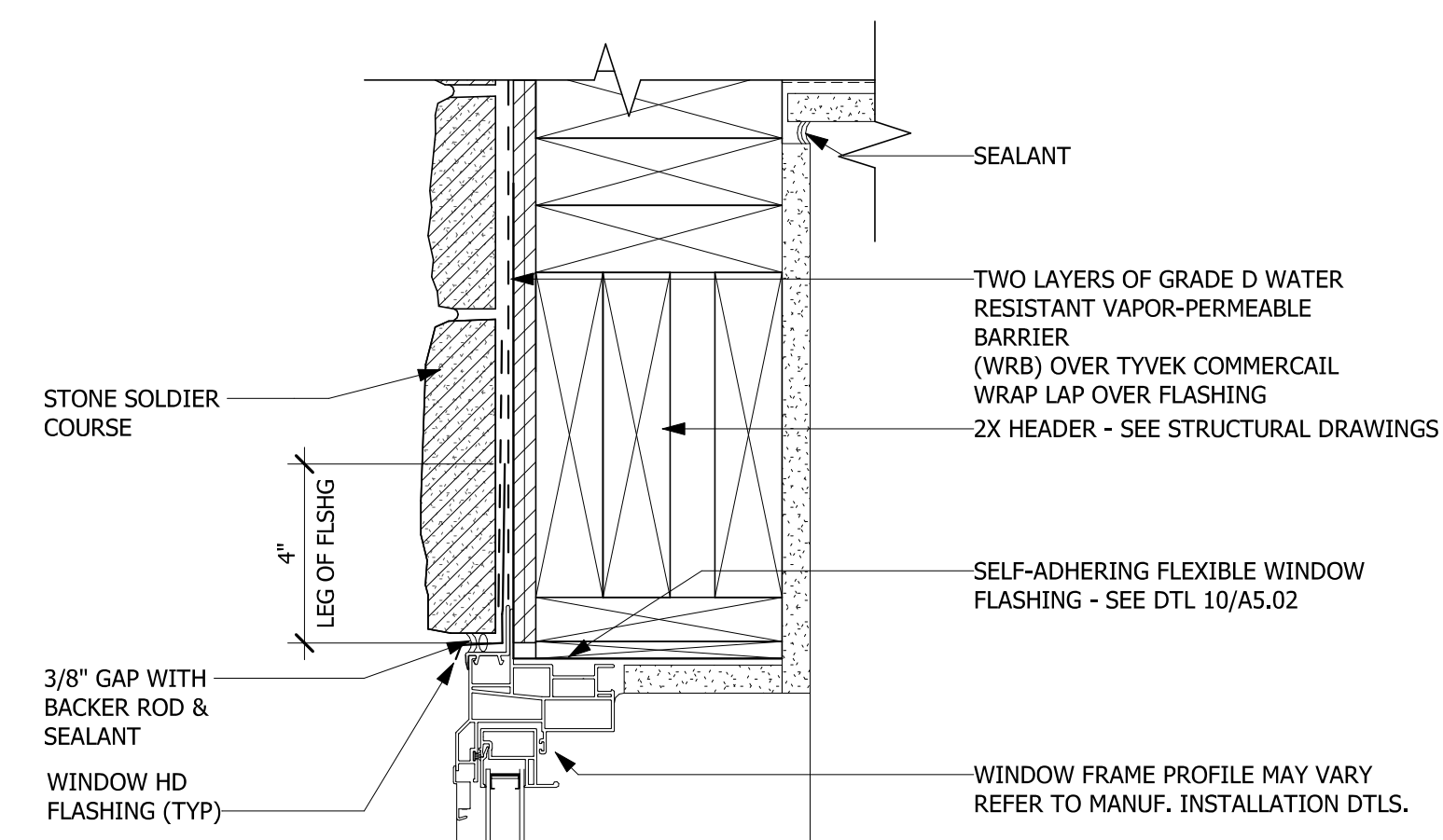
**34 FLOOR @ NOOK OVERHANG**  
SCALE : 1" = 1'-0"



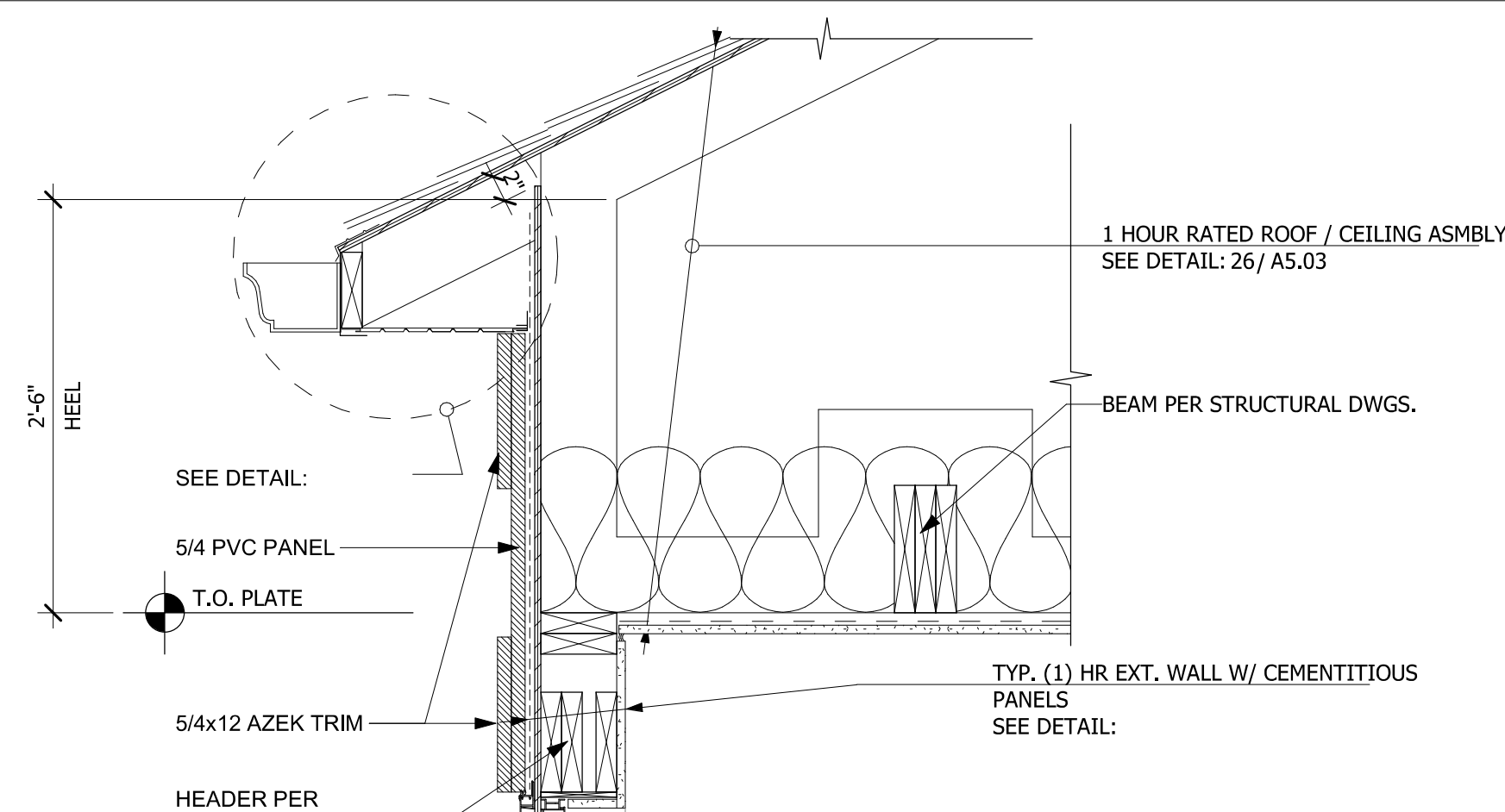
**36 ENTRANCE PENT ROOF**  
SCALE : 1" = 1'-0"



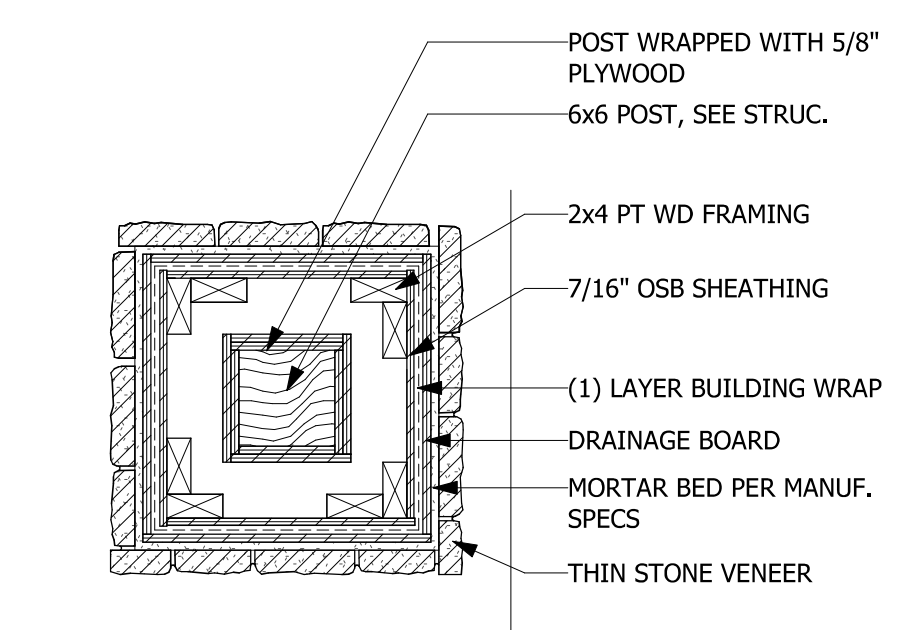
**40 WINDOW HEADER @ VINYL SIDING**  
SCALE : 3" = 1'-0"



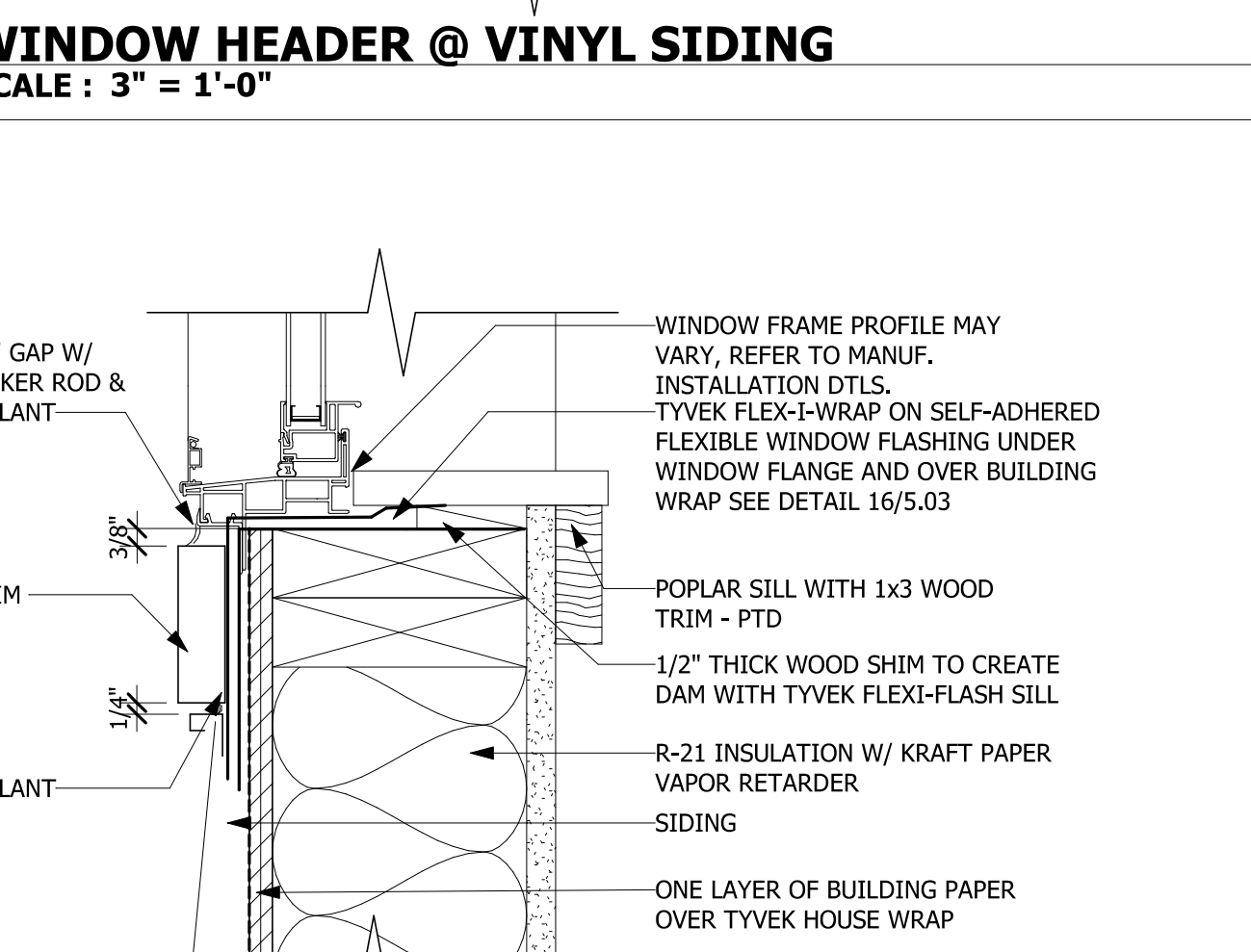
**42 WINDOW HEADER @ CULTURED STONE**  
SCALE : 3" = 1'-0"



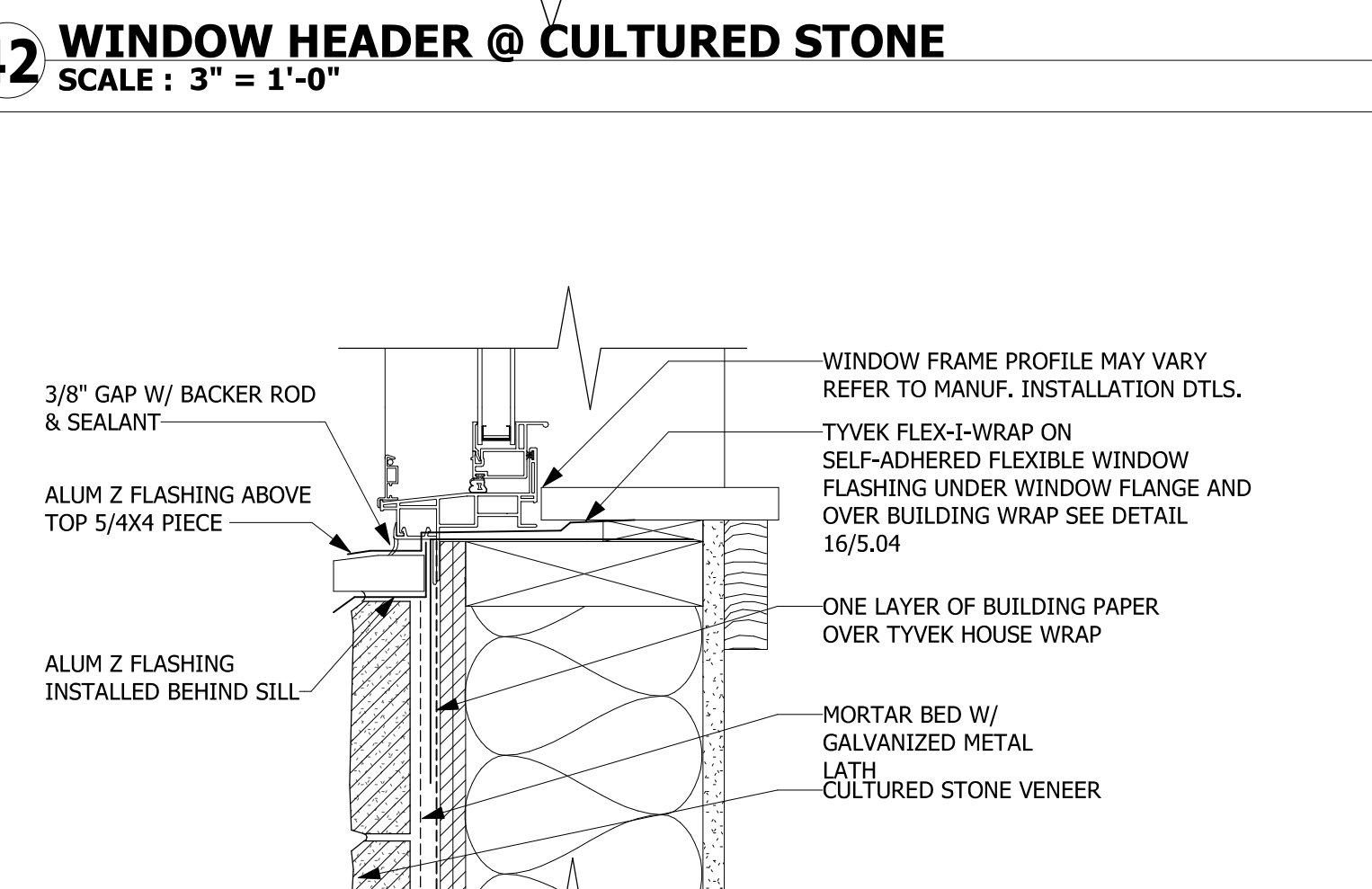
**44 ROOF @ BEDROOM OVERHANG**  
SCALE : 1" = 1'-0"



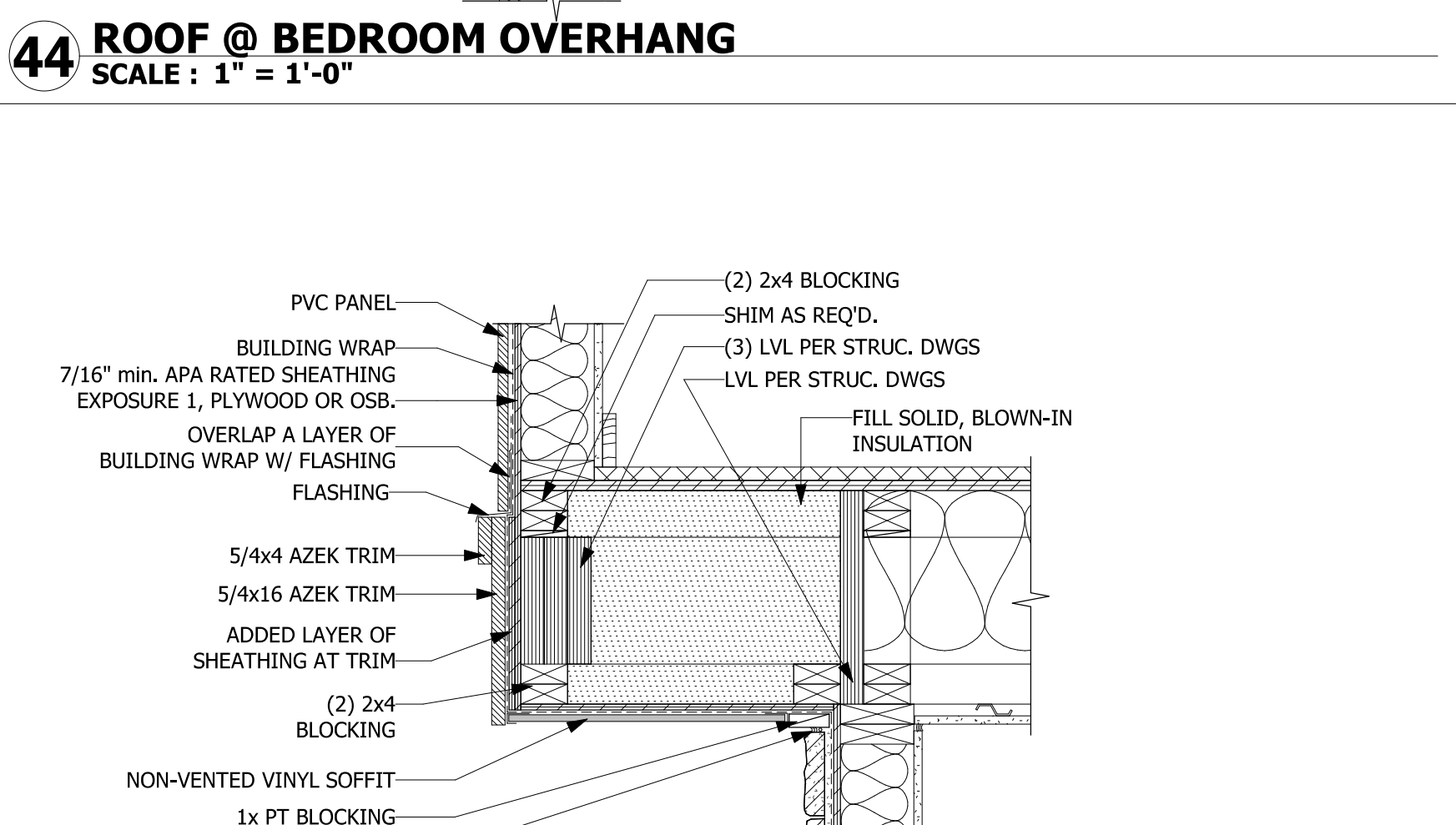
**46 ENTRANCE COLUMN PLAN**  
SCALE : 1" = 1'-0"



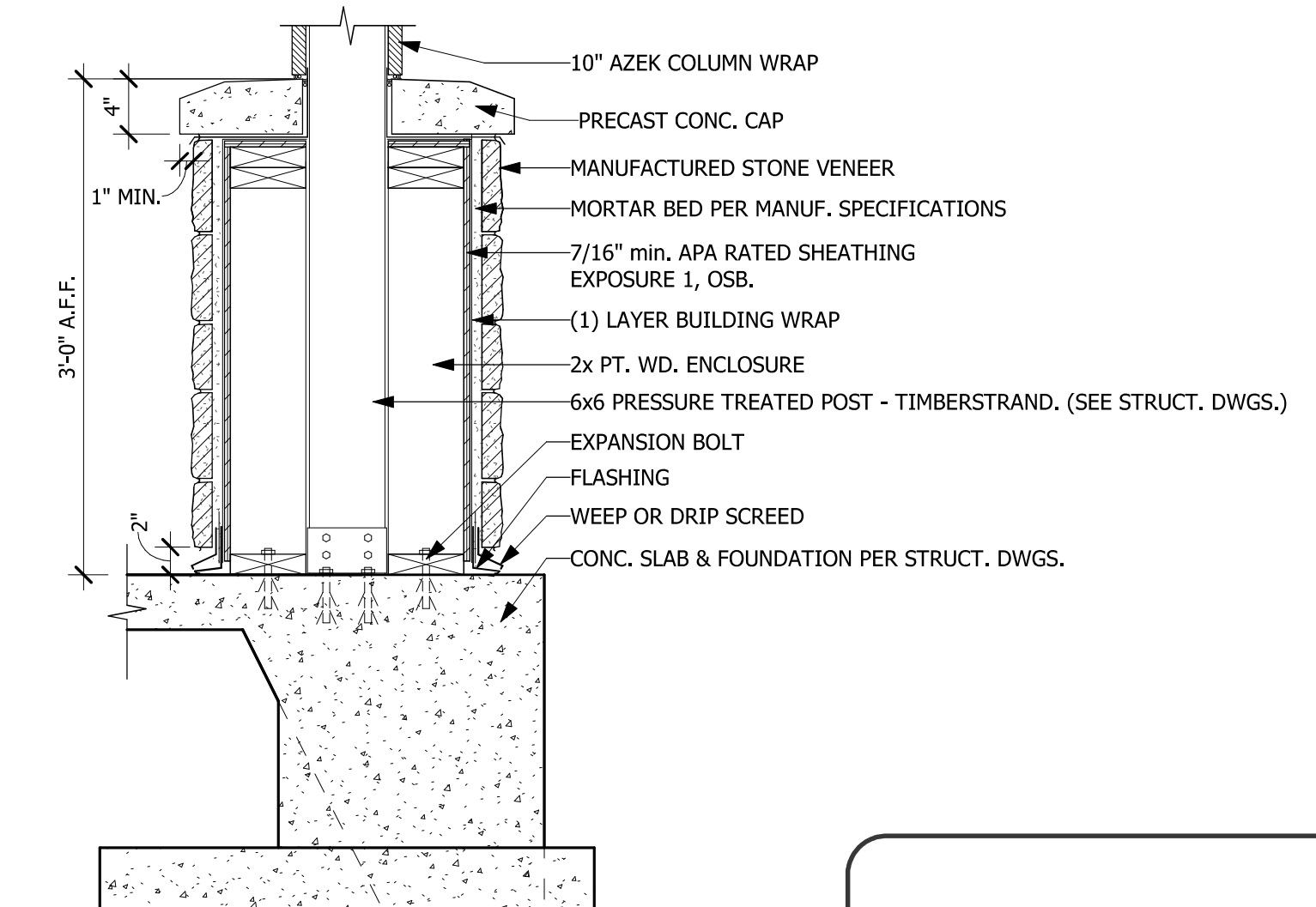
**50 WINDOW SILL @ VINYL SIDING**  
SCALE : 3" = 1'-0"



**52 WINDOW SILL @ CULTURED STONE**  
SCALE : 1" = 1'-0"



**54 FLOOR @ BEDROOM FLOOR OVERHANG**  
SCALE : 1" = 1'-0"



**56 ENTRANCE COLUMN BASE**  
SCALE : 1" = 1'-0"

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DANIEL MCCAULEY  
2-14-07/2-26-00

Professional Architect:  
NJ License Number:

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ARCHITECTS AND PLANNERS  
A PROFESSIONAL CORPORATION  
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103  
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY  
P.M.: JULIAN DELGADO  
DRAWN BY: TT  
PROJECT NO: 1826-05

NO.	REVISION	DATE	BY
1	PERMIT SET	06/16/2022	
2	ROOF FLOOR CLARIFICATIONS	11/15/2022	

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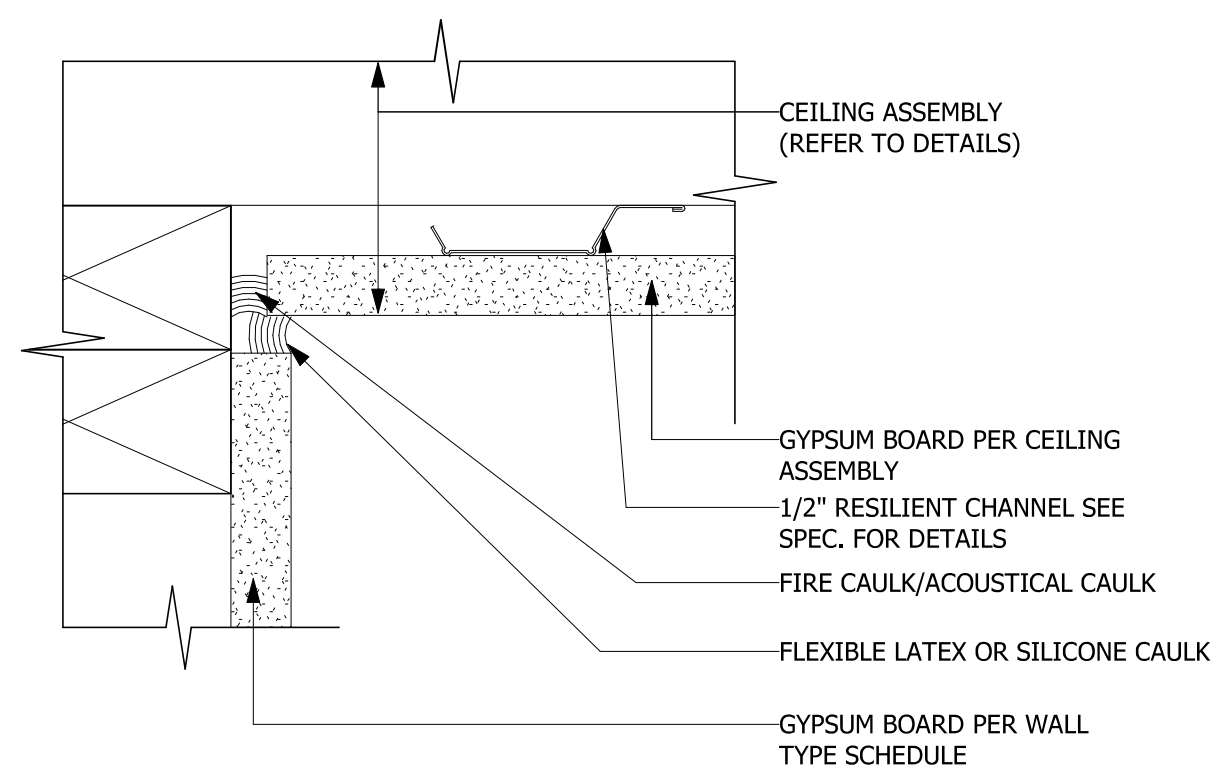
**DETAILS**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

SCALE: AS NOTED  
DATE: 12/31/2017

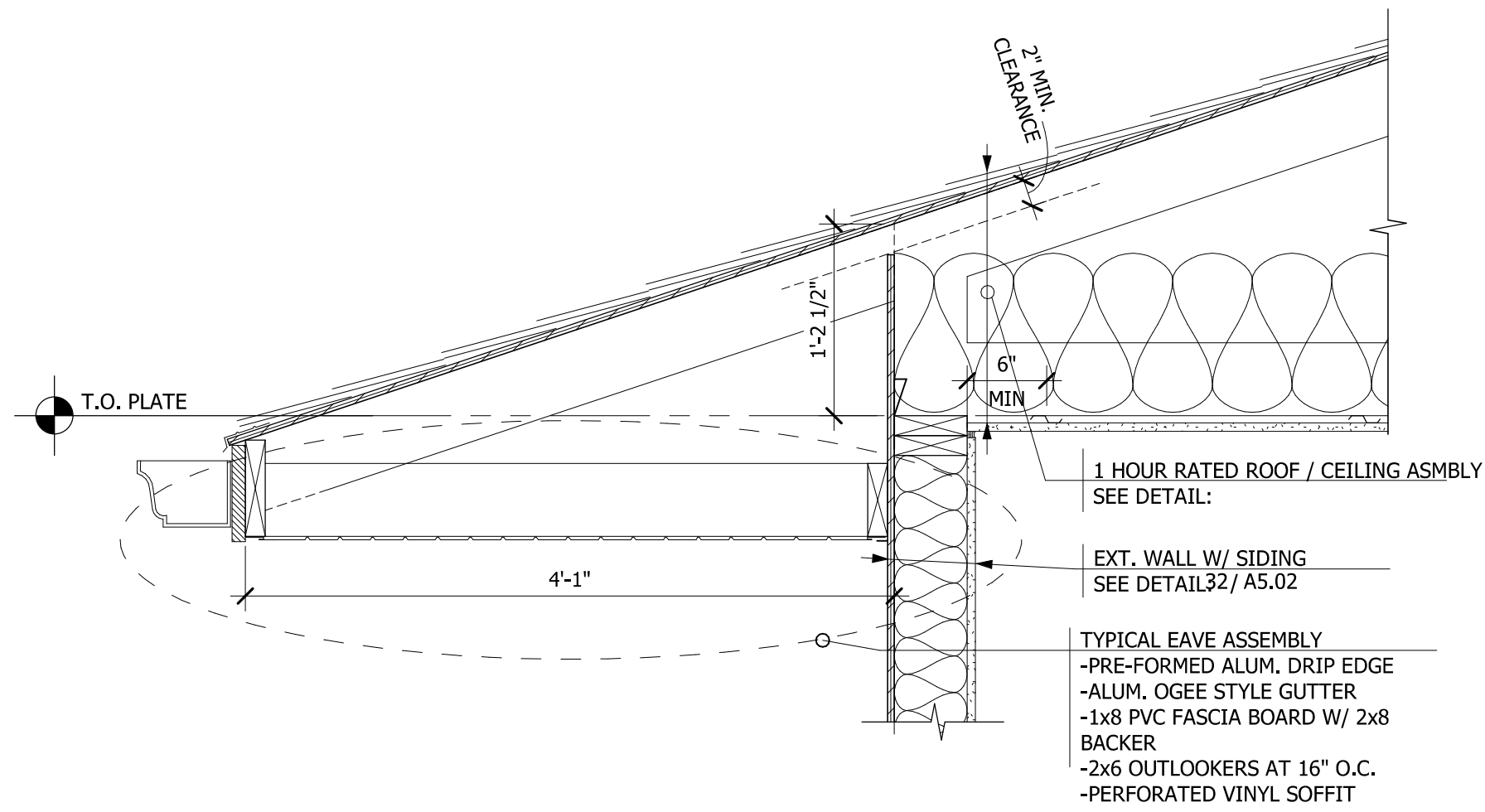
Building #3

**A5.03**  
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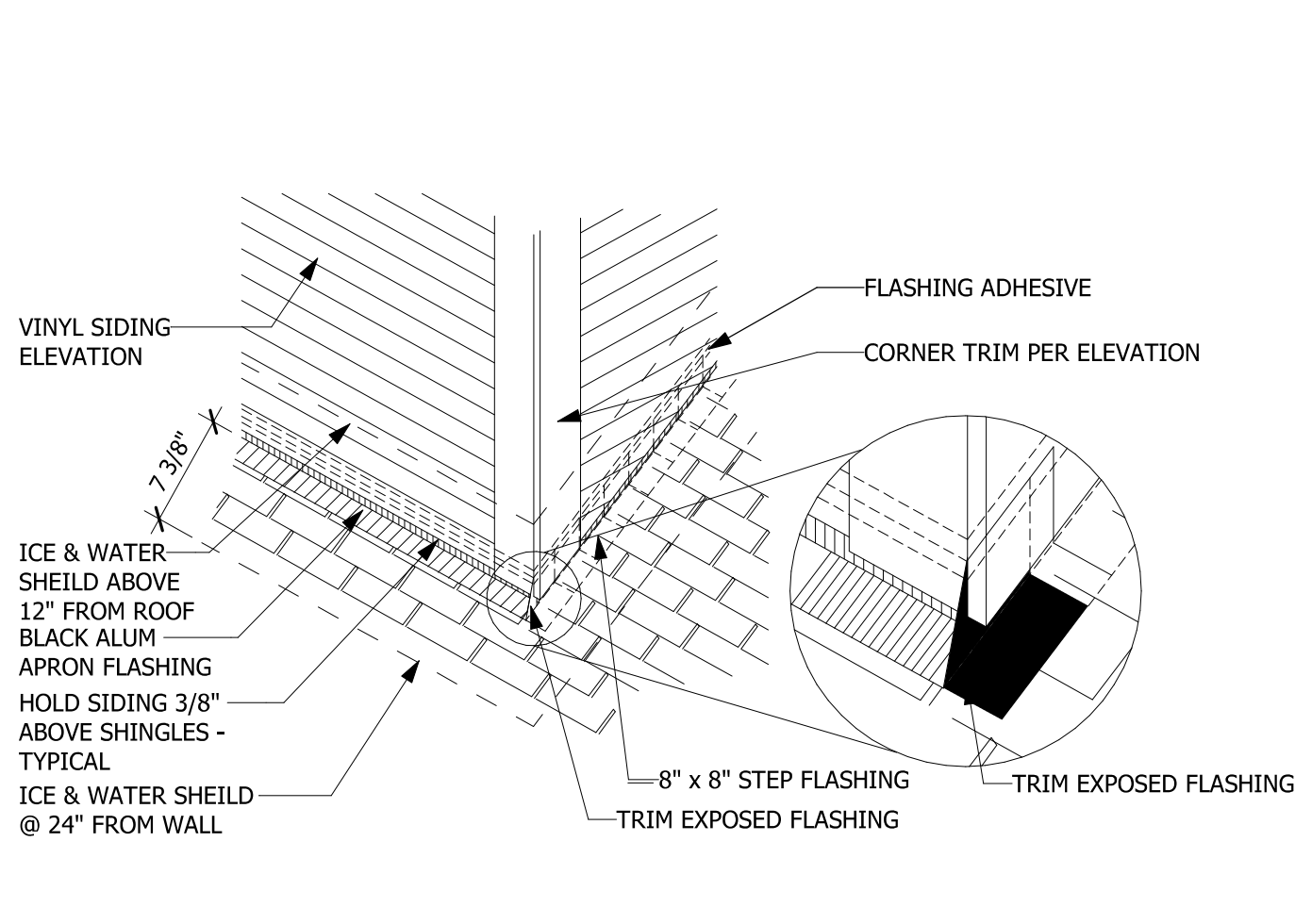
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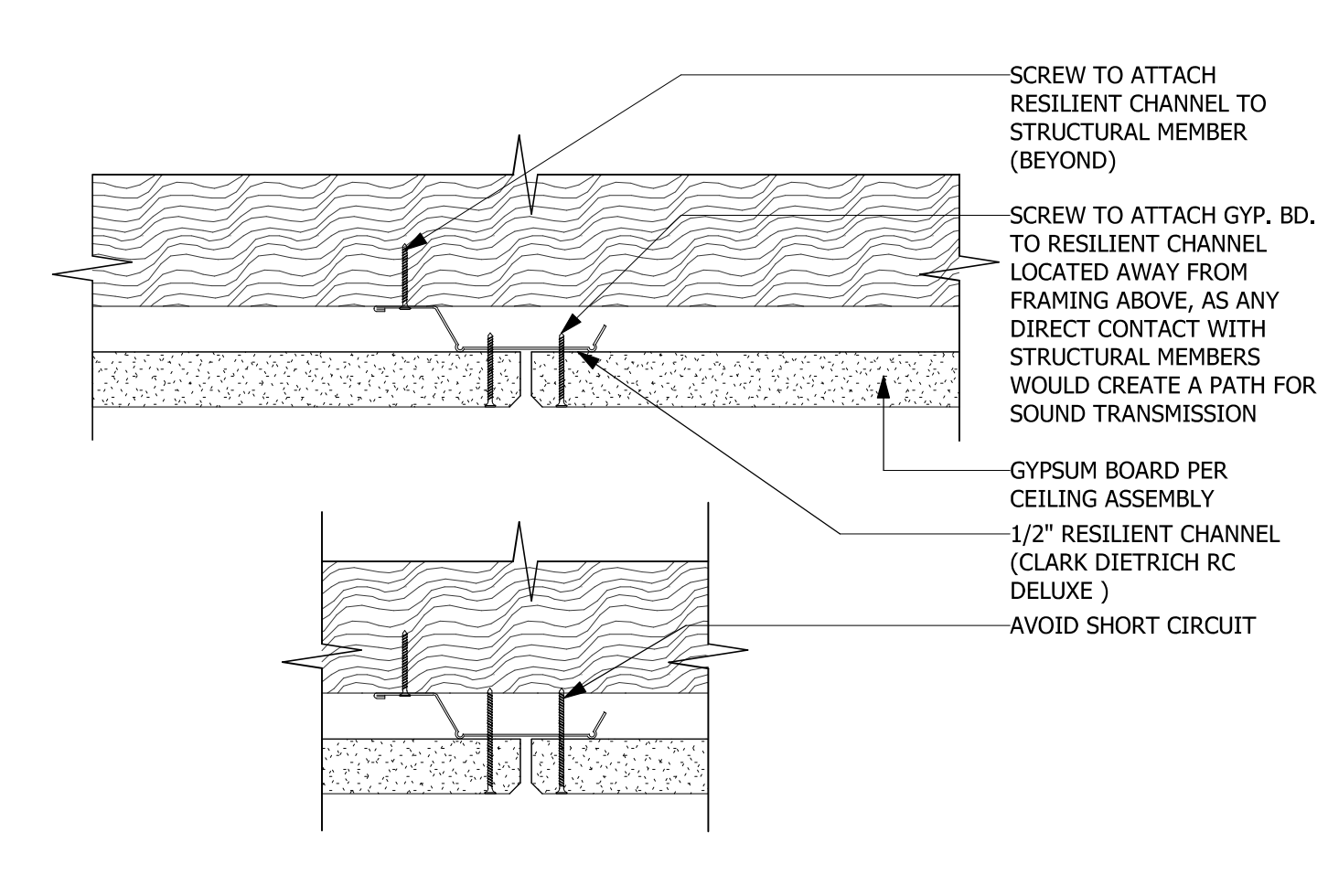
**10 TYPICAL CEILING/WALL JOINT**  
SCALE: 6" = 1'-0"



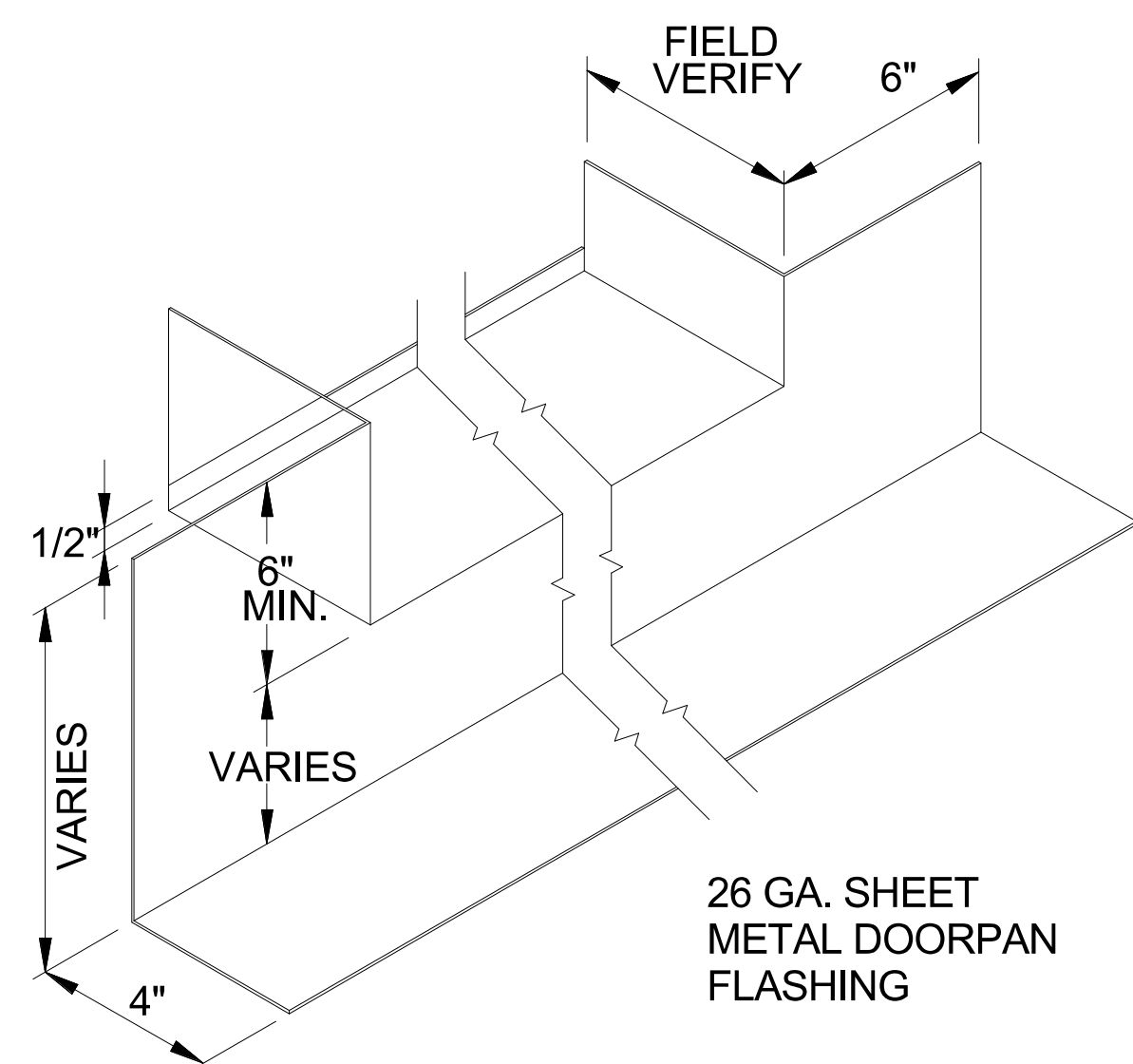
**12 EXTENDED EAVE @ NORTH ELEVATION**  
SCALE: 1" = 1'-0"



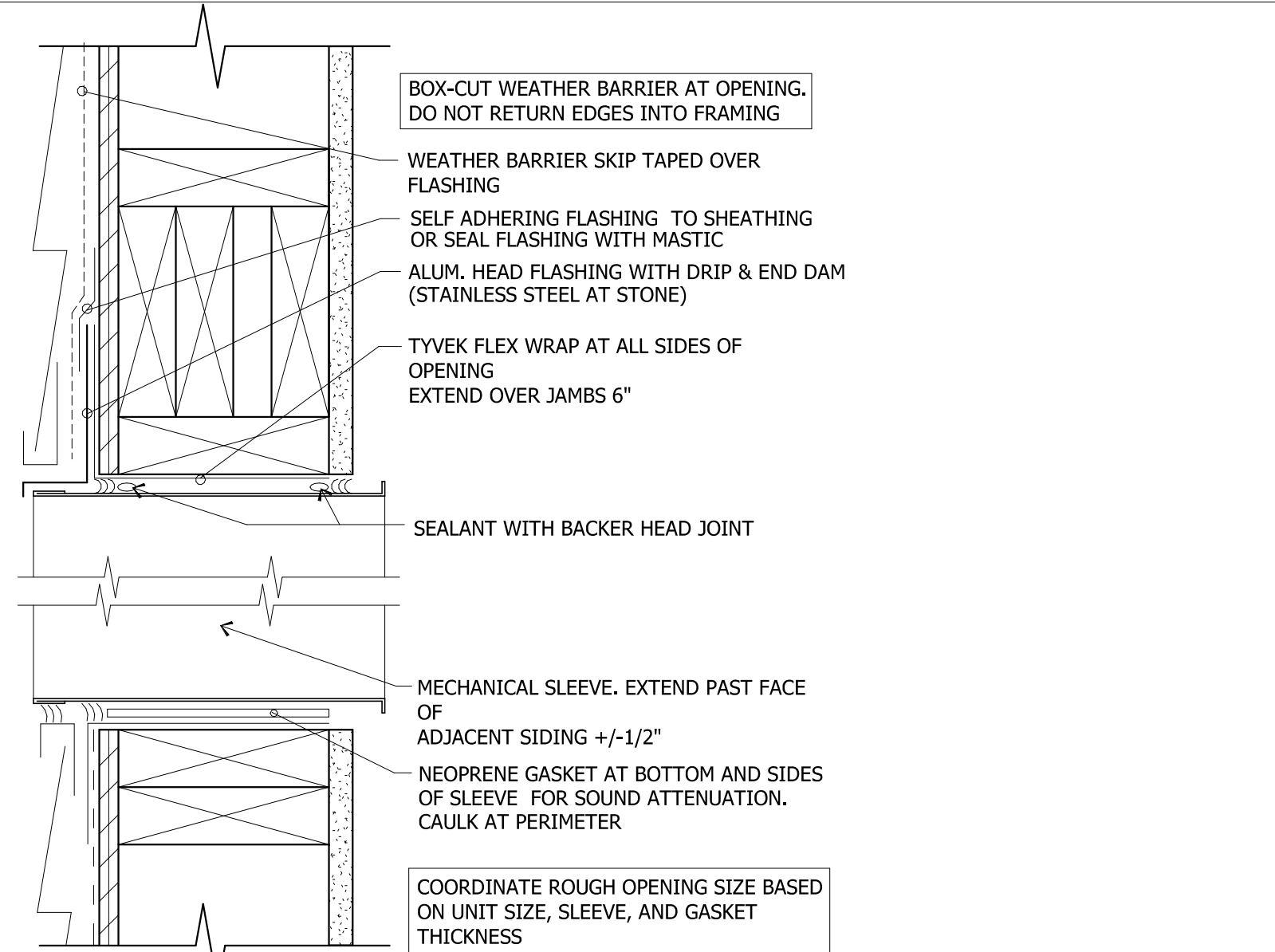
**14 WALL TO ROOF FLASHING, TYPICAL**  
SCALE: 1" = 1'-0"



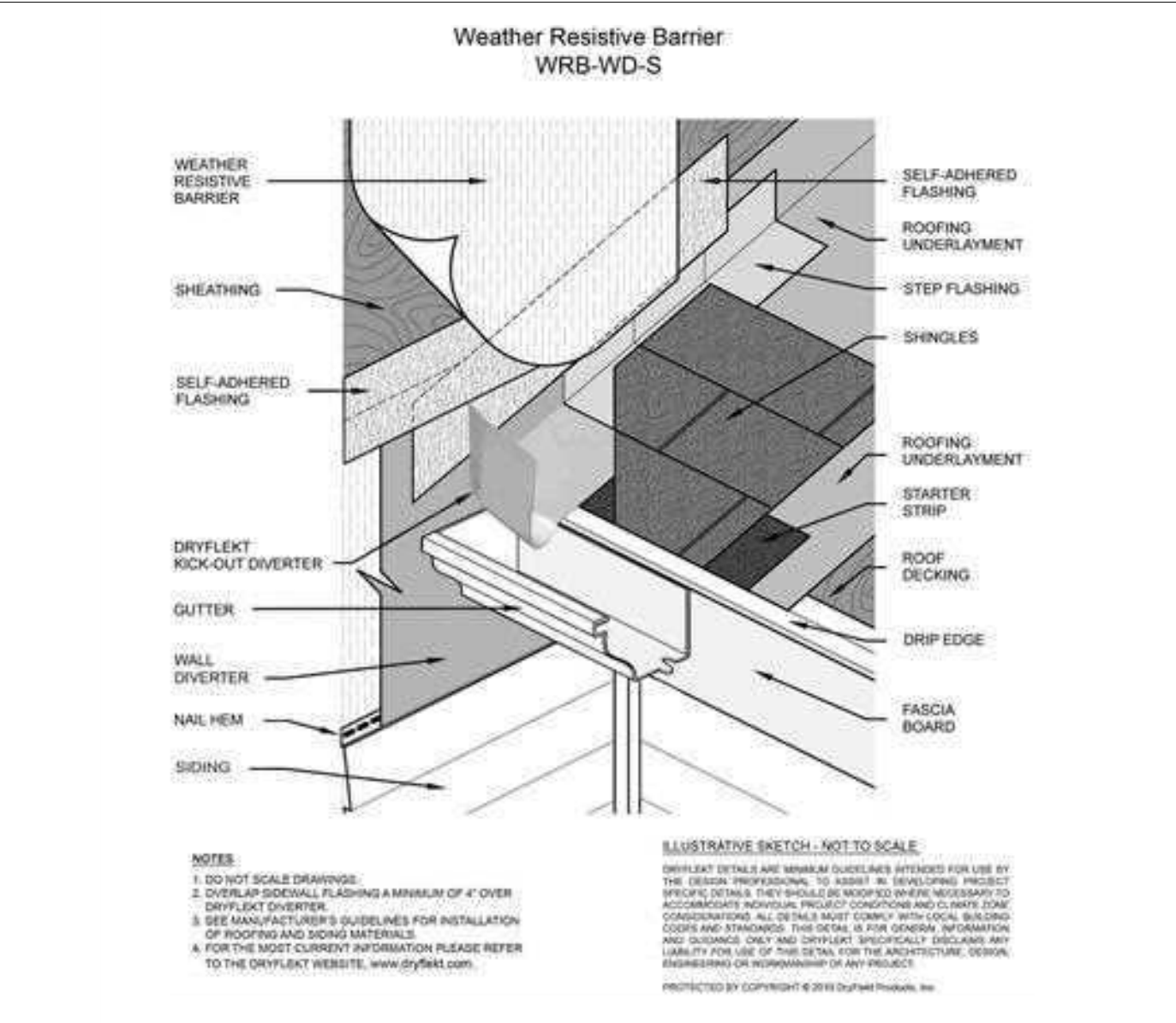
**16 TYPICAL CEILING DRYWALL FASTENING DETAIL**  
SCALE: 6" = 1'-0"



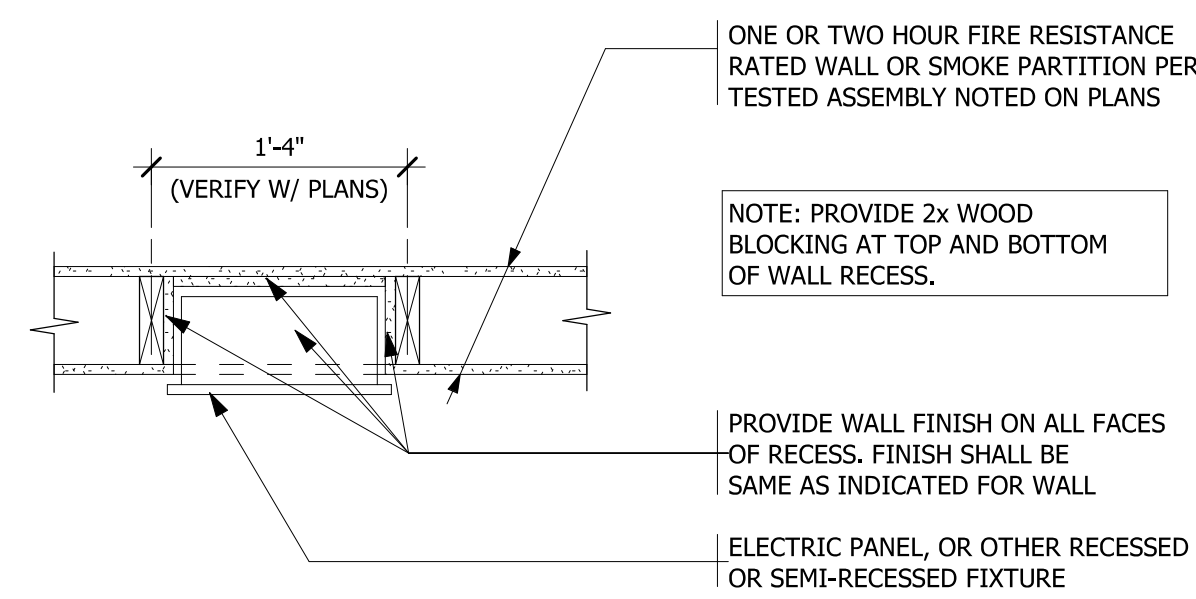
**20 PAN FLASHING AT DOOR OPENINGS**  
SCALE: 3" = 1'-0"



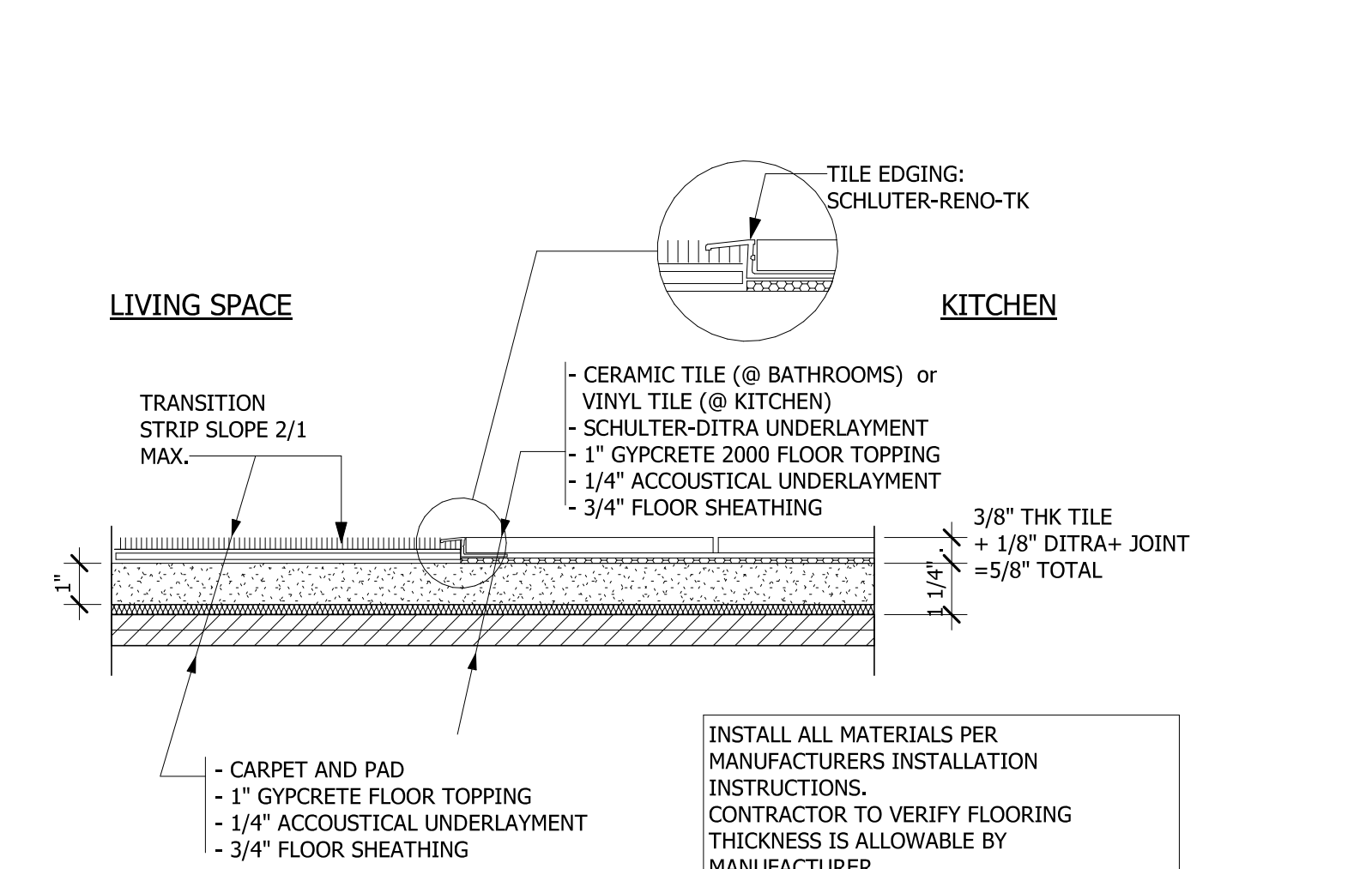
**22 CONDENSER SLEEVE AT VINYL (SIM. AT STONE)**  
SCALE: 3" = 1'-0"



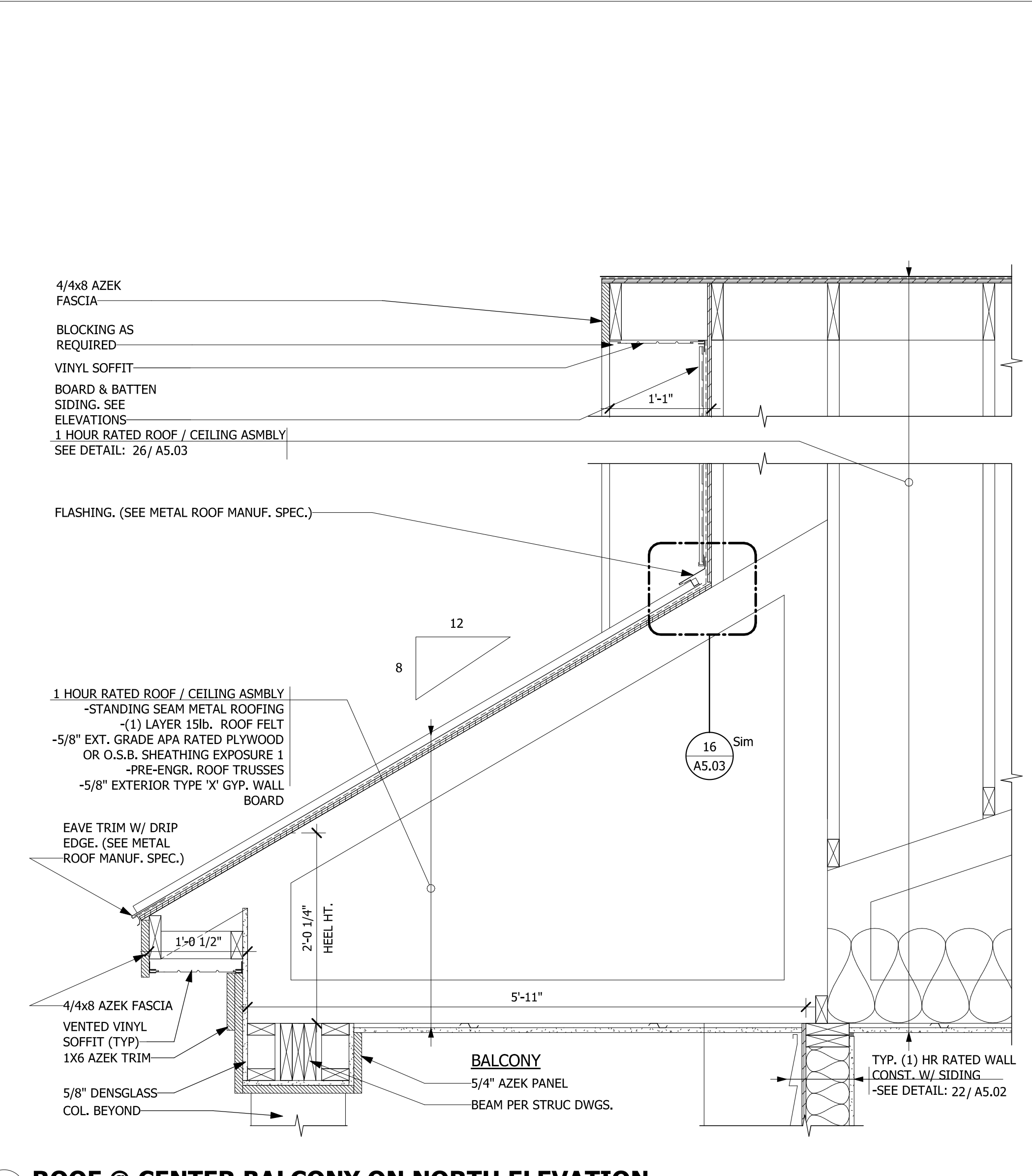
**24 KICK-OUT FLASHING, TYPICAL**  
SCALE: 1" = 1'-0"



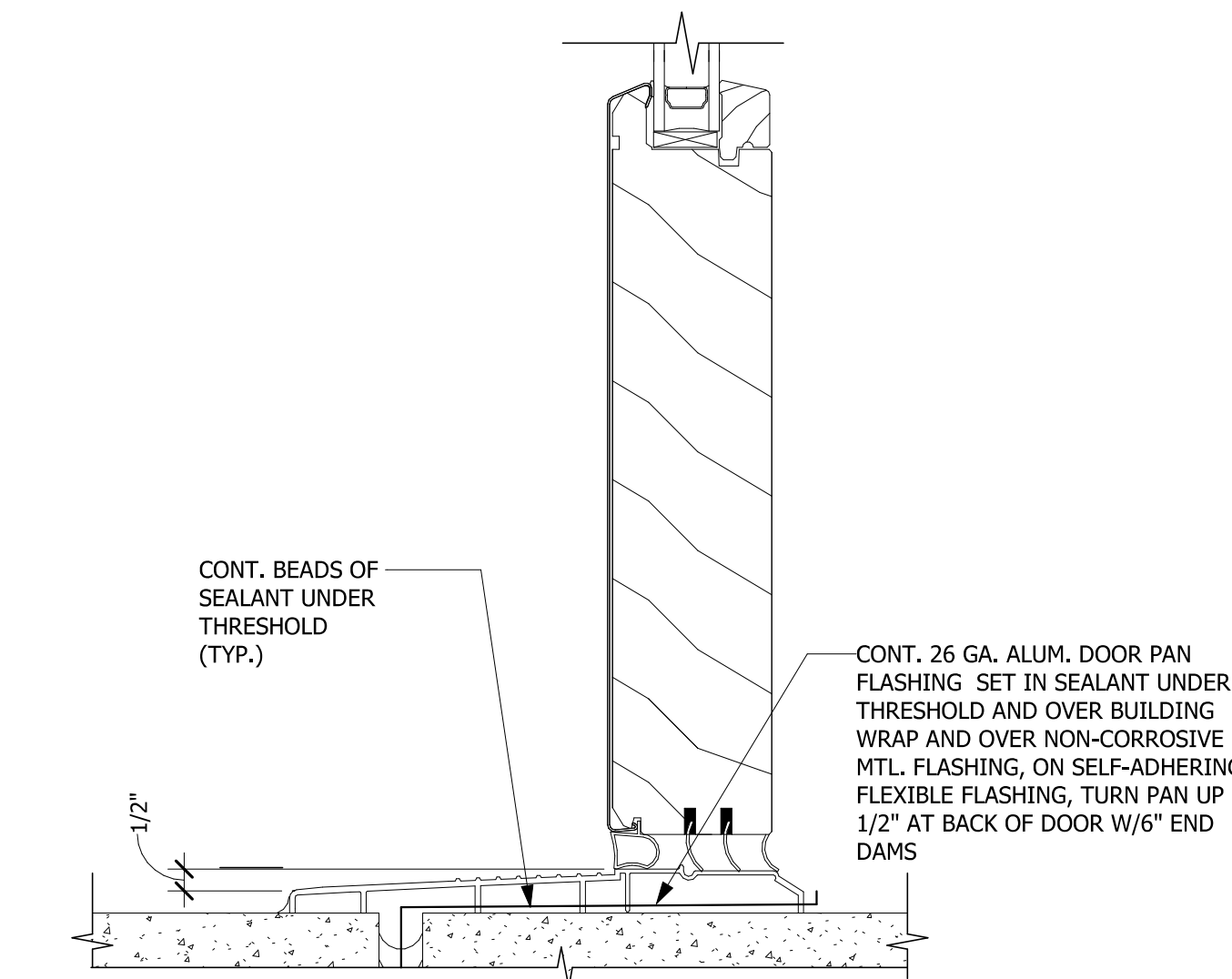
**30 RECESSED PANEL @ RATED WALL**  
SCALE: 1" = 1'-0"



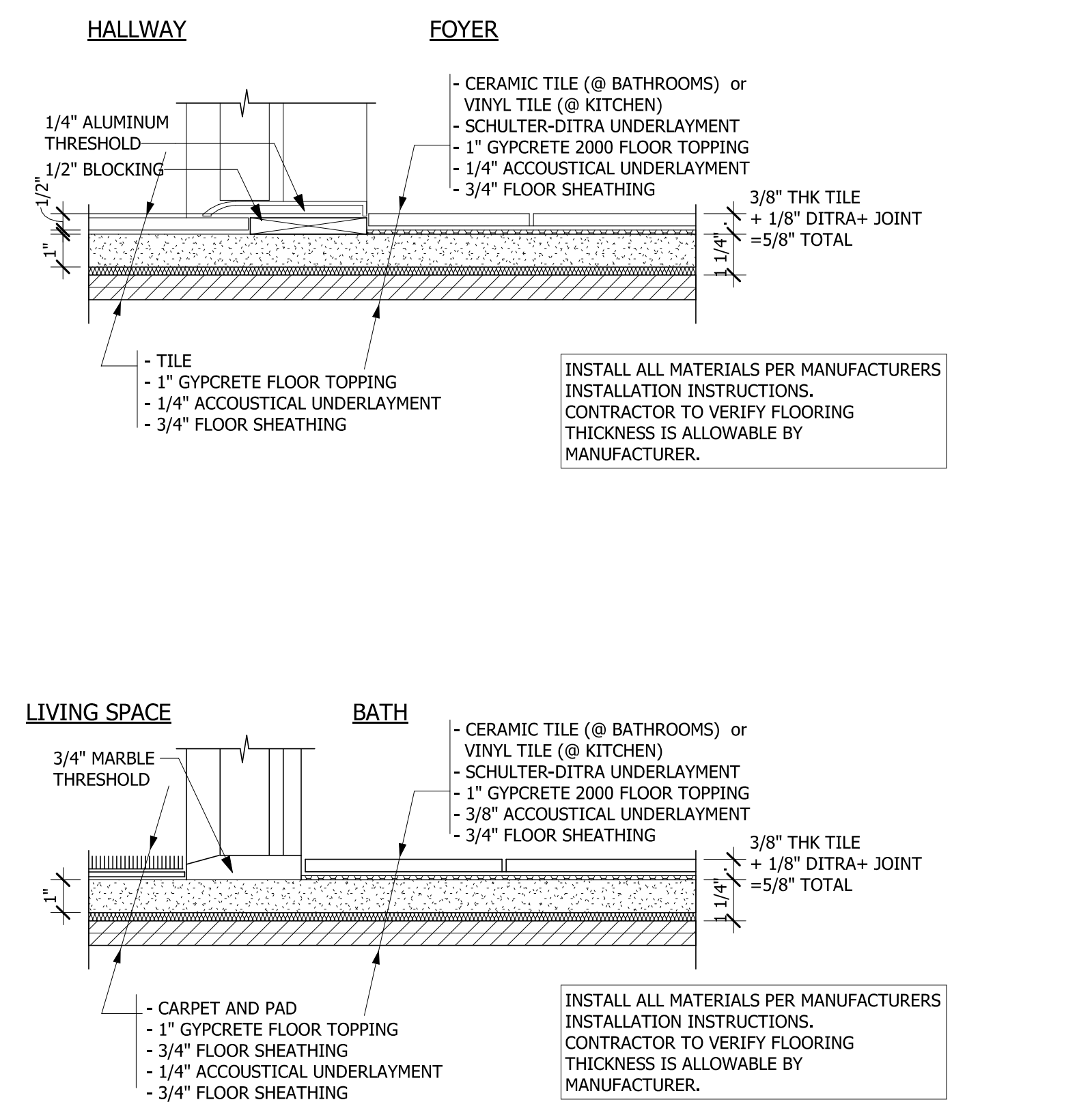
**34 BATH TUB @ WALL CONNECTION**  
SCALE: 3" = 1'-0"



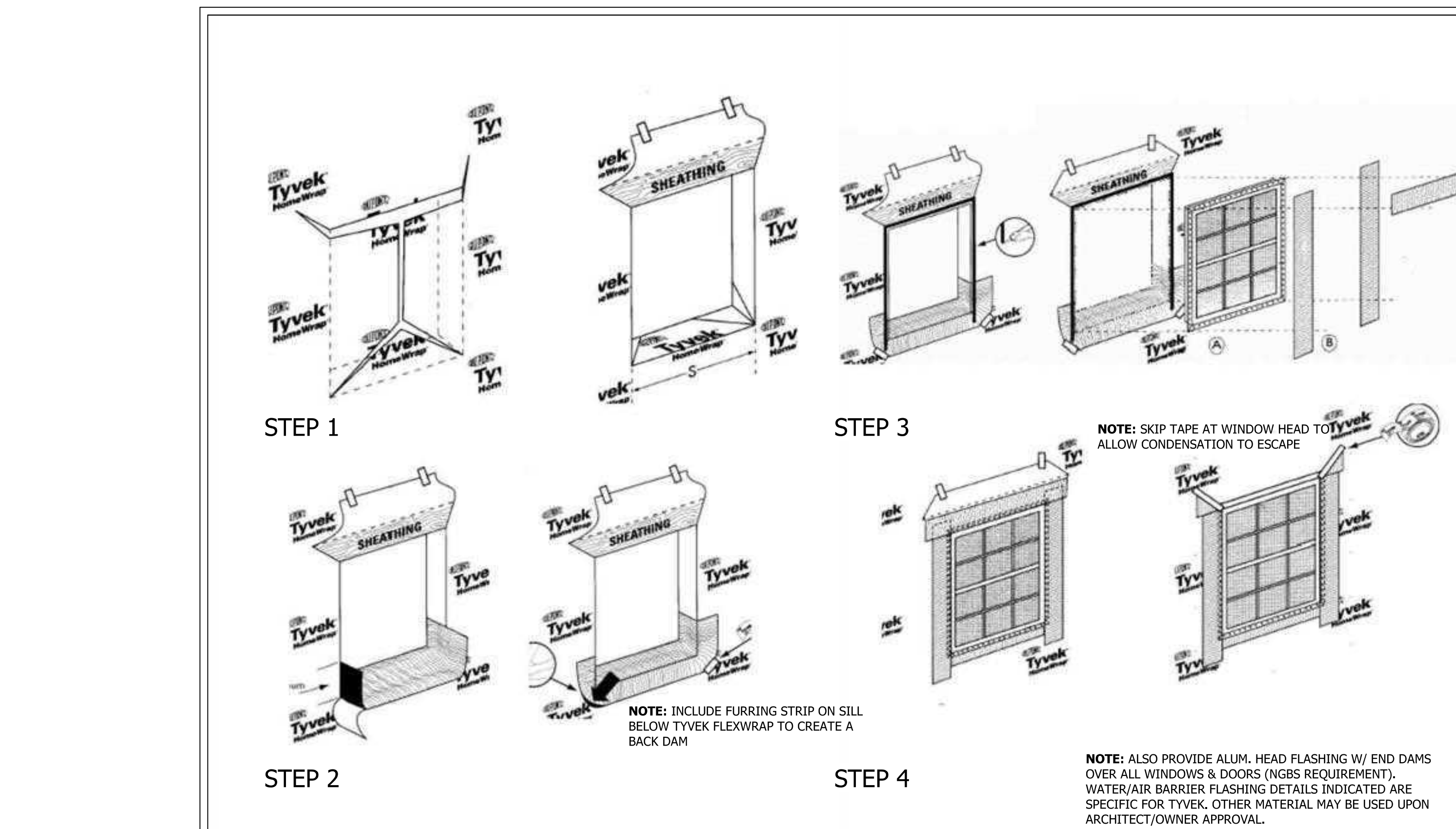
**36 ROOF @ CENTER BALCONY ON NORTH ELEVATION**  
SCALE: 1" = 1'-0"



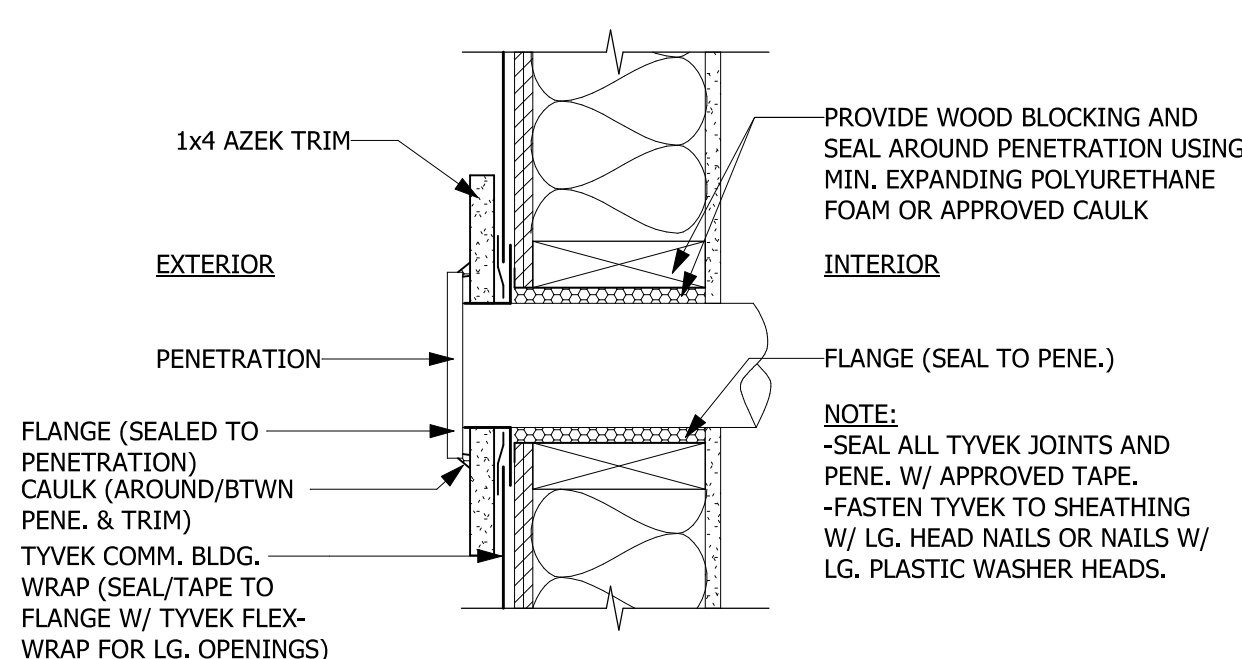
**40 FLUSH ENTRY THRESHOLD**  
SCALE: 3" = 1'-0"



**52 FLOOR FINISH TRANSITIONS - GYPCRETE**  
SCALE: 3" = 1'-0"



**54 WINDOW OPENING WRAP DETAIL**  
SCALE: 1" = 1'-0"

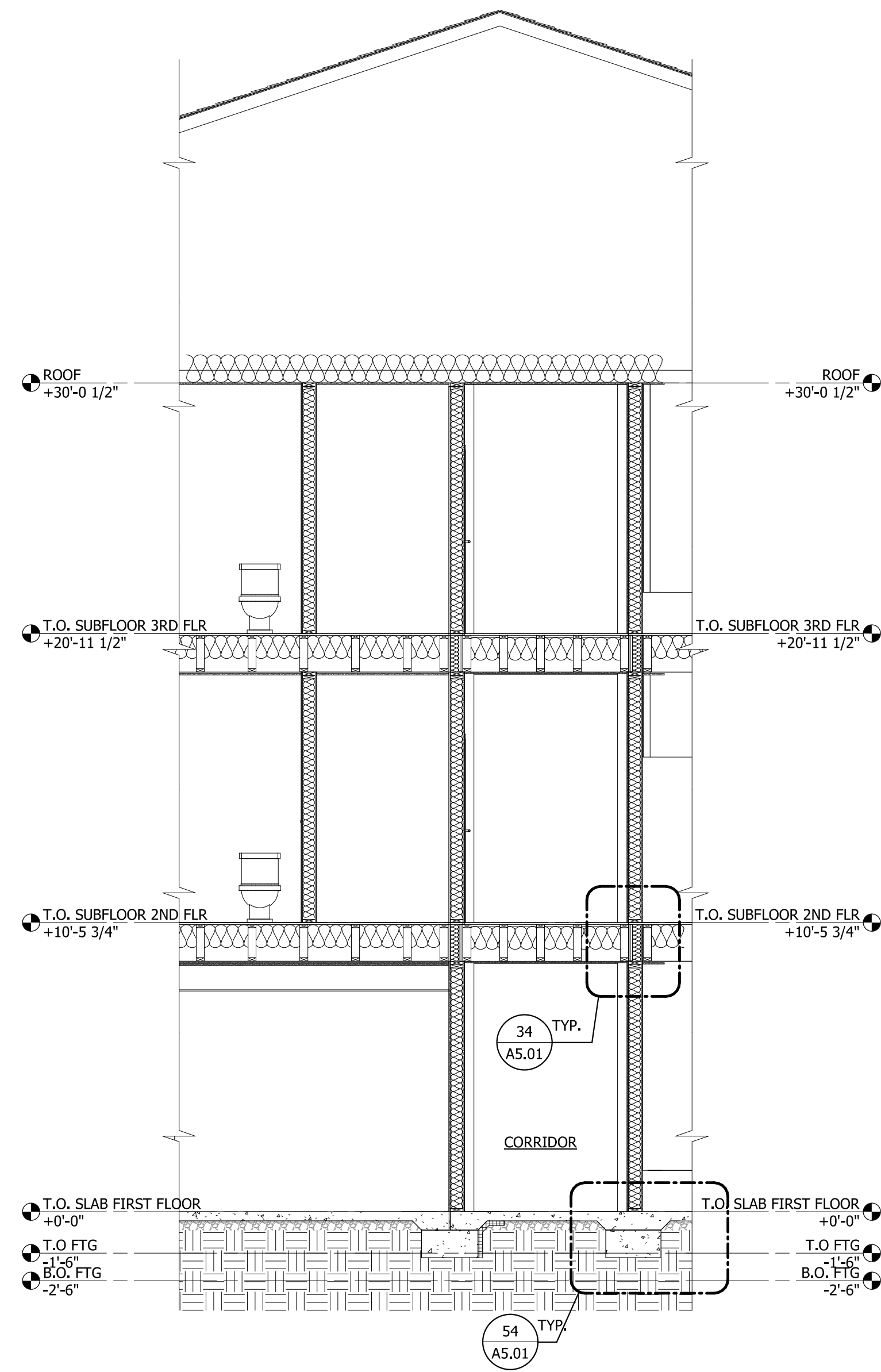


**50 WALL PENETRATION FLASHING (QUICK FLASH)**  
SCALE: 1" = 1'-0"

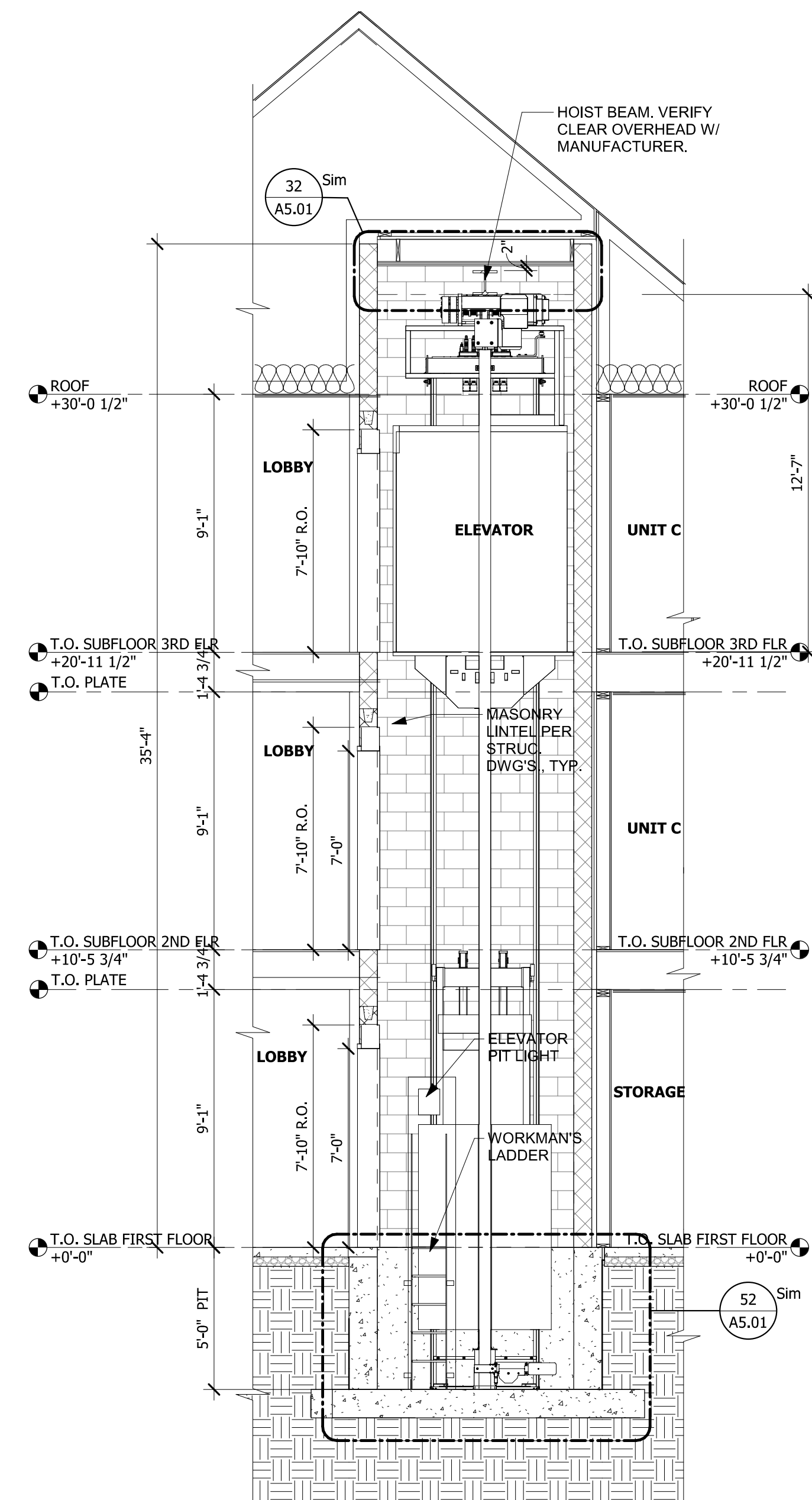
NO.	REVISION	DATE
0	PERMIT SET	06/20/22

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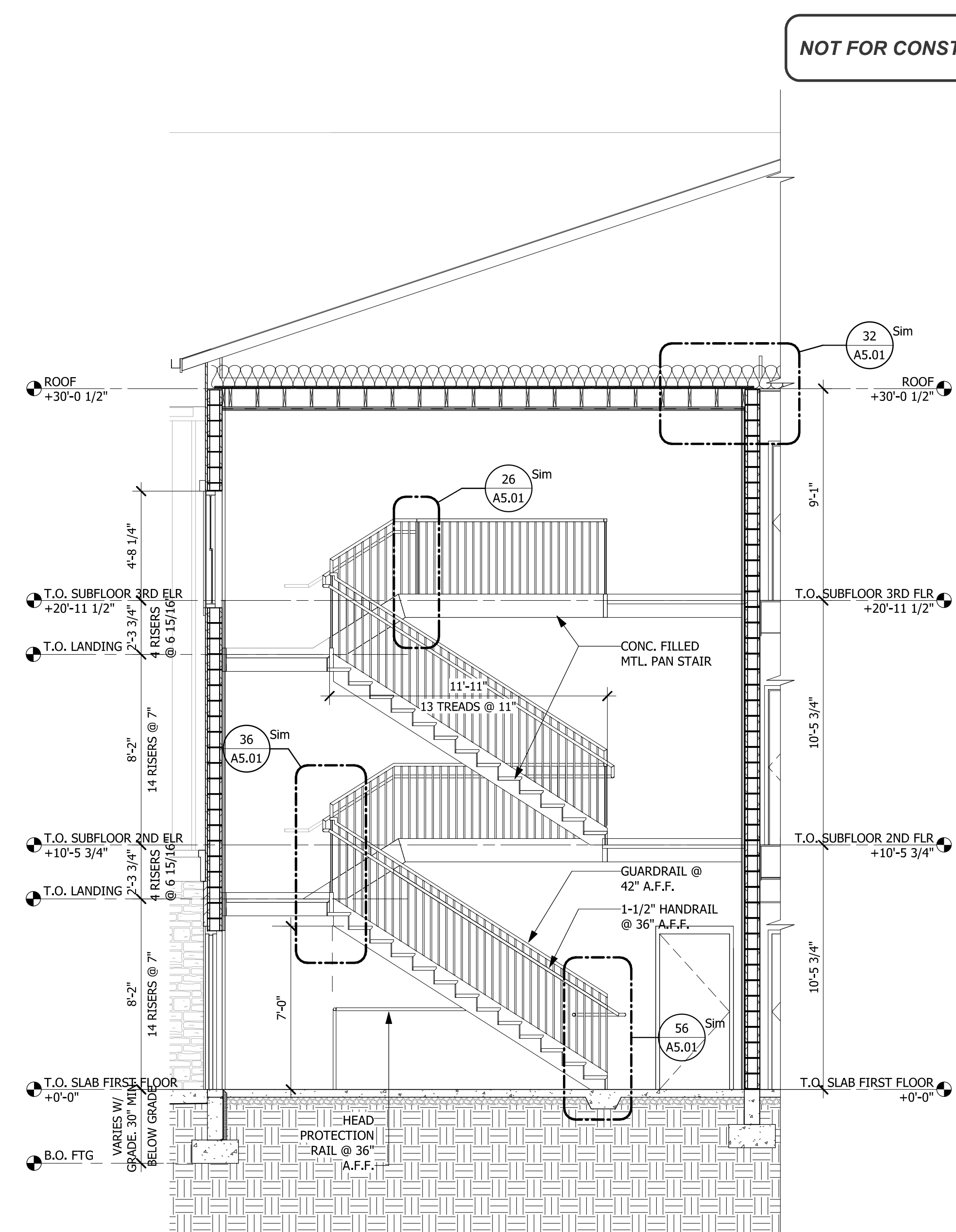




**6 SECTION @ CORRIDOR**  
SCALE: 1/4" = 1'-0"

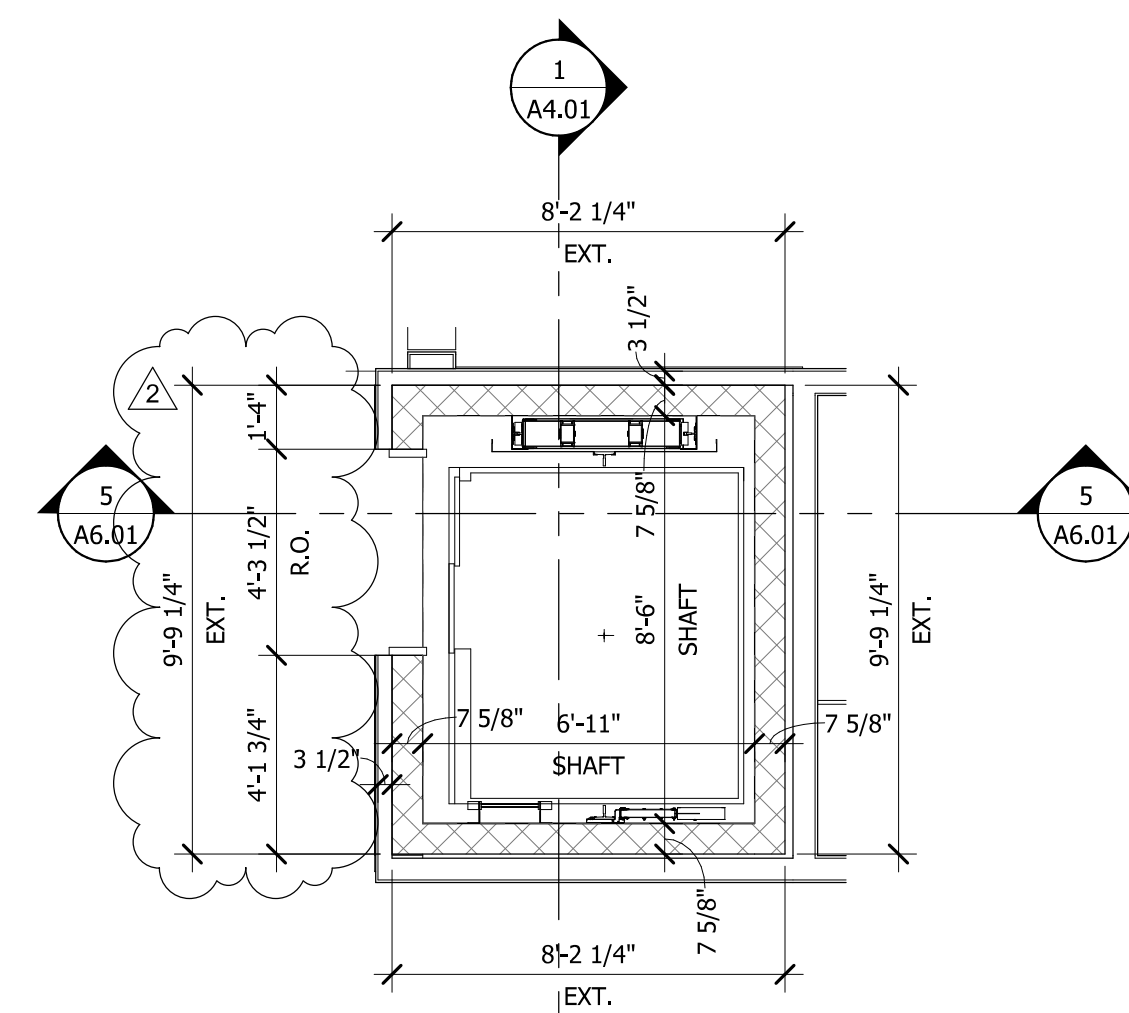


**5 Elevator Section**  
SCALE: 1/4" = 1'-0"

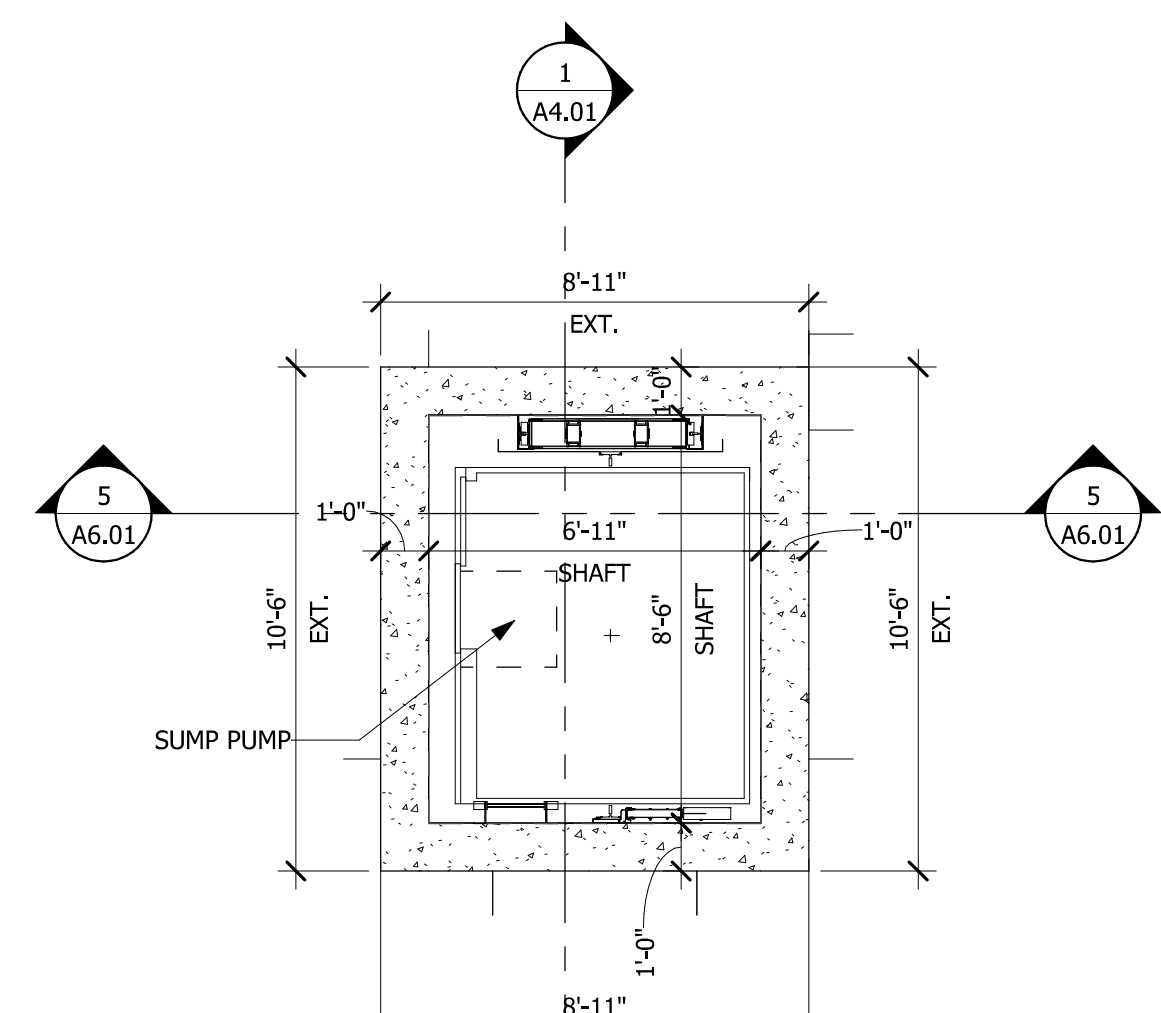


**4 Stair Section #1**  
SCALE: 1/4" = 1'-0"

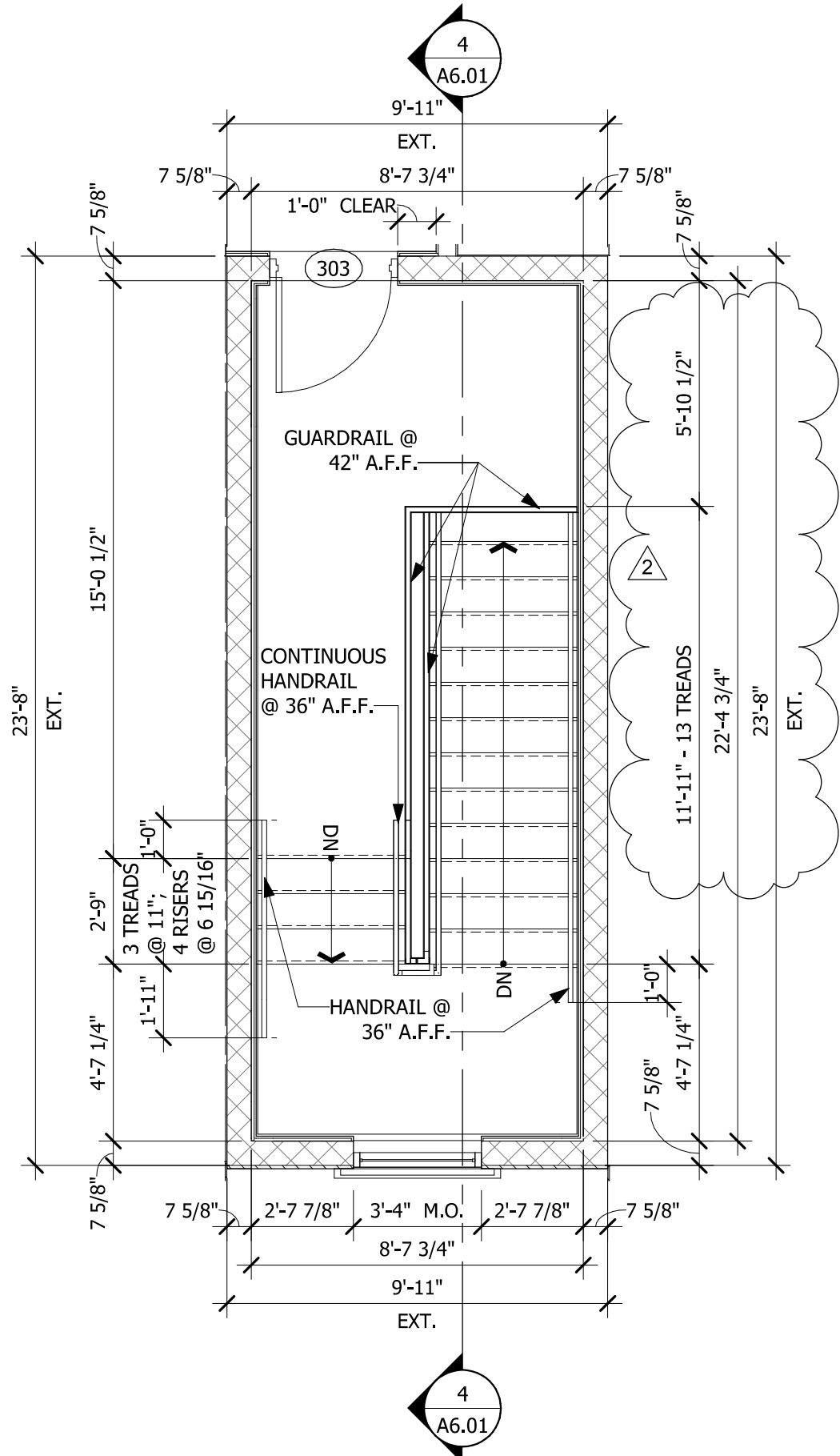
NOTE: STAIR #1 & #2 ARE MIRROR IMAGES. ENSURE THE STAIR FABRICATOR CREATES TWO SETS OF SHOP DRAWINGS FOR EACH STAIR.



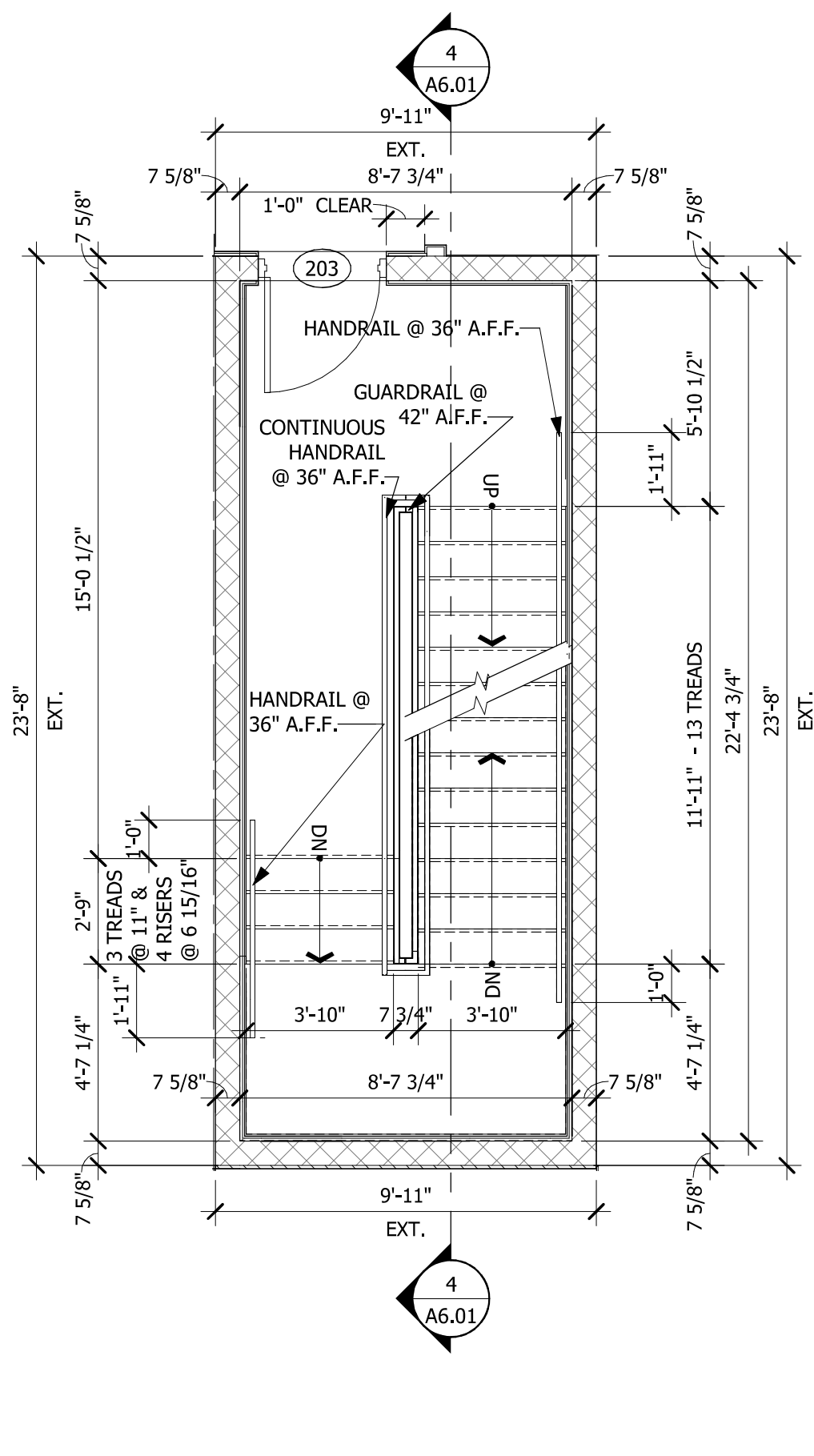
**8 ELEVATOR SHAFT PLAN**  
SCALE: 1/4" = 1'-0"



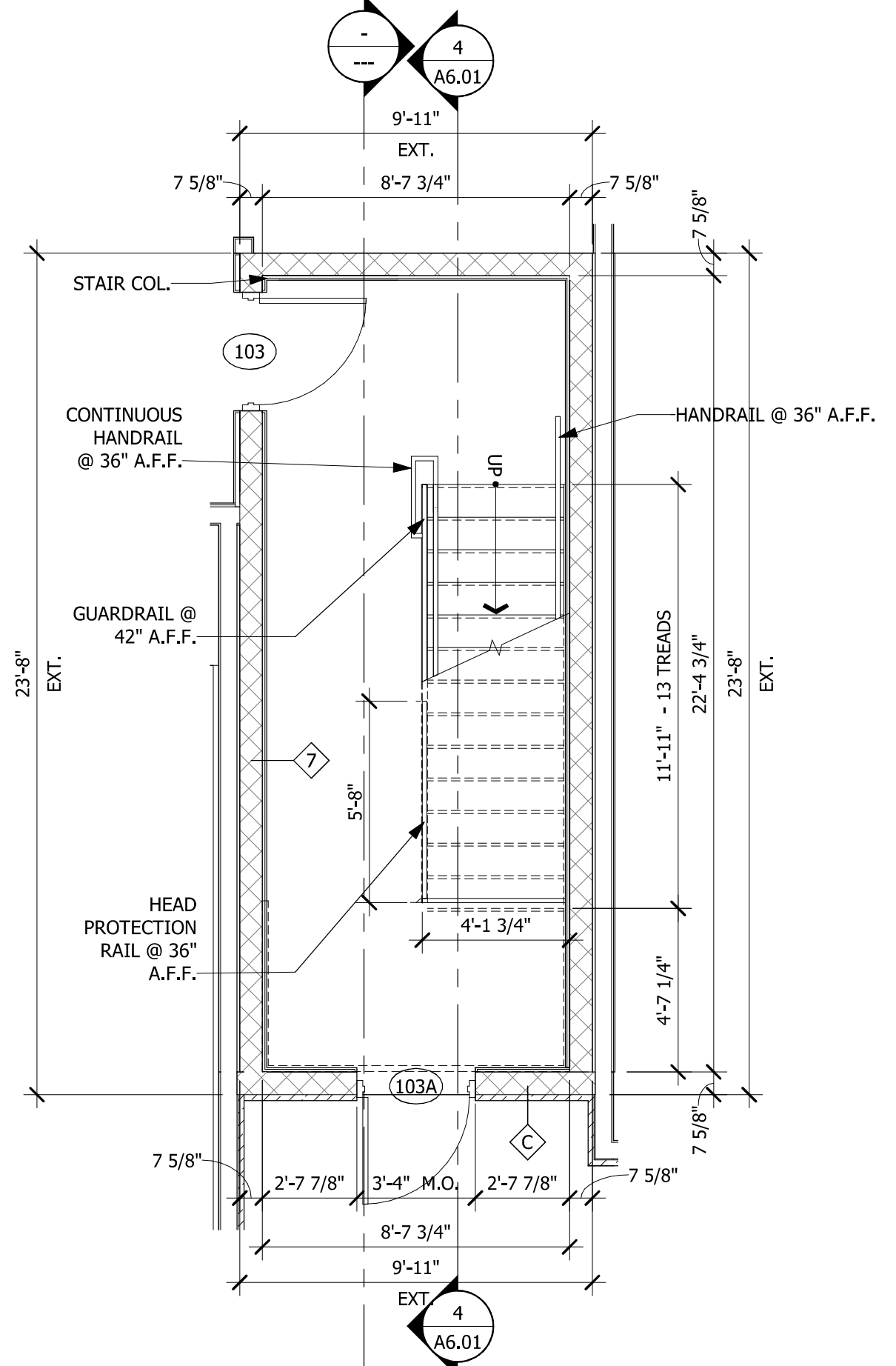
**7 ELEVATOR PIT PLAN**  
SCALE: 1/4" = 1'-0"



**3 THIRD FLOOR STAIR PLAN**  
SCALE: 1/4" = 1'-0"



**2 SECOND FLOOR STAIR PLAN**  
SCALE: 1/4" = 1'-0"



**1 FIRST FLOOR STAIR PLAN**  
SCALE: 1/4" = 1'-0"

- STAIR NOTES**
- STAIR TREADS SHALL BE 11" MIN. FROM NOSING TO NOSING
  - RISERS SHALL BE AS NOTED ON SECTIONS; MAX. 7" AND NOT LESS THAN 6".
  - ALL HANDRAILS SHALL BE 34" MIN. A.F.F. & 38" MAX. A.F.F.
  - ALL HANDRAIL GRIP SIZES SHALL BE BETWEEN 1 1/4" & 2".
  - ALL BALLUSTERS SHALL BE CONSTRUCTED TO NOT ALLOW A 4" SPHERE TO PASS THROUGH.

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**THE MARTIN ARCHITECTURAL GROUP, ARCHITECTS AND PLANNERS**  
A PROFESSIONAL CORPORATION  
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103  
P (215) 665-1080 F (215) 561-5064

P.A.I.: DANIEL MCCAULEY  
P.M.: JULIAN DELGADO  
DRAWN BY: TT  
PROJECT NO: 1826-05

NO.	REVISION	DATE
1	PERMIT SET	06/02/2022
2	ELEVATOR & STAIR SUBMITTAL	08/17/2022

ISSUED FOR CONSTRUCTION THROUGH REV. x MM-DD-YYYY

**STAIR PLANS & SECTIONS**  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

SCALE: AS NOTED  
DATE: 12/31/2017

Building #3

**A6.01**  
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DANIEL MCCAULEY  
21A0072600  
Professional Architect  
NJ License Number:

Professional Architect  
NJ License Number:

Professional Architect  
NJ License Number:

Professional Architect  
NJ License Number:

Professional Architect  
NJ License Number:

Professional Architect  
NJ License Number:

Professional Architect  
NJ License Number:

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NJ License Number:

Professional Architect  
NJ License Number:

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**GENERAL NOTES**

- ALL DIMENSIONS ARE TO ROUGH FRAMING UNLESS NOTED OTHERWISE
- ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHOULD BE 2x6 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
- ALL OTHER WALLS SHOULD BE 2x4 STUDS AT 16"o.c. UNLESS NOTED OTHERWISE
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHOULD BE PRESSURE TREATED
- REFER TO STRUCTURAL DRAWINGS FOR ALL FRAMING AND FOUNDATION CONSTRUCTION
- WHERE PRESSURE TREATED LUMBER IS USED ALL FASTENERS SHOULD BE HOT DIPPED GALVANIZED OR STAINLESS STEEL
- AT RATED SEPARATION WALLS ALL SILLS AND PLATES SHOULD BE SEALED WITH APPROVED FIRE RATED FOAM/CAULK
- WHERE DRAWINGS CONFLICT WITH OTHER DRAWINGS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO BEGINNING AFFECTED WORK
- ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES ARE TO BE FIRESTOPPED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS

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DANIEL MCCAULEY  
2.10.07.2600

Professional Architect:  
NJ License Number:

**THE MARTIN ARCHITECTURAL GROUP,**  
ARCHITECTS AND PLANNERS  
A PROFESSIONAL CORPORATION  
240 NORTH 22ND STREET, PHILADELPHIA, PA, 19103  
P (215) 665-1080 F (215) 561-5064

P.A.: DANIEL MCCAULEY  
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NO.	REVISION	DATE
01	PERMIT SET	08/20/22

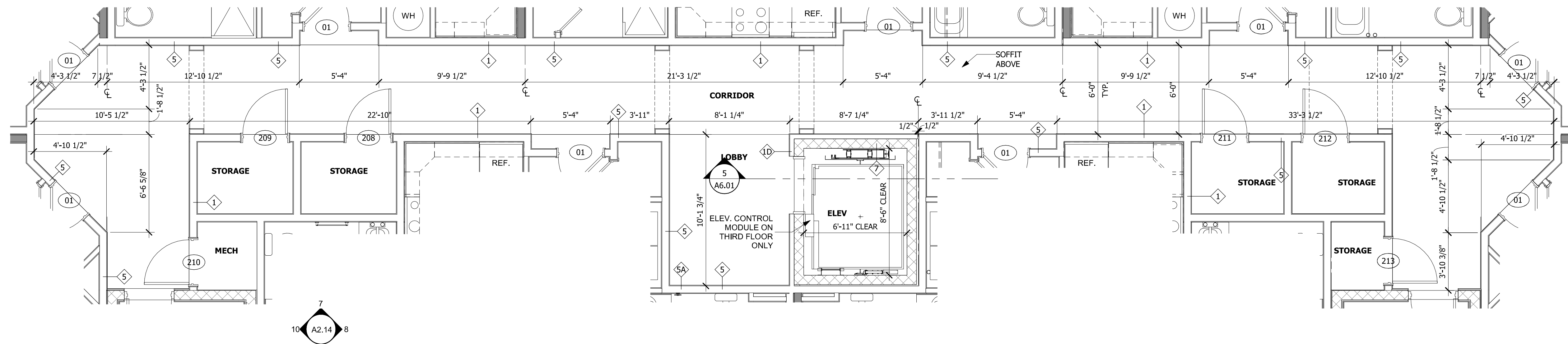
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COMMON AREA PLANS  
**RAVEN'S NEST - APARTMENTS**  
Building #3  
Gateway Township, NJ 08205

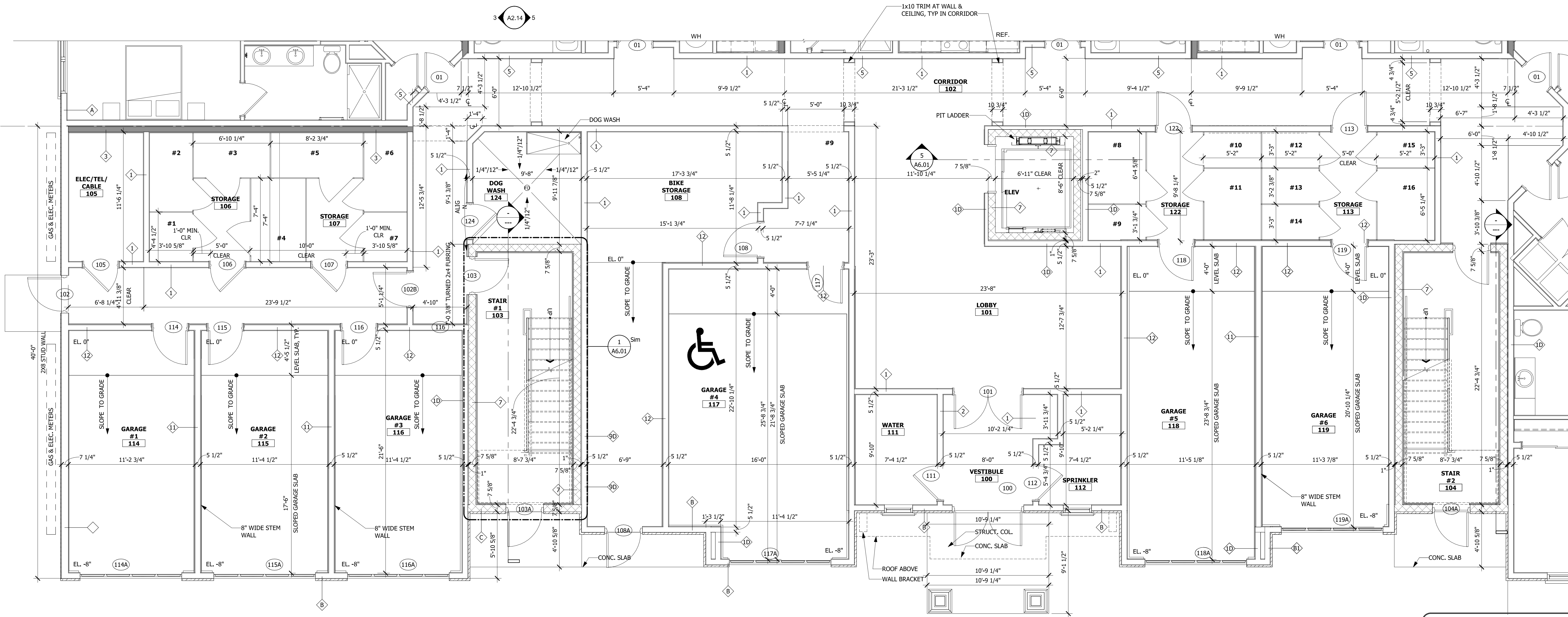
SCALE: AS NOTED  
DATE: 12/31/2017

Building #3

**A6.03**  
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**2 PARTIAL SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**1 PARTIAL FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

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