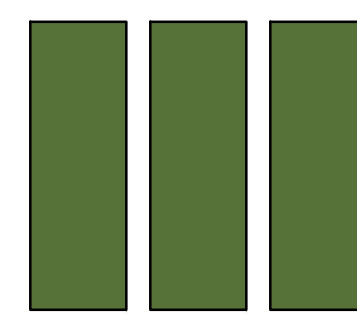




BAINBRIDGE MARKET COMMONS - CLUBHOUSE

Frederick, MD



THE MARTIN ARCHITECTURAL GROUP, P.C.

Philadelphia, Pennsylvania

ISSUED FOR CONSTRUCTION SET

08/06/2021

NO.	REVISION	DATE
0	ISSUED FOR CONSTRUCTION SET	08/06/2021

THE BAINBRIDGE COMPANIES LLC
BAINBRIDGE MARKET COMMONS
FREDERICK, MD

1932-01
CONSTRUCTION SET
08/06/2021

NOT FOR CONSTRUCTION

OWNER: The Bainbridge Companies 7550 Wisconsin Avenue Suite 250 Bethesda, Maryland 20814 (301) 222-0060	ARCHITECT: THE MARTIN ARCHITECTURAL GROUP, P.C. 240 N. 22nd Street Philadelphia, Pennsylvania 19103 (215) 665-1080	STRUCTURAL ENGINEER: AES 238 N. 22nd Street Philadelphia, Pennsylvania 19103 (215) 665-8570	MECHANICAL ENGINEER: SCOT ENGINEERING PROPERTIES 8600 Running Fox Court Fairfax Station, Virginia 22039 (703) 283-2021	CIVIL ENGINEER: PIEDMONT DESIGN GROUP 5238 Corporate Drive Suite 300 Fredrick, Maryland 21703 (301) 695-6614	LANDSCAPE ARCHITECT: KIMLEY-HORN 1801 Porter Street Suite 401 Baltimore, Maryland 21230 (443) 743-4364	INTERIOR DESIGNER: STUDIO 5 INTERIORS, INC. 3155 North Point Parkway Suite D-130 Alpharetta, Georgia 30005 (770) 360-0090
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ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION

240 NORTH 22ND STREET PHILADELPHIA, PA. 19103
P (215) 665-1080 F (215) 361-5064

P.A.: JMR
P.M.: JOD
DRAWN BY: TT
PROJECT NO.: 1932-01

DATE	REVISION	ISSUED FOR CONSTRUCTION SET
08/05/2021	0	

LIFESAFETY PLAN
BAINBRIDGE MARKET COMMONS
FREDERICK, MD

THE BAINBRIDGE COMPANIES LLC
NOT FOR CONSTRUCTION

SCALE: AS NOTED
DATE: 10-02-2020

CLUBHOUSE
A1.01

LIFE SAFETY SCHEDULE

- ⊗ EMERGENCY EXIT SIGN
- ⊕ EMERGENCY WALL LIGHT
- ☑ EMERGENCY RECESSED LIGHT
- ⊕ WALL MOUNTED FIXTURE W/ EMERGENCY BACKUP
- ☑ CEILING MOUNTED FIXTURE W/ EMERGENCY BACKUP
- ⊕ FIRE EXTINGUISHER CABINET SEMI - RECESSED
- ⊕ FIRE EXTINGUISHER

FIRE EMERGENCY LIGHTING SELECTIONS SHALL BE BY OWNER'S LIGHTING CONSULTANT OR INTERIOR DESIGNER. INSTALL AS PER MANUF. SPECIFICATIONS AND ALL CODE REQUIREMENTS

FLOOR AREA

CLUB HOUSE AREA
11,281 GSF

NOTE: NUMBERS INDICATED ARE IN SQUARE FEET U.N.O.

FIRE EXTINGUISHERS

- ALL EXTINGUISHERS (EXCEPT KITCHEN) SHALL BE MULTIPLE-USE DRY CHEMICAL EXTINGUISHERS, CONTAINING AMMONIUM PHOSPHATE BASE AGENT.
- ALL CABINETS SHALL BE LARSEN'S ROTA SERIES MODEL NO. R-3409 SEMI-RECESSED CABINET OR EQUAL.
- ALL CABINETS TO BE WATER PROOF.
- ALL EXTINGUISHERS SHALL BE IN COMPLIANCE WITH NFPA 10 STANDARD FOR PORTABLE FIRE EXTINGUISHERS.
- GENERAL FIRE EXTINGUISHERS PROVIDE 4-A: 20-B.C.
- FIRE EXTINGUISHERS SHALL BE LOCATED AS REQUIRED BY SECTION 906 INTERNATIONAL FIRE CODE 2012
- PROVIDE PORTABLE FIRE EXTINGUISHER IN ACCORDANCE WITH SECTION 1415- INTERNATIONAL FIRE CODE 2012

NOTES:

- THE INTENT OF THIS PLAN IS TO INDICATE OCCUPANCY AND INTENDED EGRESS THROUGH EXITS. SEE ELECTRICAL PLANS TO CONFIRM LOCATION OF EMERGENCY EXITS AND LIGHTING.
- ENTIRE BUILDING TO BE EQUIPPED WITH AUTOMATIC SPRINKLERS: NFPA 13
- ALL SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACK-UP
- REFER TO SPRINKLER DRAWINGS FOR GENERAL SPRINKLER LAYOUT. SPRINKLER SYSTEM DESIGN AND INSTALLATION TO BE DONE BY SPRINKLER CONTRACTOR

EGRESS OCCUPANCY CALCULATIONS (AS PER IBC 2015 CHAP. 10 - 1004.1-1004.6)

Building Occupancy	SQ. FT.	MULTIPLIER	LOAD
ROOM			
CLUB ROOM	1,077	1 PER 15 NET SQ.FT.	72
CYBER CAFE	1,227	1 PER 15 NET SQ.FT.	82
CO-WORK	684	1 PER 15 NET SQ.FT.	46
CONF. #1	110	1 PER 15 NET SQ.FT.**	4
CONF. #2	110	1 PER 15 NET SQ.FT.**	4
DAY OFFICE #1	65	1 PER 100 GROSS SQ.FT.	1
DAY OFFICE #2	48	1 PER 100 GROSS SQ.FT.	1
OUTDOOR CLUBROOM	1,513	1 PER 15 NET SQ.FT.	101
PET SPA	142	1 PER 50 GROSS SQ.FT.	3
FITNESS W/ EQUIP.	1,812	1 PER 50 GROSS SQ.FT.	36
JANITOR	84	1 PER 300 GROSS SQ.FT.	1
YOGA - FLEX ROOM	236	1 PER 7 NET SQ. FT.	34
MAIL ROOM	355	1 PER 15 NET SQ. FT.	24
MECH/AV	158	1 PER 300 GROSS SQ.FT.	1
PACKAGE ROOM	247	1 PER 300 GROSS SQ.FT.	1
POOL EQUIPMENT	164	1 PER 300 GROSS SQ.FT.	1
L. OFFICE #1	162	1 PER 100 GROSS SQ.FT.	2
L. OFFICE #2	165	1 PER 100 GROSS SQ.FT.	2
LEASING	502	1 PER 100 GROSS SQ.FT.	5
EAT-IN KITCHEN	303	1 PER 15 NET SQ. FT.**	10
UNISEX RESTROOM	46	N/A	N/A
LIFEGUARD	44	N/A	N/A
STORAGE	34	N/A	N/A
EXTERIOR FOYER	569	N/A	N/A
CORRIDOR	324	N/A	N/A
RESTROOMS	797	N/A	N/A
TOTAL GROSS & NET AREAS	10,978		428

**DENOTES ACTUAL USE (DESIGN OCCUPANCY LOAD)

EGRESS OCCUPANCY CALCULATIONS (PER MD COMAR POOLS & SPACES 10.017.01.19)

Pool Occupancy	SQ. FT.	MULTIPLIER	LOAD
ROOM			
POOL	1,620	1 PER 12 NET SQ.FT. OF WATER SURFACE	135
GATED DECK	5,521	1 PER 12 NET SQ.FT. OF WATER SURFACE	135
SITTING AREA	1,248	1 PER 15 NET SQ.FT.	83
TOTAL	8,389		353

FIXTURE CALCULATIONS (AS PER IPC 2015 CHAP. 4 - 403.1)

OCCUPANCY PER M/W	MEN'S			WOMEN'S			FOUNTAINS	SERVICE SINK
	WC	URINAL	LAV.	WC	LAV.	LAV.		
(A-3) CLUBHOUSE	1 per 125	< 67% WC	1 per 200	1 per 65	1 per 200	1 per 200	1 per 1000	
Occupancy /2	2		2	4	2	2		
(A-3) POOL & DECK	1 per 125		1 per 200	1 per 65	1 per 200			
All Buildings w/1 500' of Pool Gate	0	0	0	0	0			
TOTAL REQUIRED per M/W	214	2	2	4	2	1	1	
Provided by Men/Women Rms	3	2	3	5	3			
Share Unisex Restroom	1		1	1	1			
TOTAL PROVIDED per M/W	4	2	4	6	4	1	1	

CODE OF MARYLAND REGULATIONS
10.17.01
PUBLIC SWIMMING POOLS AND SPAS

10.17.01.35 DEPARTMENT OF HEALTH AND MENTAL HYGIENE

35 Toilet, Hand Sink, and Shower Facilities.

A. Except as provided in §B of this regulation, an owner shall ensure that a recreational pool, semipublic pool, or public spa has:

- (1) A bathroom, toilets, hand sinks, and showers within 100 feet of an entrance gate to the pool or spa in accordance with the American National Standard for Public Swimming Pools (ANSI/NSP-1 1991), Articles 17.1 - 17.8.11, which is incorporated by reference in Regulation .04A of this chapter;
- (2) At least a minimum number of toilets, hand sinks, and showers based on:
 - (a) The maximum user load of the pool or spa set forth in Regulation .19 of this chapter;
 - (b) Fixture ratios set forth in §A(1) of this regulation; and
 - (c) State and local building codes;
- (3) 50 percent of the required fixtures designated for use by each sex, unless the pool or spa is for one sex only; and
- (4) At least 50 percent of the required showers located within a bathroom.

B. An owner is not required to provide toilet, hand sink, and shower facilities at a recreational pool, semi-public pool, or public spa when bathers have access to equivalent facilities in:

- (1) Living quarters not more than 500 feet from a pool or spa entrance; or
- (2) A building or buildings not more than 500 feet from a pool or spa entrance.

C. An owner shall ensure that equivalent facilities used by recreational pool, semipublic pool, or public spa bathers and patrons of a recreational center, health club, marina, or other facility are in compliance with:

- (1) §A of this regulation; and
- (2) State or local plumbing codes regarding fixtures and dressing area for the patrons sharing the equivalent facilities.

36 Antiscald Protection for Showers.

An owner of a recreational pool, semipublic pool, or public spa shall ensure that each shower has an approved pressure-balanced, antiscald device that limits the delivered water temperature to below 115 F.

990 Supp. 98

CODE OF MARYLAND REGULATIONS
10.17.01
PUBLIC SWIMMING POOLS AND SPAS

19 User Load.

A. The Secretary shall determine the user load, as defined in Regulation .05B(32) of this chapter, based on the following criteria:

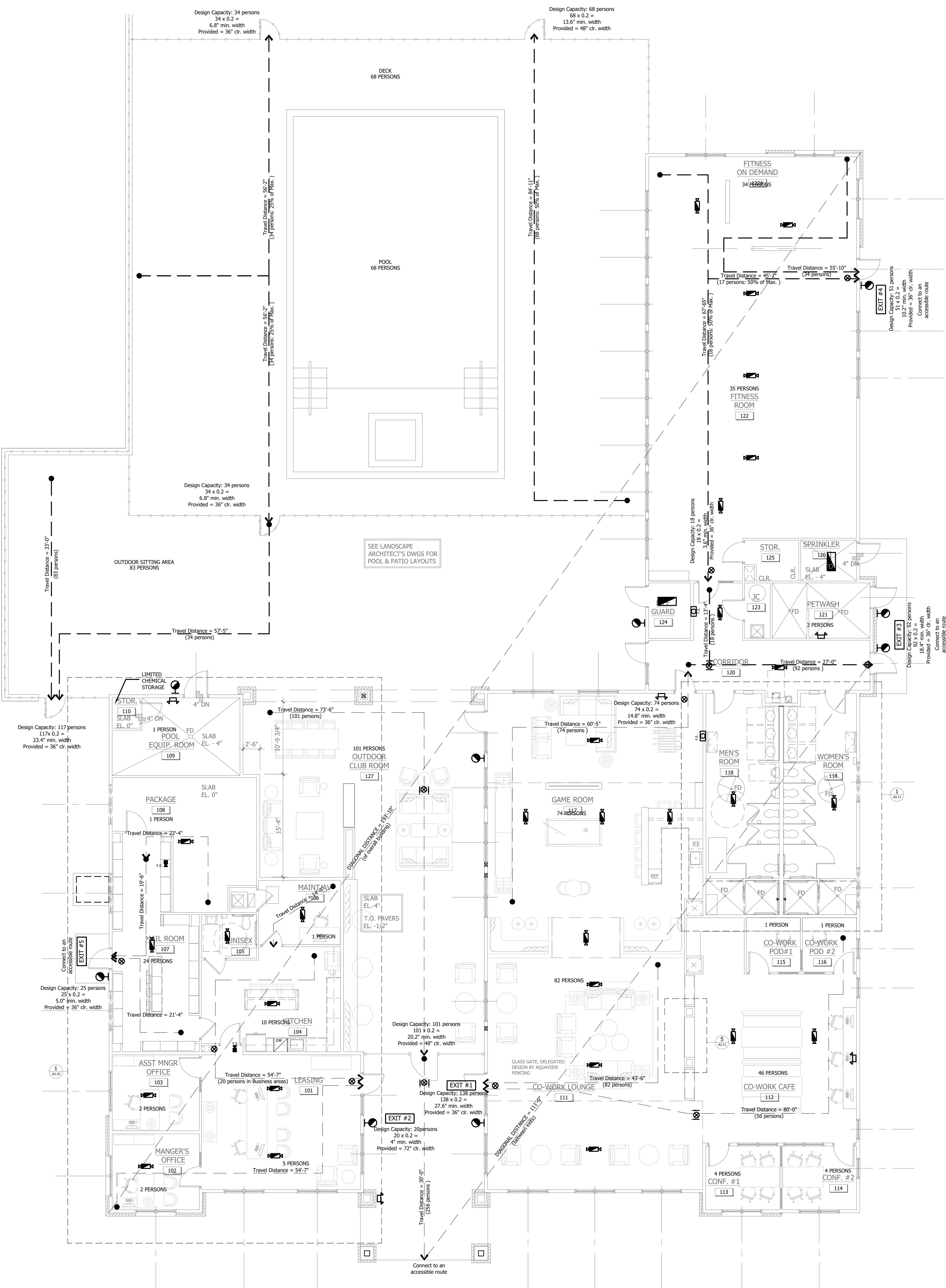
- (1) For a pool and its deck, one individual is allowed for:
 - (a) Every 12 square feet of water surface in shallow areas,
 - (b) Every 15 square feet of water surface in areas exceeding 5 feet of water depth, excluding a diving area, and
 - (c) The 300 square-foot diving area required for each diving board or diving platform;
- (2) For a spa, one individual is allowed for every 9 square feet of water surface; and
- (3) For a therapy pool, one individual is allowed for every:
 - (a) Therapy station, or
 - (b) 20 square feet of water surface, whichever is less.

Supp. 98 971

10.17.01.20 DEPARTMENT OF HEALTH AND MENTAL HYGIENE

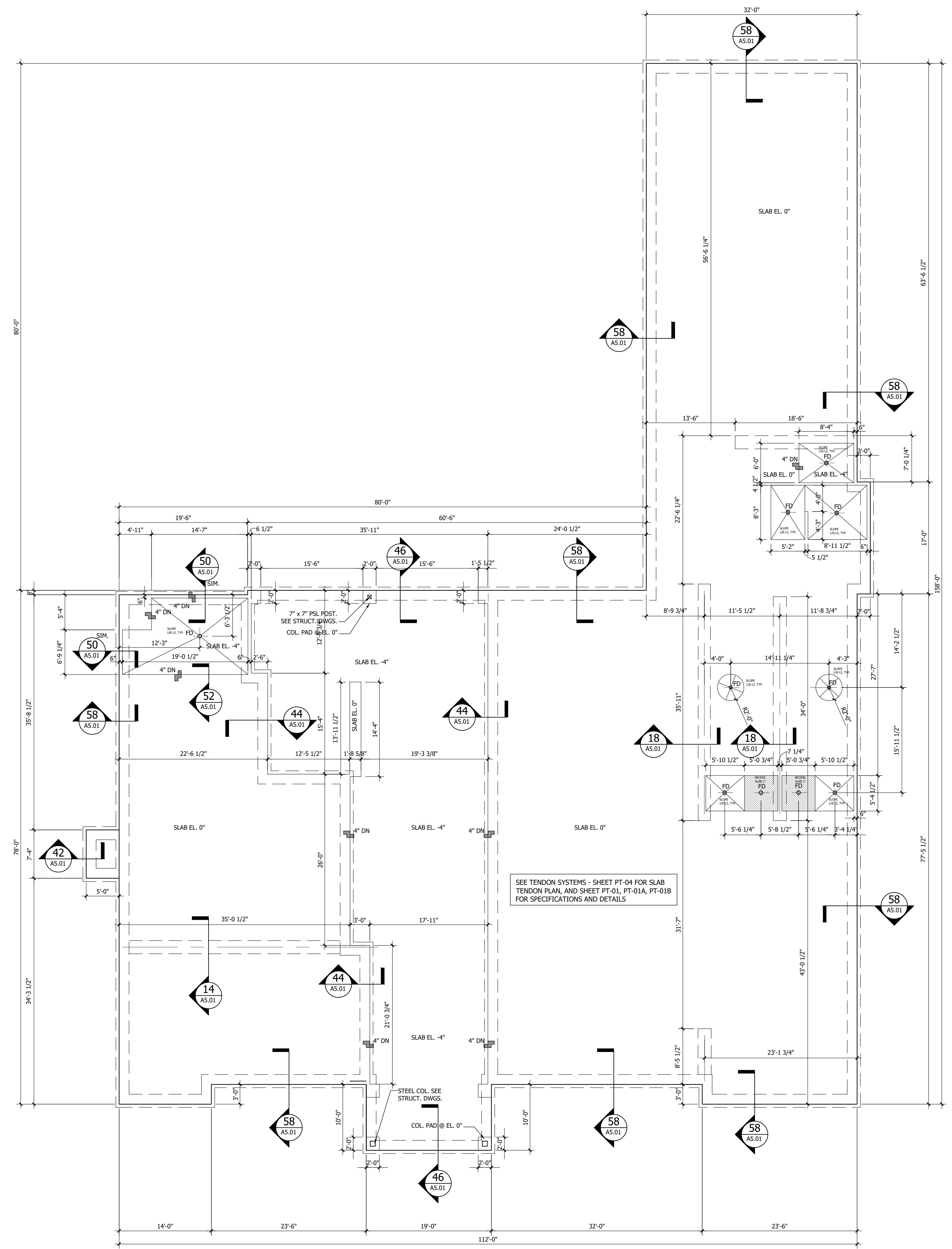
B. An owner shall ensure that the:

- (1) Number of individuals in a pool or spa and on the required deck area does not exceed the user load as set forth in §A of this regulation;
- (2) Number of individuals using an enclosed pool or spa area or a spectator area is in conformance with local fire code requirements; and
- (3) User load of a pool or spa is posted in a conspicuous place at the pool or spa.



1 LIFESAFETY PLAN
ELEV-01 SCALE: 1/8"=1'-0"

NO.	REVISION	DATE
0	ISSUED FOR CONSTRUCTION SET	08/05/2021



1 FOUNDATION PLAN
 PLN-FD SCALE: 1/8"=1'-0"

DOOR / HARDWARE SCHEDULE - CLUBHOUSE

MARK	ROOM	DOOR			FRAME			REMARKS	
		DOOR TYPE	DOOR SIZE	DOOR THICK.	DOOR CONST.	FRAME TYPE	FRAME CONST.		
101	LEASING	B	3'-0" X 8'-0"	1 3/4"	MTL/GL	3	MTL	A	36" SIDELITE
102	OFFICE #1	B	3'-0" X 8'-0"	1 3/4"	WD/GL	2	MTL	B	24" SIDELITE
103	OFFICE #2	B	3'-0" X 8'-0"	1 3/4"	WD/GL	2	MTL	B	24" SIDELITE
104	KITCHEN	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
105	UNISEX RESTROOM	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
106	MECH/AV	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
106A	FURNACE	C	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
107	MAILROOM	B	3'-0" X 8'-0"	1 3/4"	MTL	1	MTL	C	PANIC HARDWARE
107A	MAILROOM	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
108	PACKAGE ROOM	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
109	POOL EQUIP.	A	3'-0" X 8'-0"	1 3/4"	EM	1	MTL	A/C	
110	POOL CHEM. STOR.	C	3'-0" X 8'-0"	1 3/4"	HM	1	MTL	B	
111	CYBER CAFE	B	3'-0" X 8'-0"	1 3/4"	MTL/GL	3	MTL	A	36" SIDELITE; PANIC HARDWARE
113	CONF. RM #1	B	3'-0" X 8'-0"	1 3/4"	WD/GL	1	MTL	B	
114	CONF. RM #2	B	3'-0" X 8'-0"	1 3/4"	WD/GL	1	MTL	B	
115	DAY OFFICE #1	B	3'-0" X 8'-0"	1 3/4"	WD/GL	1	MTL	B	
116	DAY OFFICE #2	B	3'-0" X 8'-0"	1 3/4"	WD/GL	1	MTL	B	
117	CLUB ROOM	A	3'-0" X 8'-0"	1 3/4"	MTL/GL	1	MTL	B	PANIC HARDWARE
117A	CLUB ROOM	B	3'-0" X 8'-0"	1 3/4"	MTL/GL	3	MTL	A	36" SIDELITE
118	MEN'S ROOM	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
119	WOMEN'S ROOM	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
120	CORRIDOR	A	3'-0" X 8'-0"	1 3/4"	MTL/GL	1	MTL	C	PANIC HARDWARE
120A	CORRIDOR	B	3'-0" X 8'-0"	1 3/4"	MTL/GL	3	MTL	A/C	36" SIDELITE; NO PANIC HARDWARE
121	PET WASH	B	3'-0" X 8'-0"	1 3/4"	MTL/GL	1	MTL	C	PANIC HARDWARE
122	FITNESS ROOM	B	3'-0" X 8'-0"	1 3/4"	MTL/GL	1	MTL	B	24" SIDELITE; PANIC HARDWARE
122A	FITNESS ROOM	A	3'-0" X 8'-0"	1 3/4"	EM	1	MTL	A/C	PANIC HARDWARE; EMERGENCY EGRESS ONLY; ALARMED
123	JANITOR CLOSET	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
124	LIFE GUARD	A	3'-0" X 8'-0"	1 3/4"	EM	1	MTL	A/C	
125	STORAGE CLOSET	A	3'-0" X 8'-0"	1 3/4"	WD	1	MTL	B	
126	SPRINKLER	A	3'-0" X 8'-0"	1 3/4"	EM	1	MTL	A/C	

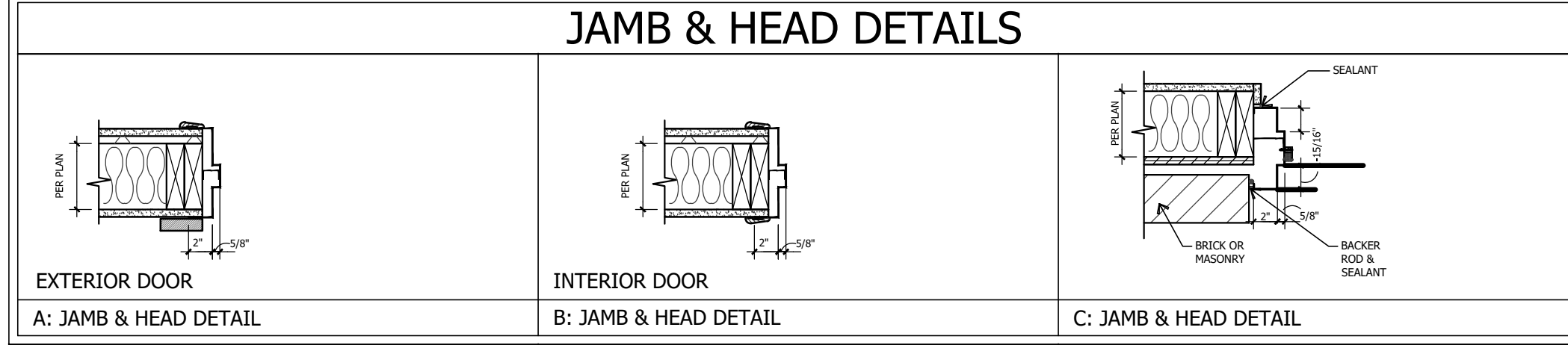
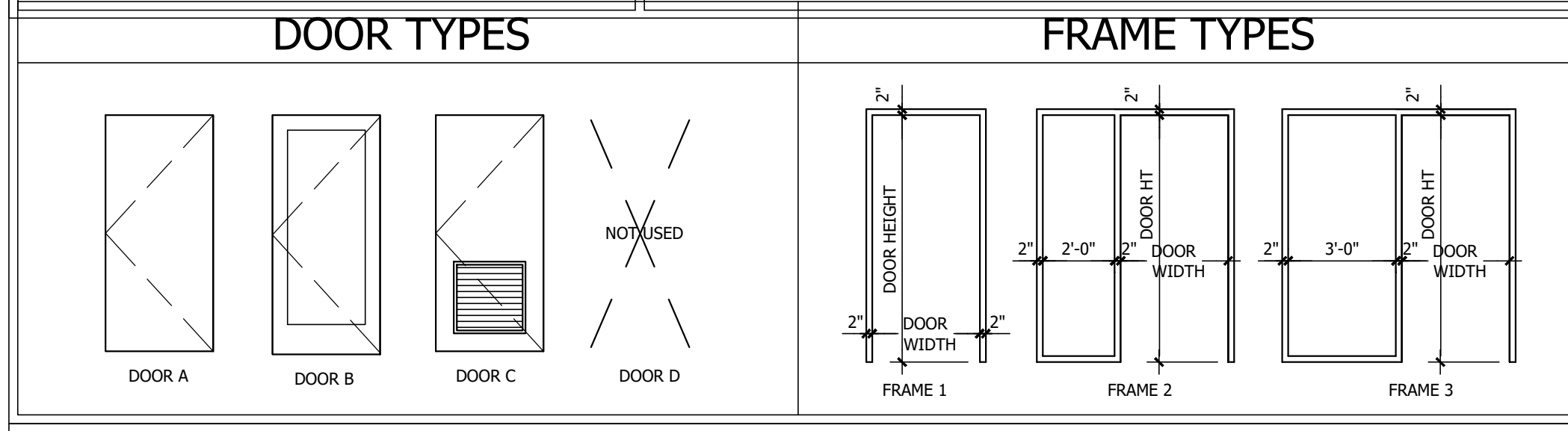
HARDWARE SETS

SEE PROJECT SPECIFICATIONS

DOOR CONSTRUCTION KEY		FRAME CONSTRUCTION KEY	
EM	EXTERIOR METAL	WD	WOOD
HM	HOLLOW METAL	MTL	METAL FRAME
SR	STILE AND RAIL (MTL OR WD.)	GL	GLASS

NOTES:

- ALL DOOR HARDWARE SHALL MEET ADA REQUIREMENTS, FOR DOOR HARDWARE AND OPERATION
- PACK OUT BEHIND DOOR TRIM (DUE TO HM JAMBS THAT WRAP G.W.B.)
- ADD PLINTH BLOCKS AT BASE OF DOORS AND CASED OPENINGS.
- PROVIDE 1x4 TRIM AT ALL DOORS AND CASED OPENINGS.

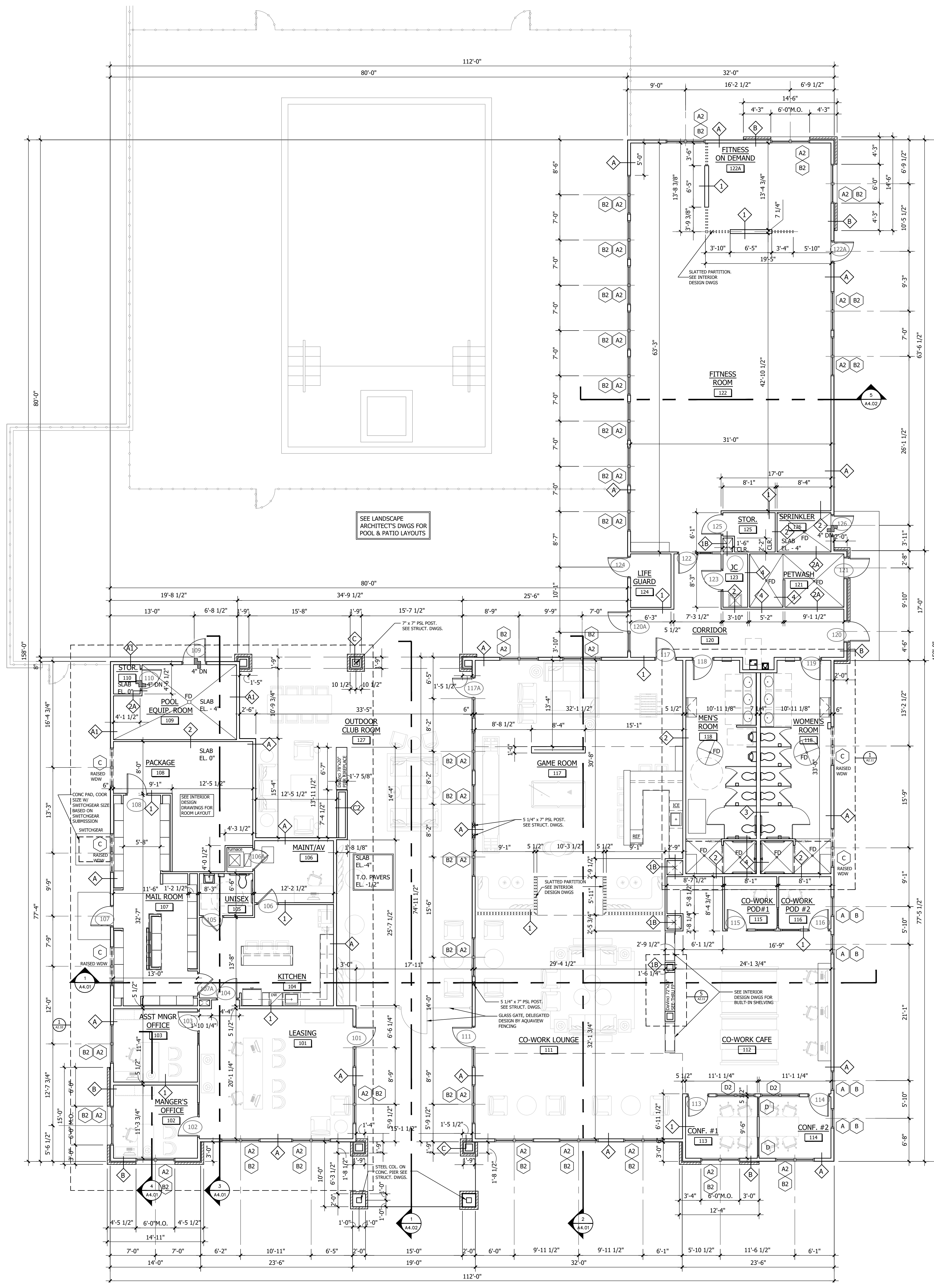
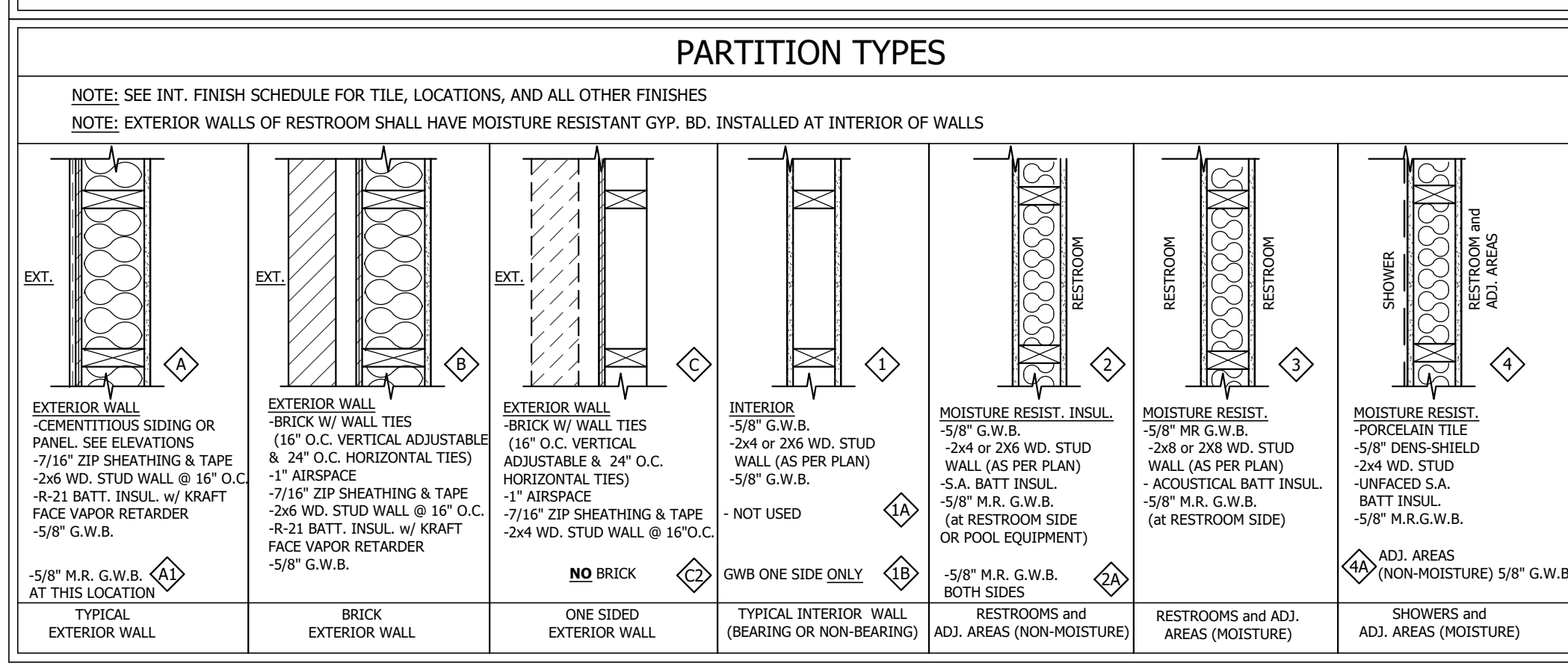
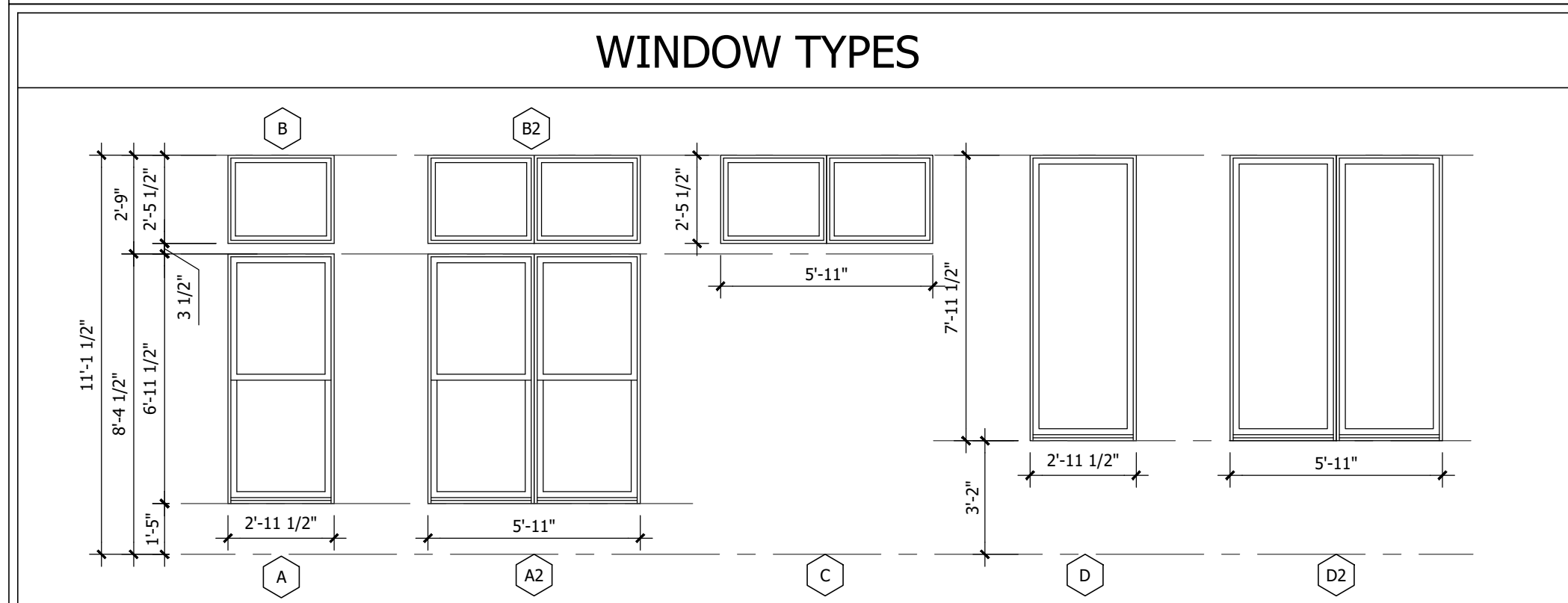


WINDOW SCHEDULE

MRK.	UNIT	ROUGH OPENING	NOMINAL WINDOW SIZE	TYPE	REMARKS
A	3070	PER MANUF.	3'-0" X 7'-0"	SH	
A2	6070	PER MANUF.	6'-0" X 7'-0"	SH	
B	3026	PER MANUF.	3'-0" X 7'-0"	SH	
B2	6026	PER MANUF.	6'-0" X 7'-0"	SH	
C	6026	PER MANUF.	6'-0" X 2'-6"	T	TRANSOM
D	3060	PER MANUF.	3'-0" X 6'-0"	F	CLERESTORY
D2	6060	PER MANUF.	6'-0" X 6'-0"	F	

MANUFACTURER: SEE PROJECT SPECS.
SERIES: SEE PROJECT SPECS.
WINDOW SIZE IS BASED ON ONE OF THE FOLLOWING UNLESS NOTED OTHERWISE:

WINDOW TYPE KEY	WINDOW SIZE	GLAZING	FRAME
A	ARCHED	□ A: GLASS SIZE	□ B: VINYL
AW	AWNING	□ B: SASH	□ C: WOOD
B	BASEMENT	□ C: UNIT DIMENSION	□ D: OTHER
CA	CASING		
DH	DOUBLE HUNG		
T	TRANSOM		
CL	CLERESTORY		
SC	SCREENS		
M	MUNTINS		



1 FLOOR PLAN
ELEV-01
SCALE: 1/8"=1'-0"

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FLOOR PLANS
BAINBRIDGE MARKET COMMONS
FREDERICK, MD

THE BAINBRIDGE COMPANIES LLC
NOT FOR CONSTRUCTION

SCALE: AS NOTED
DATE: 10-02-2020

CLUBHOUSE
A2.01

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GUTTER & DOWNSPOUTS

- GUTTER SIZING BASED ON A 6" WIDE "OGEE" STYLE DOWNSPOUT MOUNTED HORIZONTAL (LEVEL)
- DOWNSPOUTS BASED ON STANDARD 2 3/4"x4 1/4" CORRUGATED RECTANGLE DOWNSPOUTS.
- TIE BUILDING GUTTERS TO UNDERGROUND STORM SERVICE PER CIVIL ENGINEER.
- USE 6" Ø SCHEDULE 80 PIPE TO BELOW GRADE.
- USE PLASTIC TRANSITION BOOT TO TIE DOWNSPOUT TO BELOW GRADE PIPE.
- PROVIDE SPLASH GUARDS @ INSIDE GUTTER CONNERS.

NOTE: GUTTERS

CONTRACTOR SHALL CONSULT CIVIL ENGINEERS DRAWINGS FOR FINAL GRADE AND WALKWAY LOCATIONS TO AVOID DRAINAGE ONTO WALKWAYS AND/OR AGAINST THE BUILDING.

ROOF VENTILATION

AREA #1
 VENTED AREA: 8,668 S.F. / 300 = 28.86 S.F. * 144 = 4,155.84 sq.in.
 REQUIRED EXHAUST VENT 50%: 2,072.92 sq.in.
 PROVIDED VENT: 2,073 sq.in.
 (6) EXHAUST VENTS x 70 sq.in. ea. = 420 sq.in.
 62" Ø RIDGE VENT x 20 sq.in./lin ft = 1,453 sq.in.
 REQUIRED VENT @ SOFFIT 50%: 2,072.92 sq.in.
 PROVIDED VENT @ SOFFIT: 2,077 sq.in.
 329 SOFFIT VENT x 5 sq.in./lin ft = 1,645 sq.in.
 48" INTAKE VENT x 9 sq.in./lin ft = 432 sq.in.

AREA #2
 VENTED AREA: 2,565 S.F. / 300 = 8.55 S.F. * 144 = 1,231.2 sq.in.
 REQUIRED EXHAUST VENT 50%: 615.6 sq.in.
 PROVIDED VENT: 620 sq.in.
 31" Ø RIDGE VENT x 20 sq.in./lin ft = 620 sq.in.
 REQUIRED VENT @ SOFFIT 50%: 615.6 sq.in.
 PROVIDED VENT @ SOFFIT: 620 sq.in.
 124" SOFFIT VENT x 5 sq.in./lin ft = 620 sq.in.

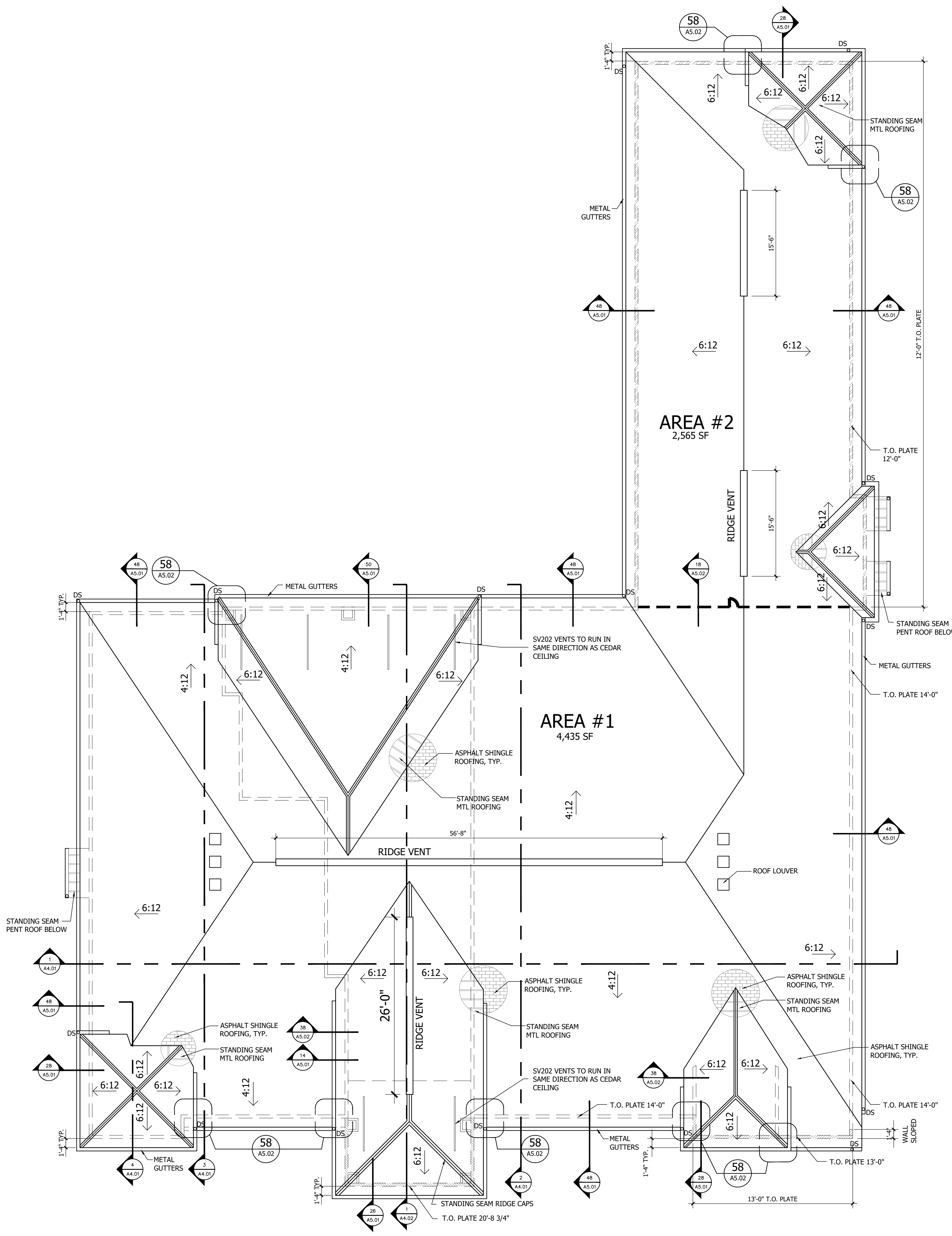
NOTES:
 VENT CALCULATIONS ARE BASED ON THE 2015 IBC SECTION 1203.2 EXCEPTION #2
 CONT. SOFFIT VENT IS BASED ON "JAMES HARDIE" SOFFIT VENT W/ A NET FREE AREA 5 SQ. IN. PER LIN. FOOT CONTINUOUS INTAKE VENT IS BASED ON "AIR VENT, INC." MODEL SV202 VENT W/ A NET FREE AREA 9 SQ. IN. PER UNIT (VENT IS 2" X 96") PTD. COLOR TBD.
 SLANT BACK VENT IS BASED ON "LOHMANCO, INC." MODEL NO. 770 WITH A NET FREE AREA OF 70 SQ. IN. PER UNIT RIDGE VENT IS BASED ON "COR-A-VENT" CAT. NO. V-600 WITH A NET FREE AREA OF 20 SQ. IN. PER LINEAR FEET.

NOTE: ROOF

COORDINATE PENETRATIONS WITH SHEATHING AT OVERFRAMED AREA.
 CONNECT DOWNSPOUTS TO DRAINAGE STRUCTURES DESIGNED BY CIVIL ENGINEER.
 PROVIDE ICE AND WATER SHIELD MEMBRANE AT EAVES, VALLEYS, AND ROOF PENETRATIONS.

NOTE: DRAFTSTOP

DRAFTSTOPPING IS NOT REQUIRED IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1.
 THE CLUBHOUSE AND ATTIC ARE SPRINKLERED PER NFPA 13 - DRAFTSTOPPING IS NOT REQUIRED UNLESS NOTED OTHERWISE.
 DRAFTSTOPPING SHOWN IS FOR CONTROL OF AIR FLOW TO RIDGE VENTS



1 ROOF PLAN
 ELEV-01
 SCALE: 1/8"=1'-0"

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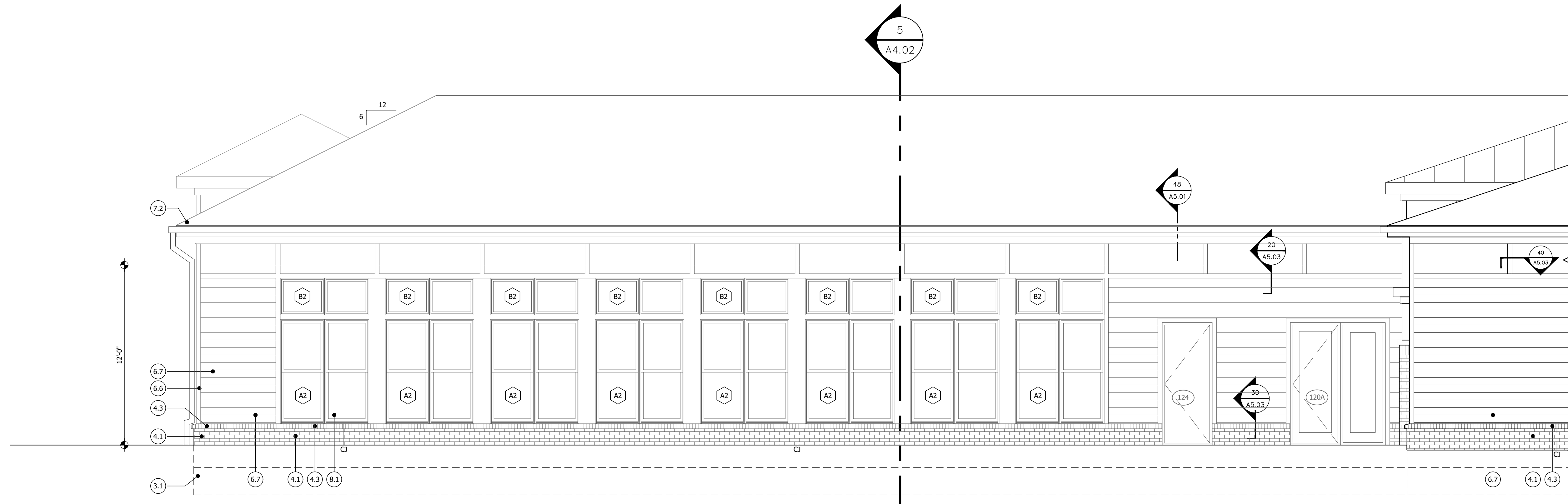
NO.	REVISION	ISSUED FOR CONSTRUCTION SET	DATE
0			08/05/2021

ROOF PLANS
BAINBRIDGE MARKET COMMONS
 FREDERICK, MD
 THE BAINBRIDGE COMPANIES LLC

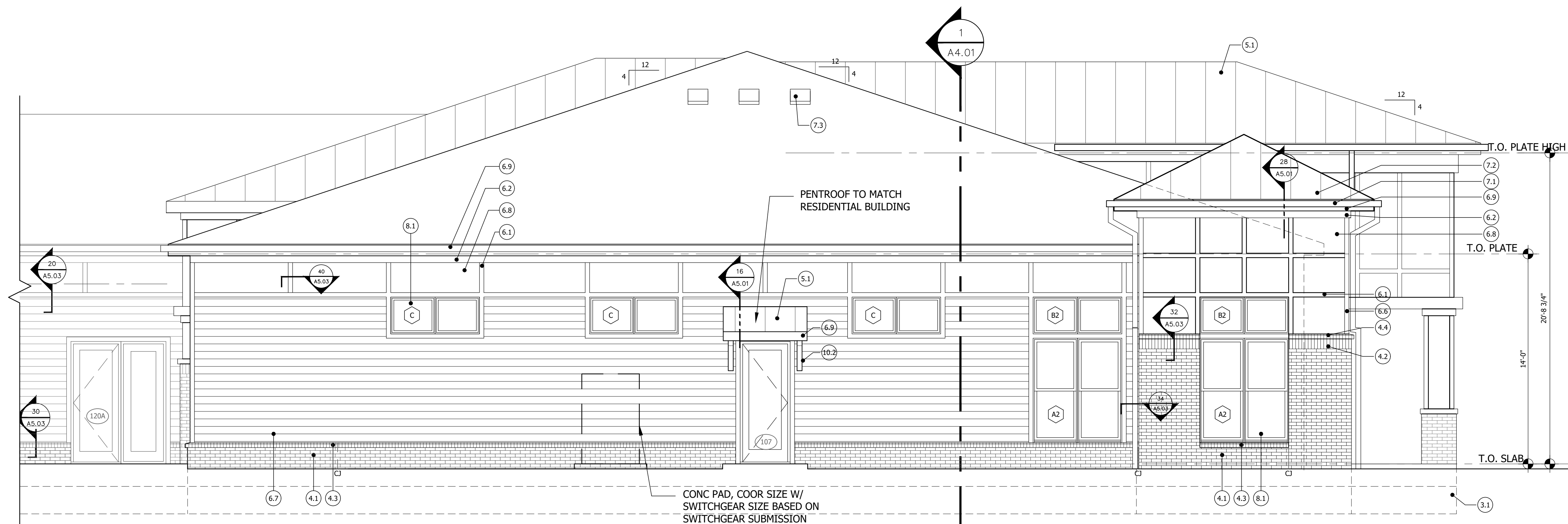
SCALE: AS NOTED
 DATE: 10-02-2020

CLUBHOUSE
A2.02

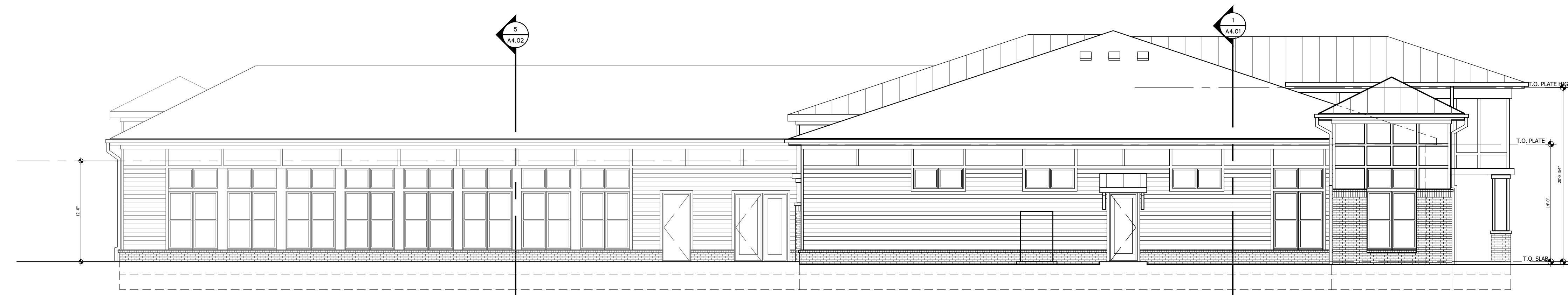
NOT FOR CONSTRUCTION



3 LEFT SIDE PARTIAL ELEVATION
ELEV-01 SCALE: 1/4"=1'-0"



2 LEFT SIDE PARTIAL ELEVATION
ELEV-01 SCALE: 1/4"=1'-0"



1 LEFT SIDE OVERALL ELEVATION
ELEV-01 SCALE: 1/8"=1'-0"

#.#	color	ELEVATION KEYNOTES:
3.0		CONCRETE:
3.1		CONCRETE FOOTING
3.2		CONC FOUNDATION WALL
3.4		CONC SLAB
4.0		MASONRY:
4.1		BRICK VENEER (RUNNING BOND)
4.2		8" SOLDER COURSE BAND (COLOR TBD)
4.3		ROWLOCK SILL
4.4		ROWLOCK CAP (COLOR TBD)
4.5		CONTROL JOINT IN VENEER
4.6		PRECAST CAP SEE DETAIL 34/A5.02
5.0		METALS:
5.1		STANDING SEAM METAL ROOF
5.2		BREAK METAL CAP
5.3		METAL GRILLE
6.0		WOOD AND PLASTICS:
6.1		5/4" x 4 CEMENTITIOUS BOARD TRIM
6.2		5/4" x 6 CEMENTITIOUS BOARD TRIM
6.3		5/4" x 8 CEMENTITIOUS BOARD TRIM
6.4		5/4" x 10 CEMENTITIOUS BOARD TRIM
6.5		5/4" x 12 CEMENTITIOUS BOARD TRIM
6.6		CEMENTITIOUS CORNER BOARD
6.7		CEMENTITIOUS SIDING (6" WIDE)
6.8		CEMENTITIOUS PANEL
6.9		4/4 x 10 CEMENTITIOUS FASCIA BOARD
6.10		4/4 x 8 CEMENTITIOUS FASCIA BOARD
7.0		THERMAL AND MOISTURE PROTECTION:
7.1		METAL GUTTER & DOWNSPOUT LOCATION (CONNECT TO STORMWATER MANAGEMENT SYSTEM)
7.2		ASPHALT SHINGLES
7.3		ROOF LOUVER
8.0		DOORS AND WINDOWS:
8.1		SINGLE HUNG VINYL WINDOW
8.2		ALUMINUM STOREFRONT
8.3		METAL DOOR
10.0		SPECIALTIES:
10.1		EXTERIOR WALL MOUNTED LIGHT FIXTURE
10.2		BRACKET

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ARCHITECTS AND LAND PLANNERS
A PROFESSIONAL CORPORATION
240 NORTH 22ND STREET PHILADELPHIA, PA. 19103
P (215) 665-1080 F (215) 561-5064

P.A.: JMR
P.M.: JOD
DRAWN BY: TT
PROJECT NO.: 1932-01

NO.	REVISION	DATE
0	ISSUED FOR CONSTRUCTION SET	08/05/2021

LEFT SIDE ELEVATION
BAINBRIDGE MARKET COMMONS
FREDERICK, MD
THE BAINBRIDGE COMPANIES LLC

SCALE: AS NOTED
DATE: 10-02-2020

CLUBHOUSE
A3.01

NOT FOR CONSTRUCTION

#.#	color	ELEVATION KEYNOTES:
3.0	CONCRETE:	
3.1		CONCRETE FOOTING
3.2		CONC FOUNDATION WALL
3.4		CONC SLAB
4.0	MASONRY:	
4.1		BRICK VENEER (RUNNING BOND)
4.2		8" SOLDER COURSE BAND (COLOR TBD)
4.3		ROWLOCK SILL
4.4		ROWLOCK CAP (COLOR TBD)
4.5		CONTROL JOINT IN VENEER
4.6		PRECAST CAP SEE DETAIL 34/A5.02
5.0	METALS:	
5.1		STANDING SEAM METAL ROOF
5.2		BREAK METAL CAP
5.3		METAL GRILLE
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6.1		5/4" x 4 CEMENTITIOUS BOARD TRIM
6.2		5/4" x 6 CEMENTITIOUS BOARD TRIM
6.3		5/4" x 8 CEMENTITIOUS BOARD TRIM
6.4		5/4" x 10 CEMENTITIOUS BOARD TRIM
6.5		5/4" x 12 CEMENTITIOUS BOARD TRIM
6.6		CEMENTITIOUS CORNER BOARD
6.7		CEMENTITIOUS SIDING (6" WIDE)
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7.3		ROOF LOUVER
8.0	DOORS AND WINDOWS:	
8.1		SINGLE HUNG VINYL WINDOW
8.2		ALUMINUM STOREFRONT
8.3		METAL DOOR
10.0	SPECIALTIES:	
10.1		EXTERIOR WALL MOUNTED LIGHT FIXTURE
10.2		BRACKET

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 ARCHITECTS AND LAND PLANNERS
 A PROFESSIONAL CORPORATION
 240 NORTH 22ND STREET PHILADELPHIA, PA. 19103
 P (215) 665-1080 F (215) 561-5064

P.A.: JMR
 P.M.: JOD
 DRAWN BY: TT
 PROJECT NO.: 1932-01

DATE	REVISION	ISSUED FOR CONSTRUCTION SET
08/05/2021	0	

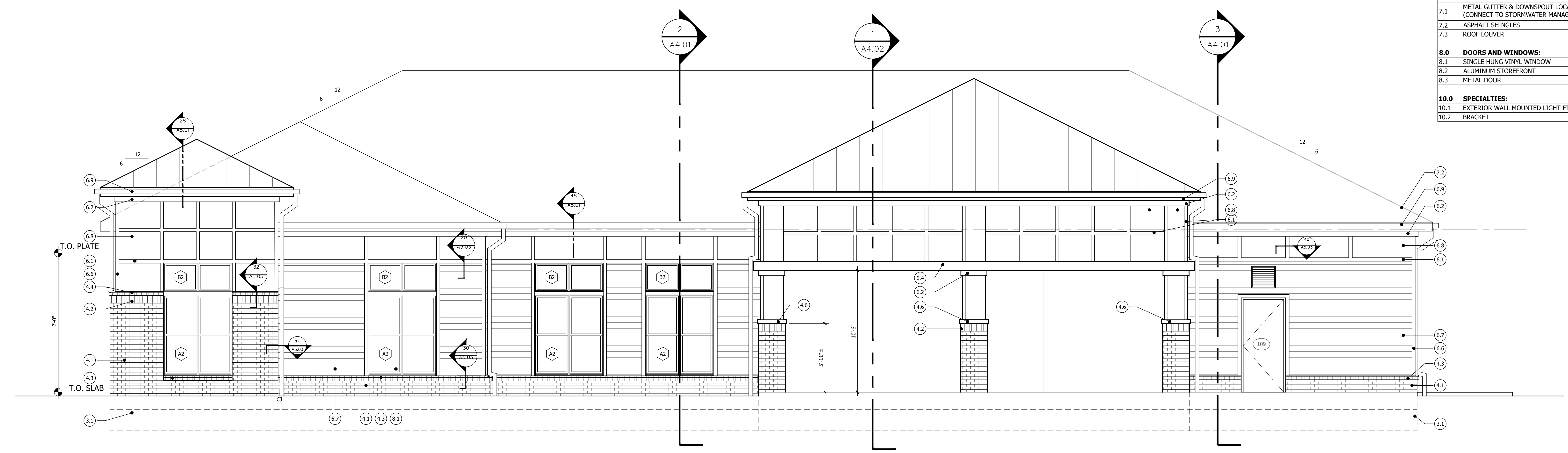
FRONT & REAR ELEVATIONS
BAINBRIDGE MARKET COMMONS
 FREDERICK, MD

THE BAINBRIDGE COMPANIES LLC
 NOT FOR CONSTRUCTION

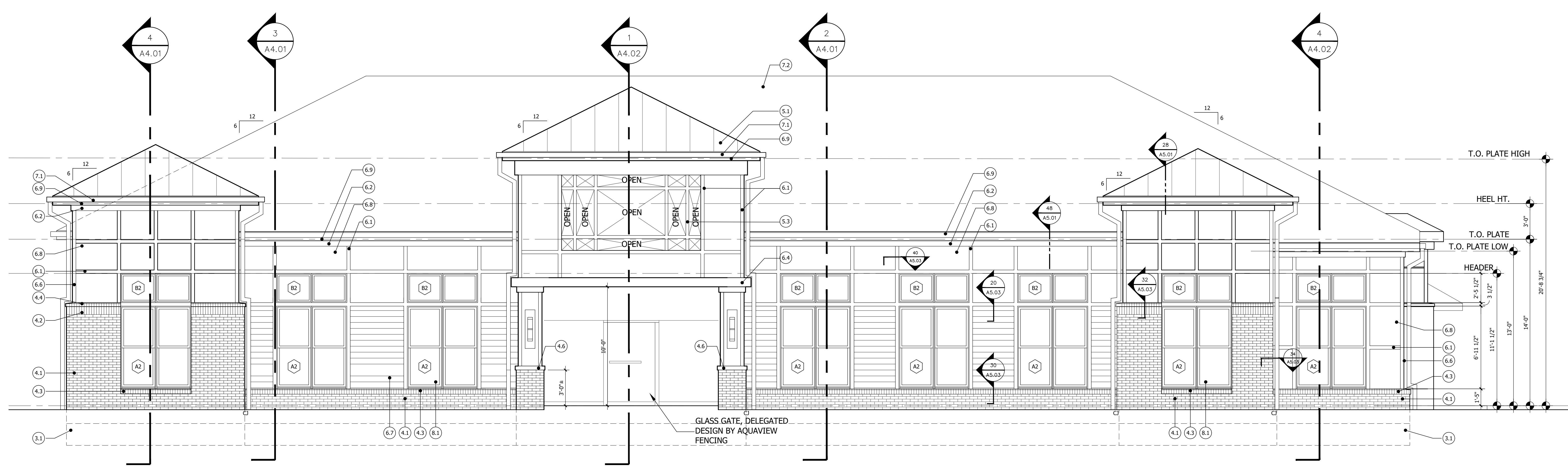
SCALE: AS NOTED
 DATE: 10-02-2020

CLUBHOUSE
A3.02

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2 REAR ELEVATION
 ELEV-01 SCALE: 1/4"=1'-0"

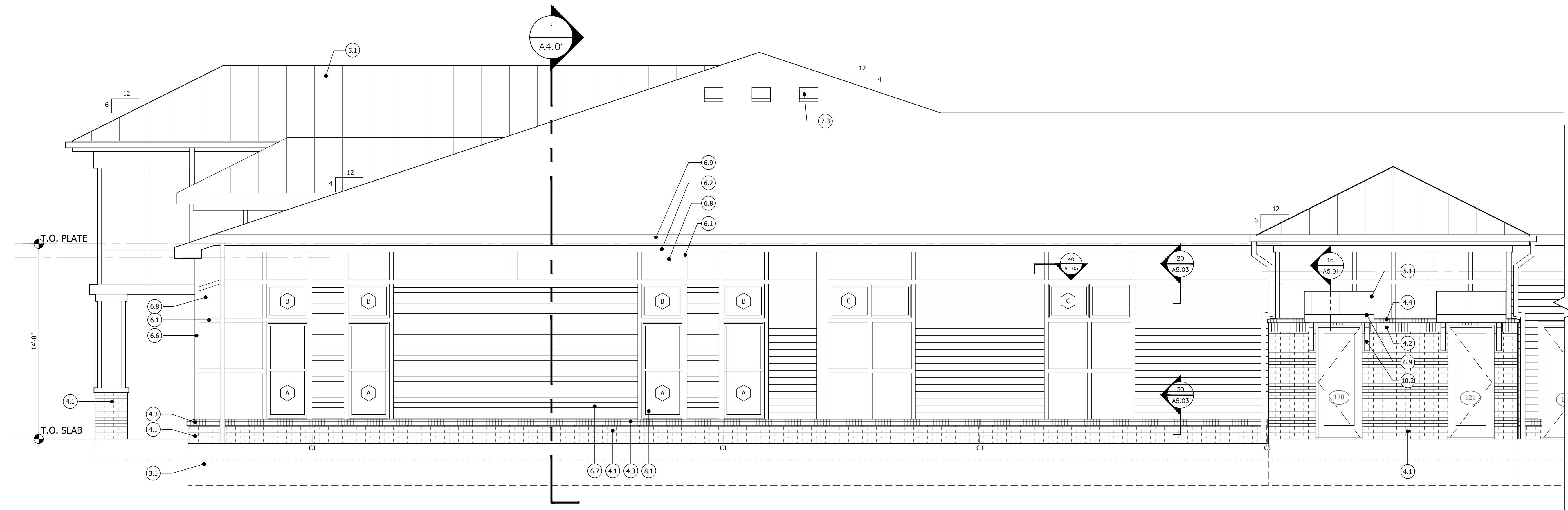


1 FRONT ELEVATION
 ELEV-01 SCALE: 1/4"=1'-0"

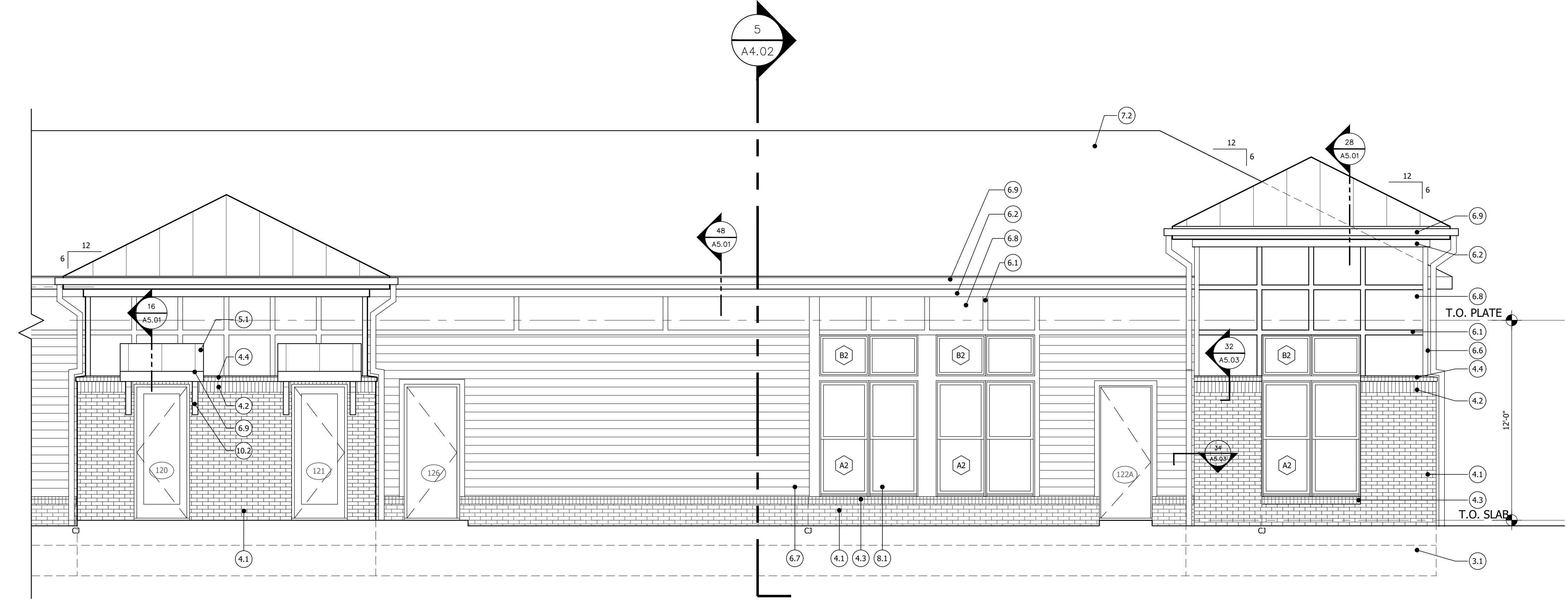
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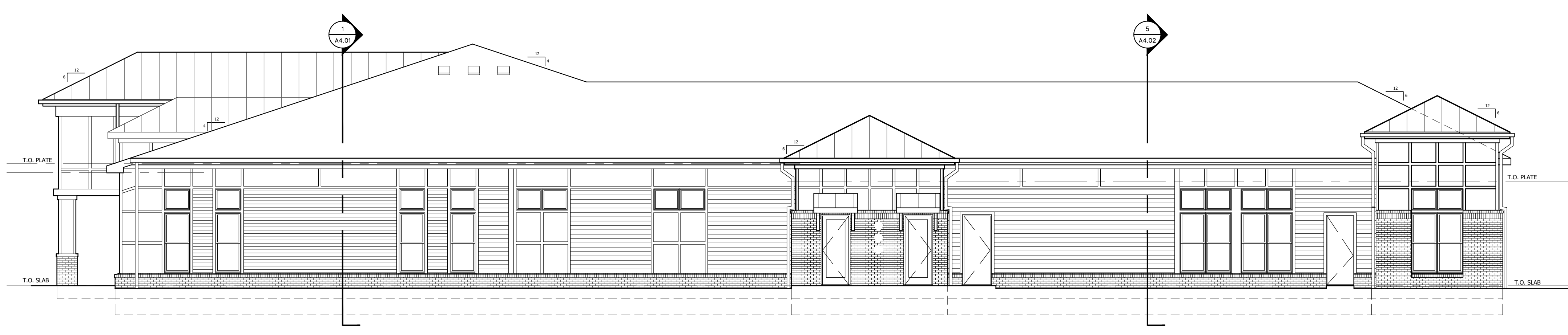
#.#	ELEVATION KEYNOTES:
3.0	CONCRETE:
3.1	CONCRETE FOOTING
3.2	CONC FOUNDATION WALL
3.4	CONC SLAB
4.0	MASONRY:
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7.3	ROOF LOUVER
8.0	DOORS AND WINDOWS:
8.1	SINGLE HUNG VINYL WINDOW
8.2	ALUMINUM STOREFRONT
8.3	METAL DOOR
10.0	SPECIALTIES:
10.1	EXTERIOR WALL MOUNTED LIGHT FIXTURE
10.2	BRACKET



3 RIGHT SIDE PARTIAL ELEVATION
ELEV-01 SCALE: 1/4"=1'-0"



2 RIGHT SIDE PARTIAL ELEVATION
ELEV-01 SCALE: 1/4"=1'-0"



1 RIGHT SIDE OVERALL ELEVATION
ELEV-01 SCALE: 1/8"=1'-0"

THE MARTIN ARCHITECTURAL GROUP, P.C.
ARCHITECTS AND LAND PLANNERS
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P (215) 665-1080 F (215) 561-5064

P.A.: JMR
P.M.: JOD
DRAWN BY: TT
PROJECT NO.: 1932-01

NO.	REVISION	DATE
0	ISSUED FOR CONSTRUCTION SET	08/05/2021

RIGHT SIDE ELEVATION
BAINBRIDGE MARKET COMMONS
FREDERICK, MD
THE BAINBRIDGE COMPANIES LLC

SCALE: AS NOTED
DATE: 10-02-2020

CLUBHOUSE
A3.03
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P.A.: JMR
 P.M.: JOD
 DRAWN BY: TT
 PROJECT NO.: 1932-01

NO.	REVISION	DATE
0	ISSUED FOR CONSTRUCTION SET	08/05/2021

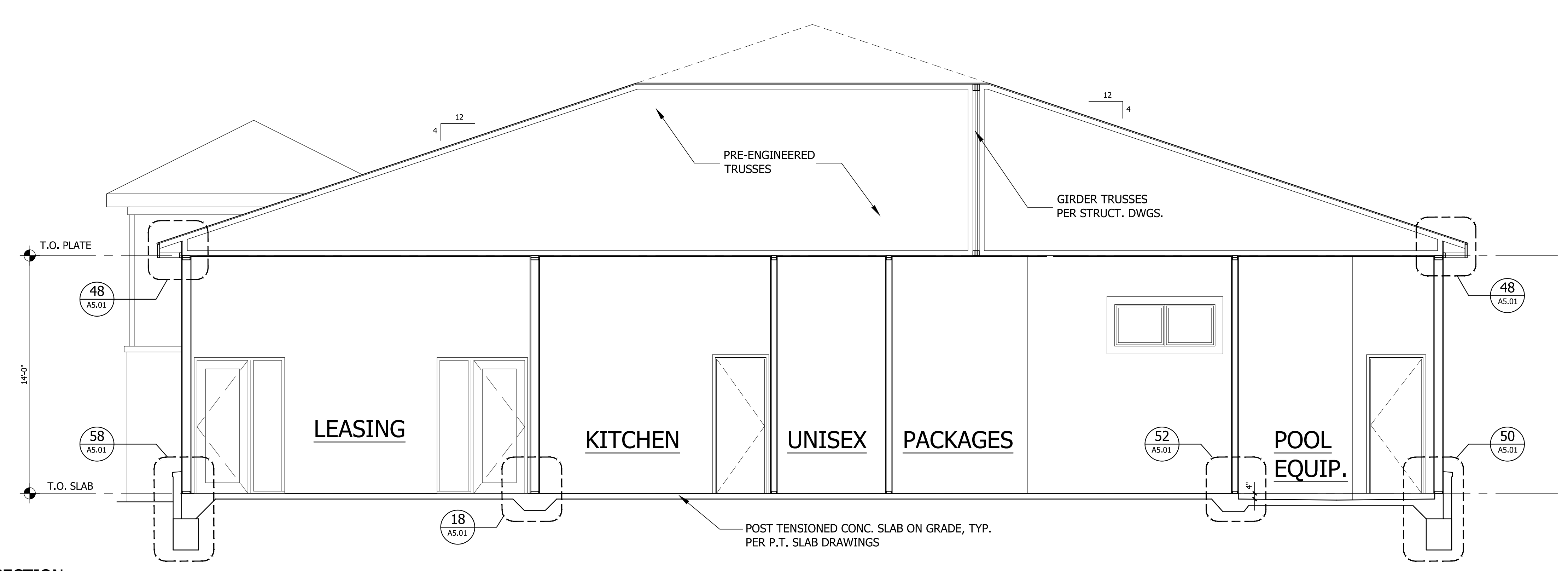
BUILDING SECTIONS
BAINBRIDGE MARKET COMMONS
 FREDERICK, MD
 THE BAINBRIDGE COMPANIES LLC

SCALE: AS NOTED
 DATE: 10-02-2020

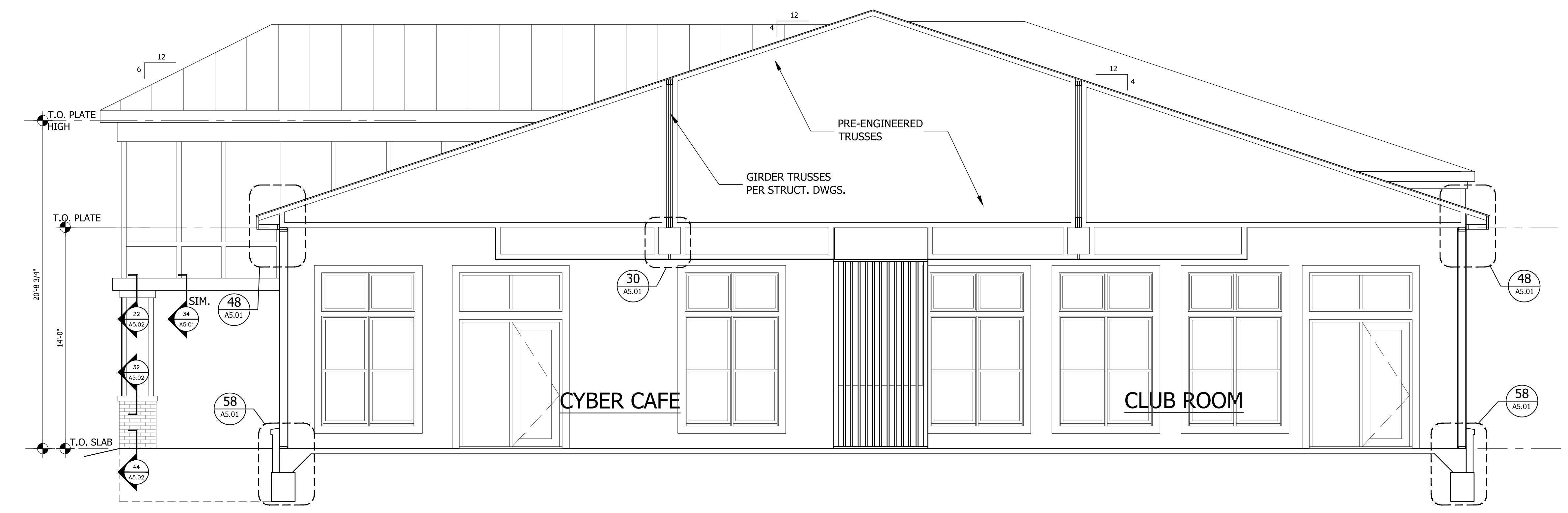
CLUBHOUSE

A4.01

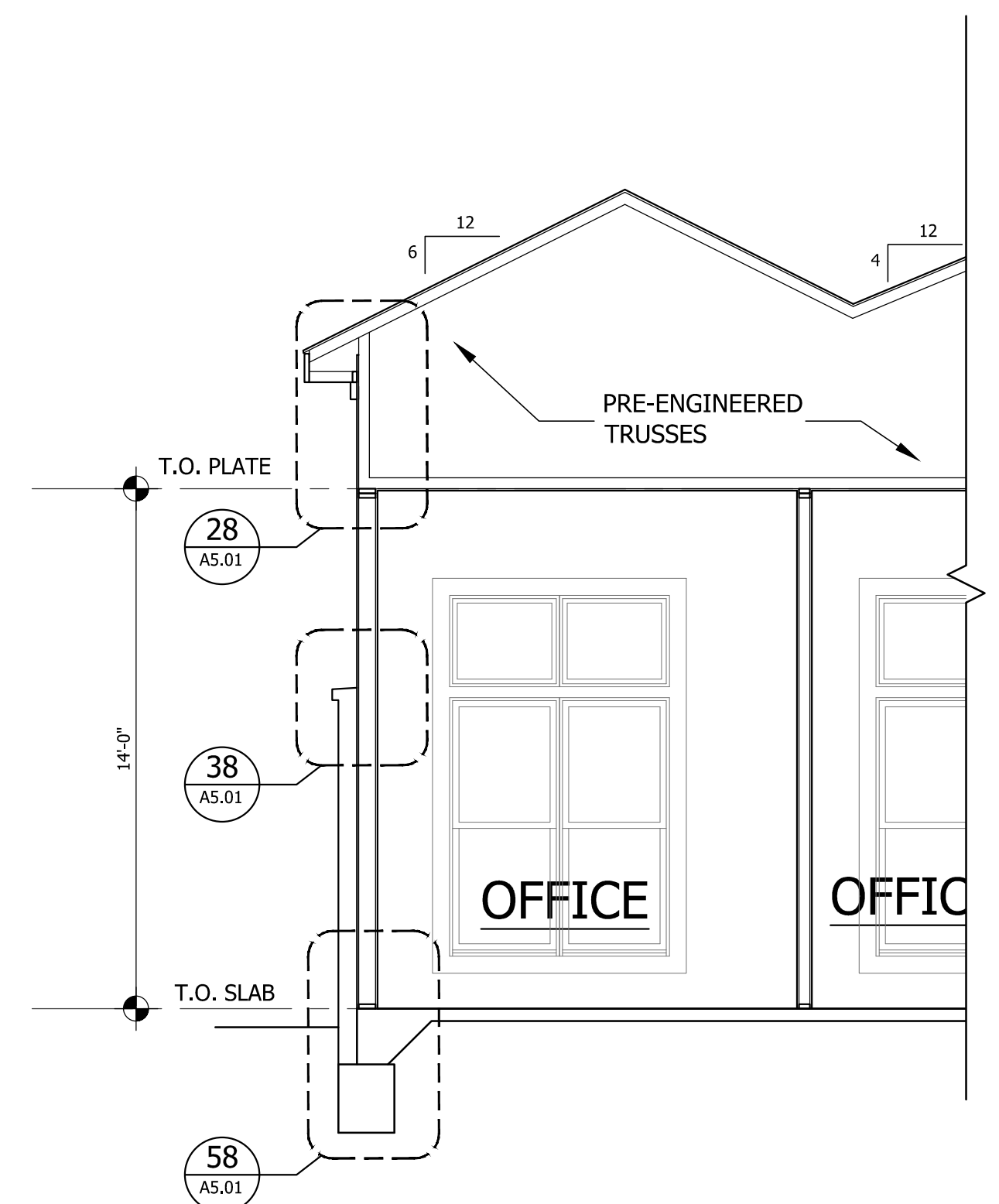
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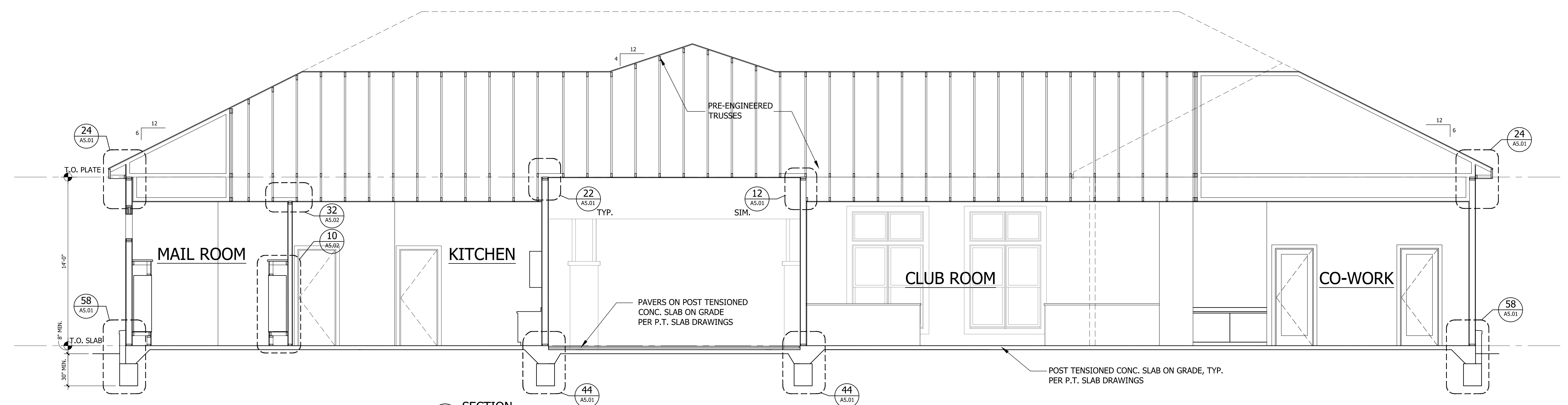
3 SECTION
 ELEV-01
 SCALE: 1/4"=1'-0"



2 SECTION
 ELEV-01
 SCALE: 1/4"=1'-0"

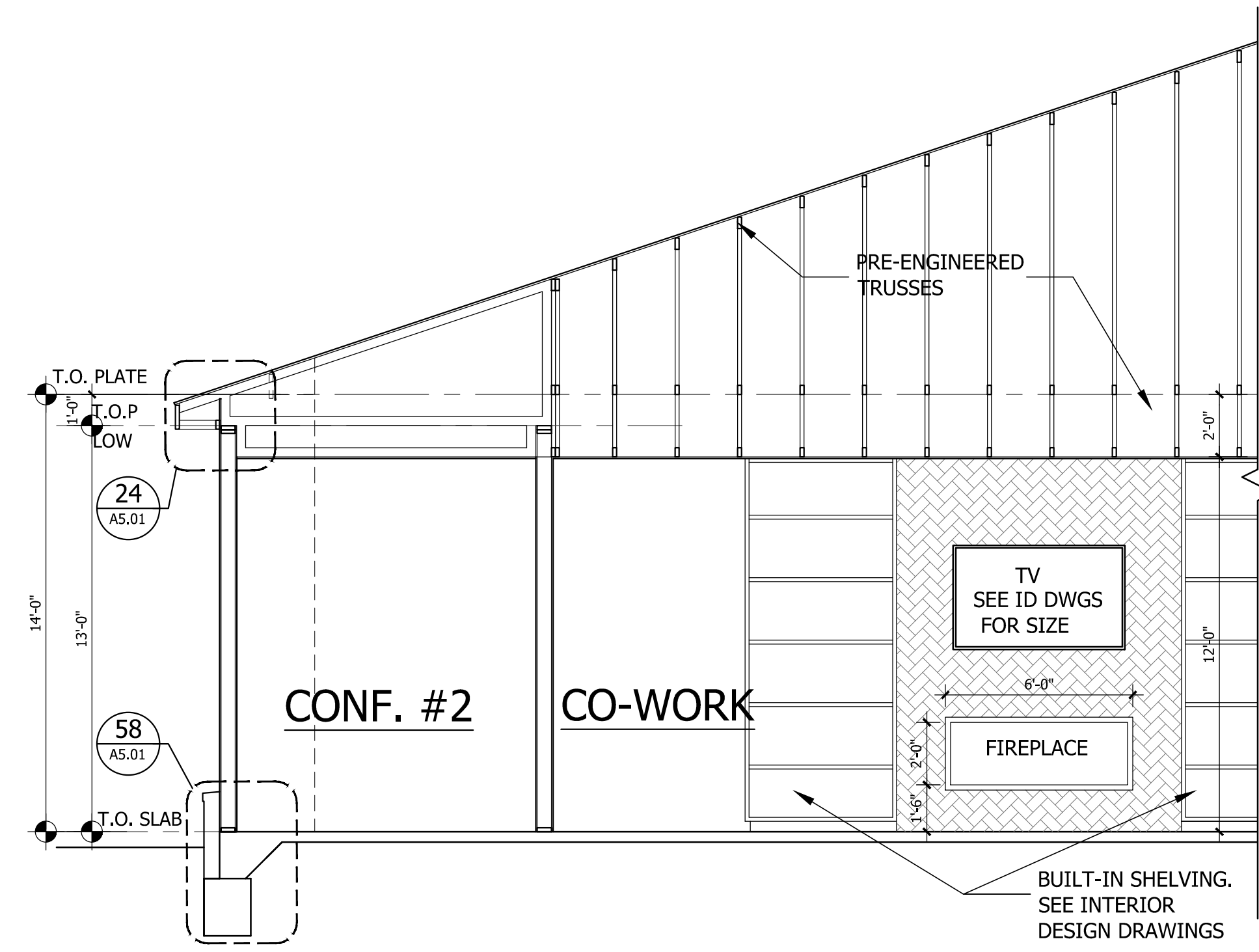


4 SECTION
 ELEV-01
 SCALE: 1/4"=1'-0"

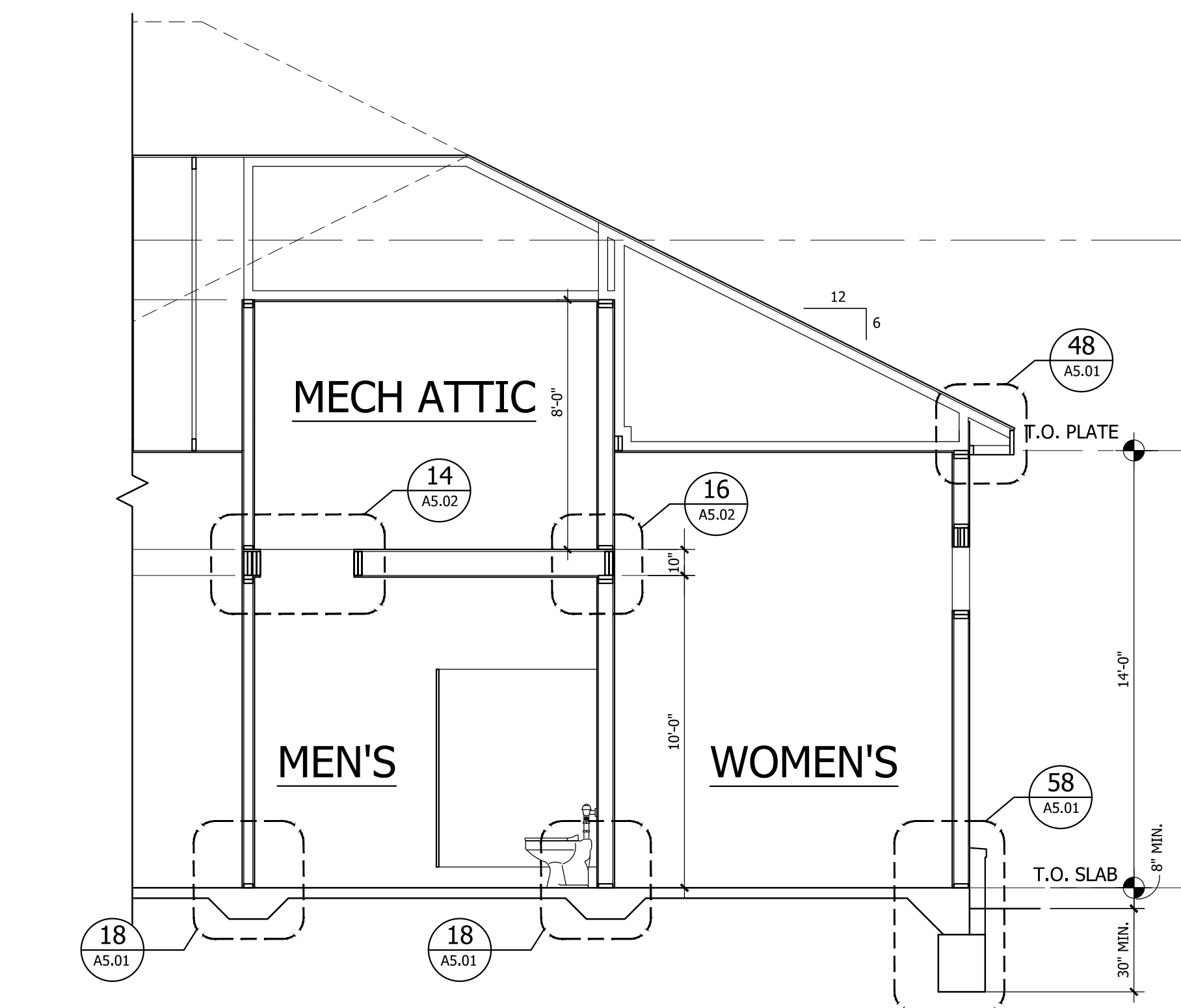


1 SECTION
 ELEV-01
 SCALE: 1/4"=1'-0"

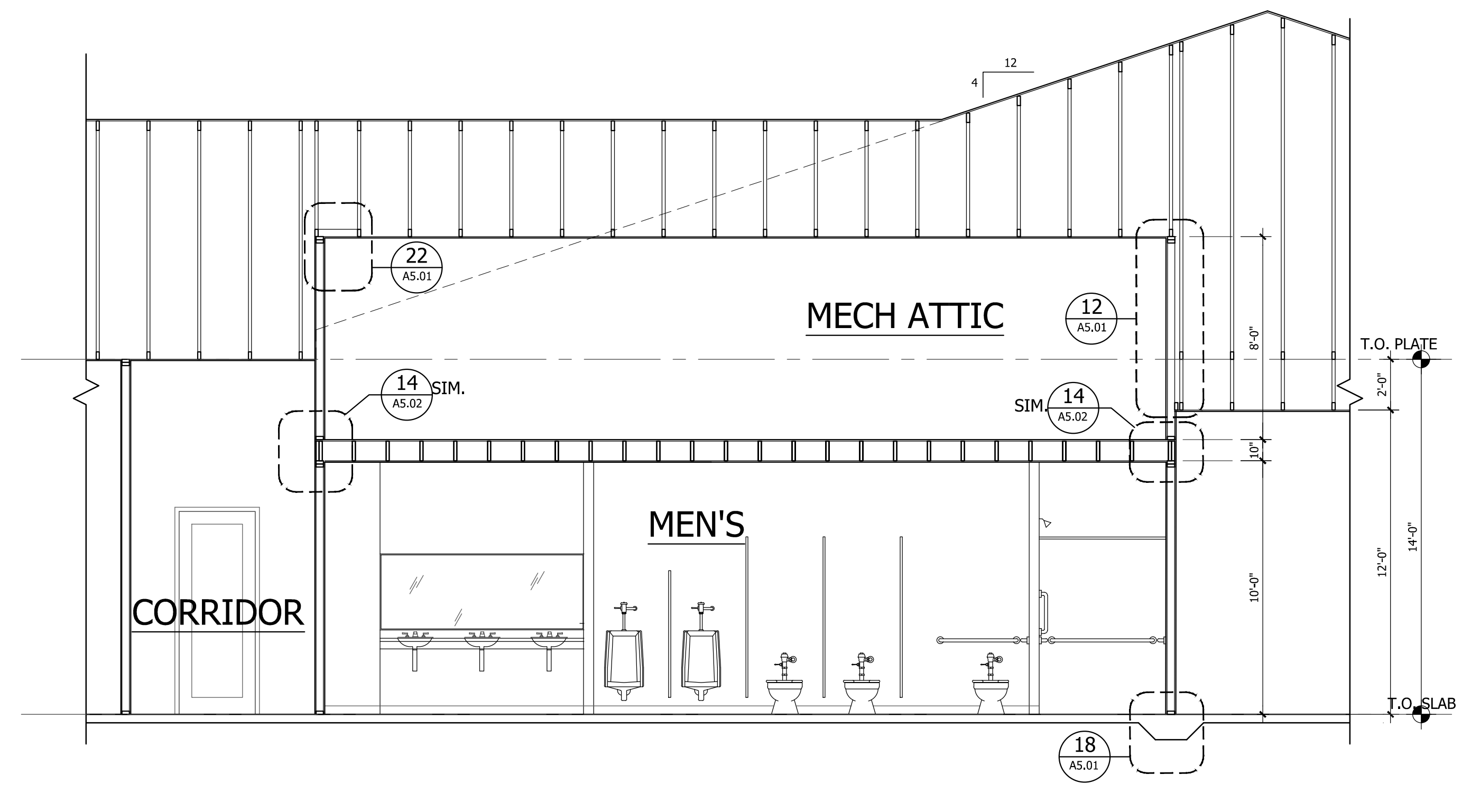
NO.	REVISION	DATE
0	ISSUED FOR CONSTRUCTION SET	08/05/2021



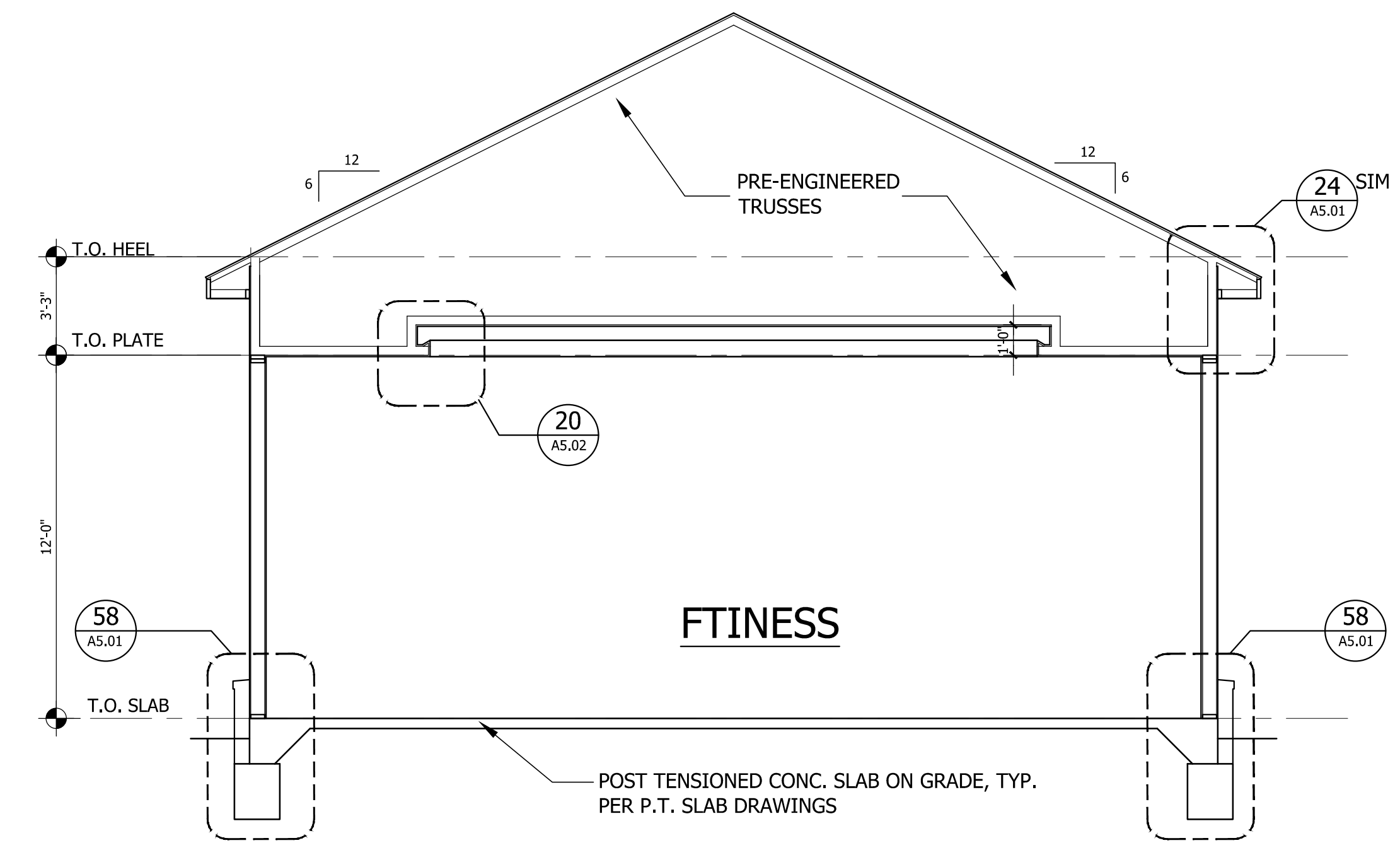
4 SECTION
 ELEV-01 SCALE: 1/4"=1'-0"



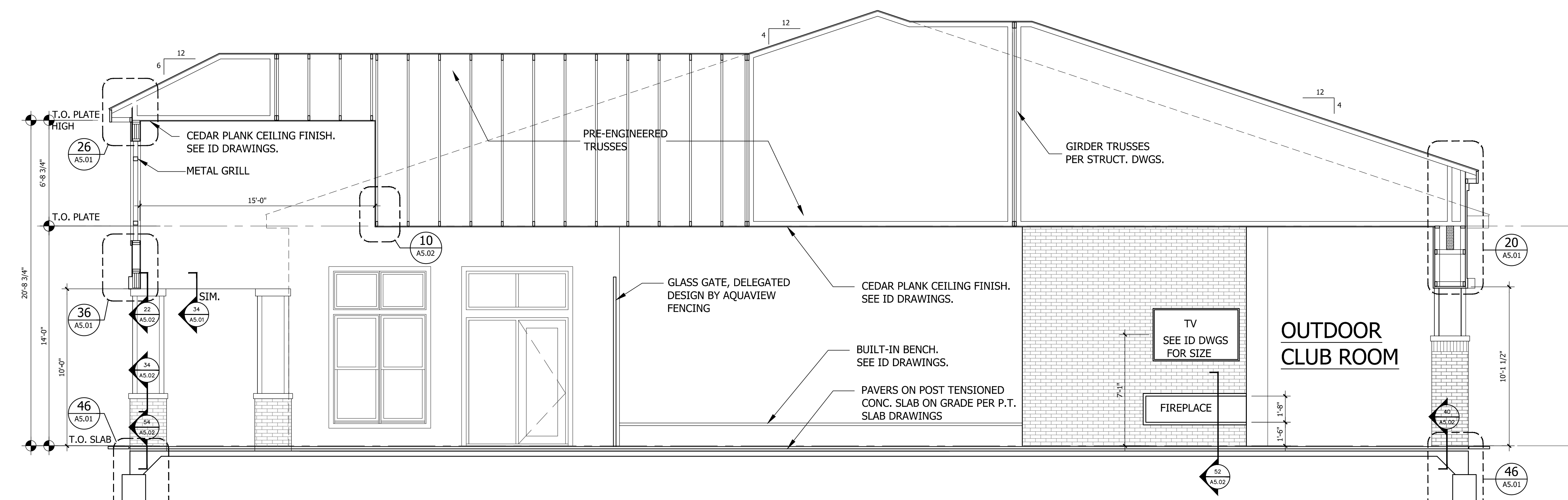
3 SECTION
 ELEV-01 SCALE: 1/4"=1'-0"



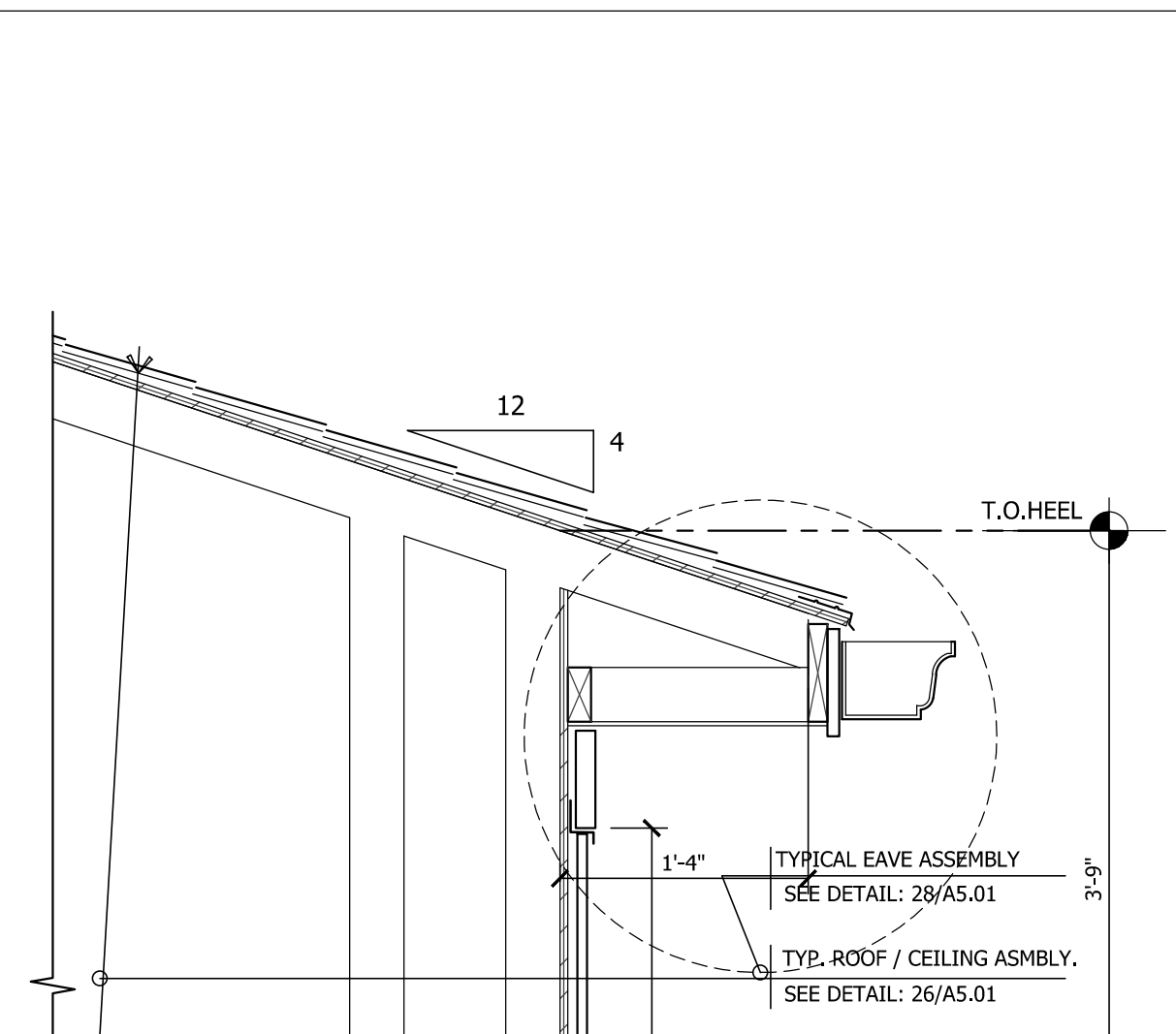
2 SECTION
 ELEV-01 SCALE: 1/4"=1'-0"



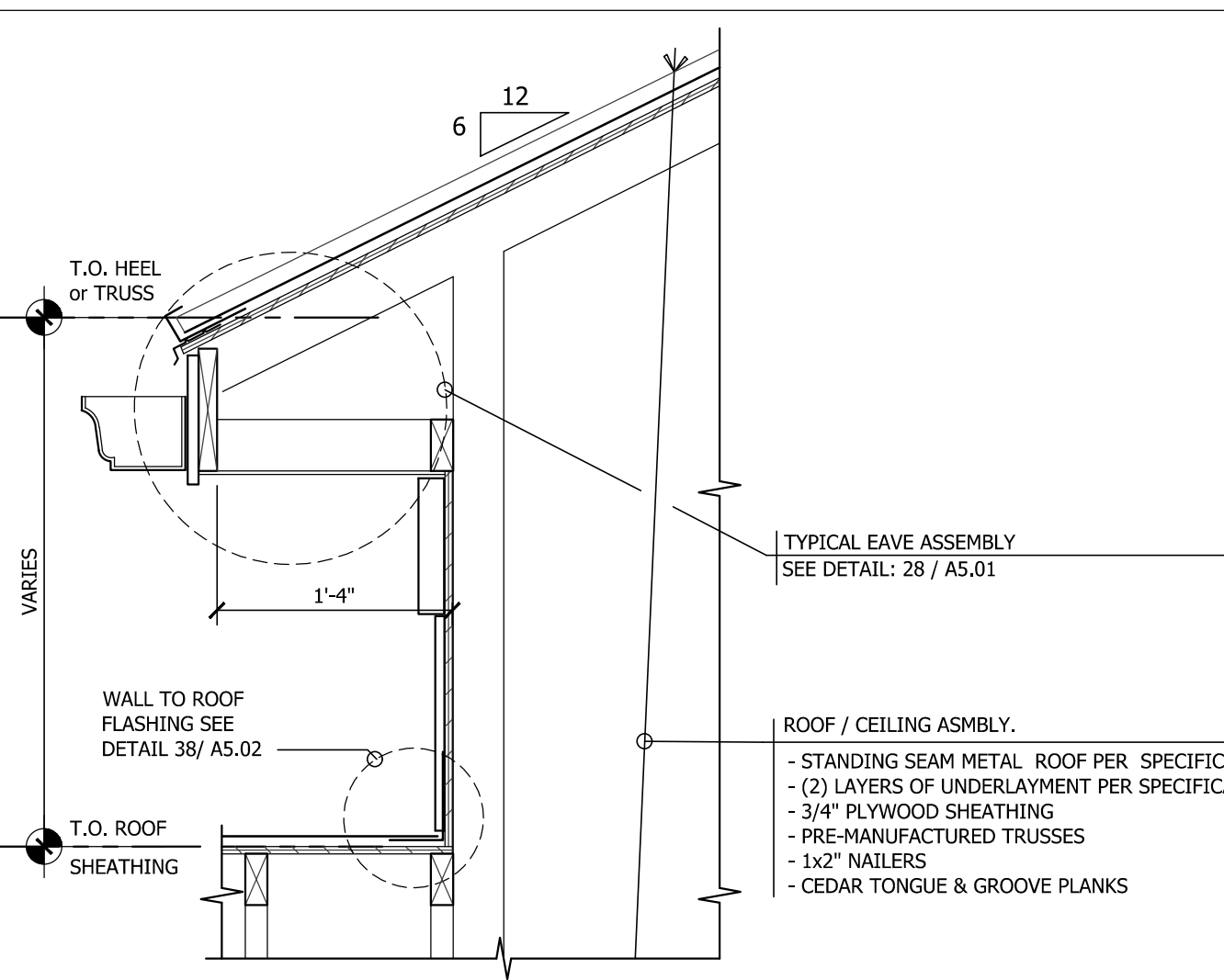
5 SECTION
 ELEV-01 SCALE: 1/4"=1'-0"



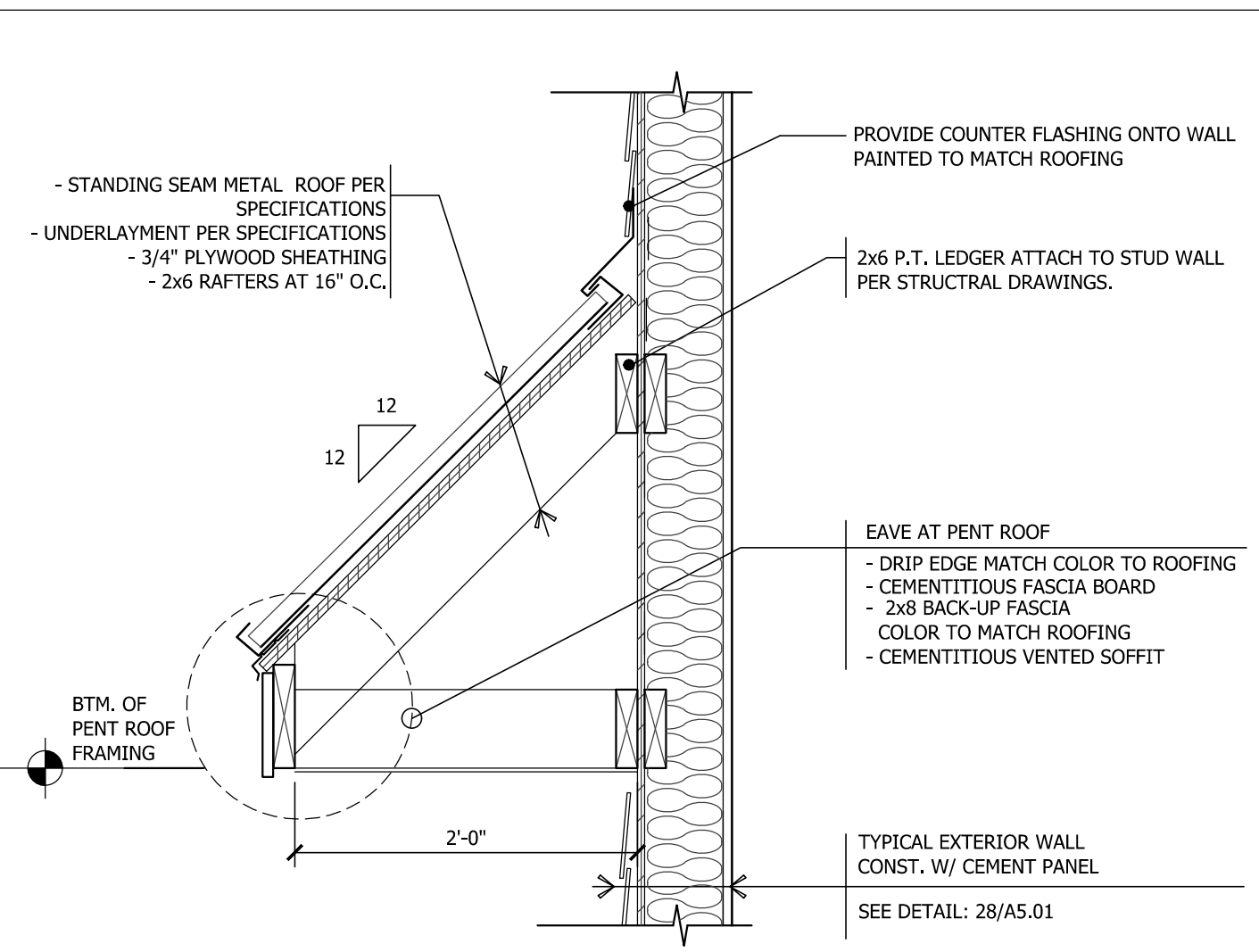
1 SECTION
 ELEV-01 SCALE: 1/4"=1'-0"



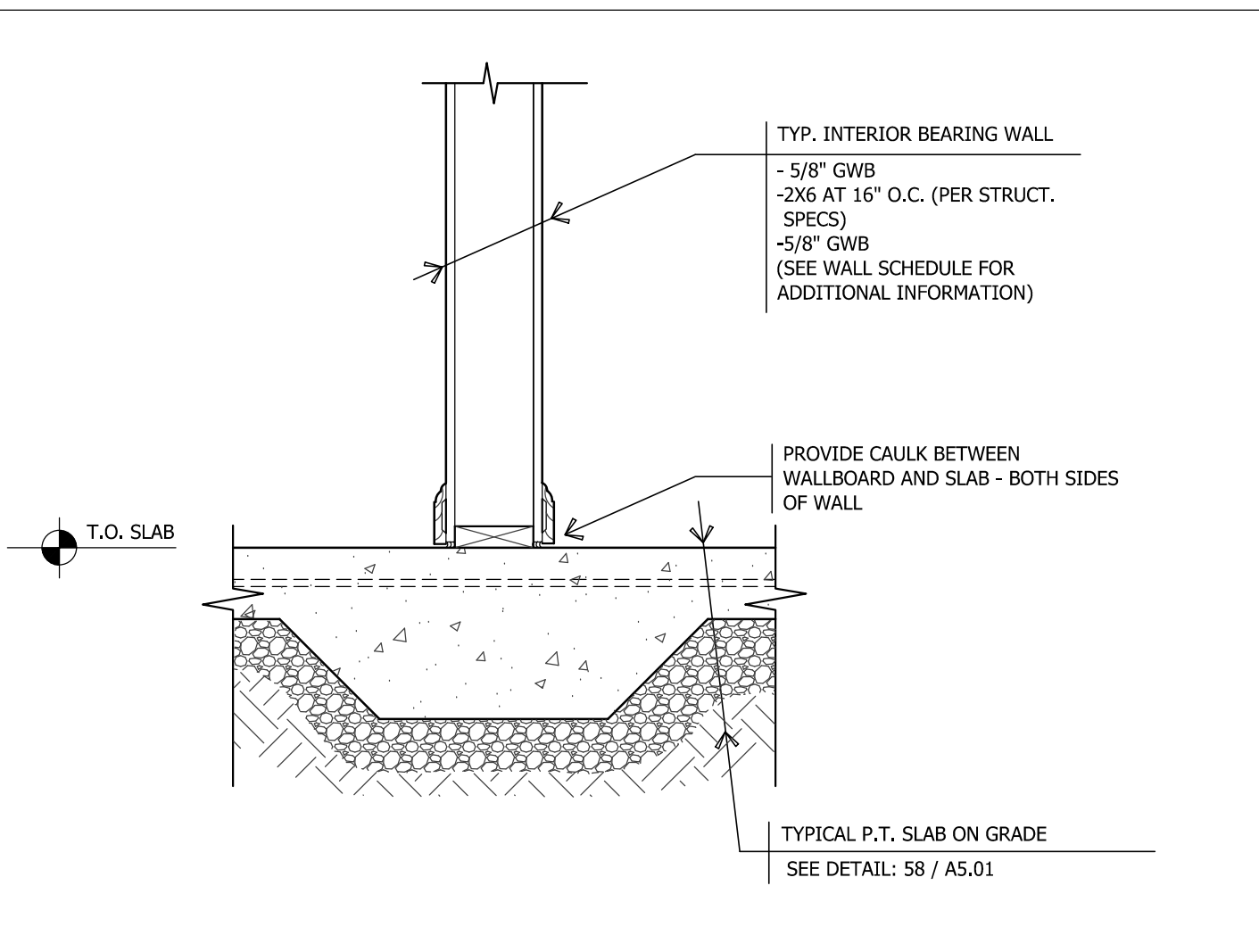
12 WALL CEILING INTERSECTION @ MECH LOFT
D-CH-34 SCALE: 1"=1'-0"



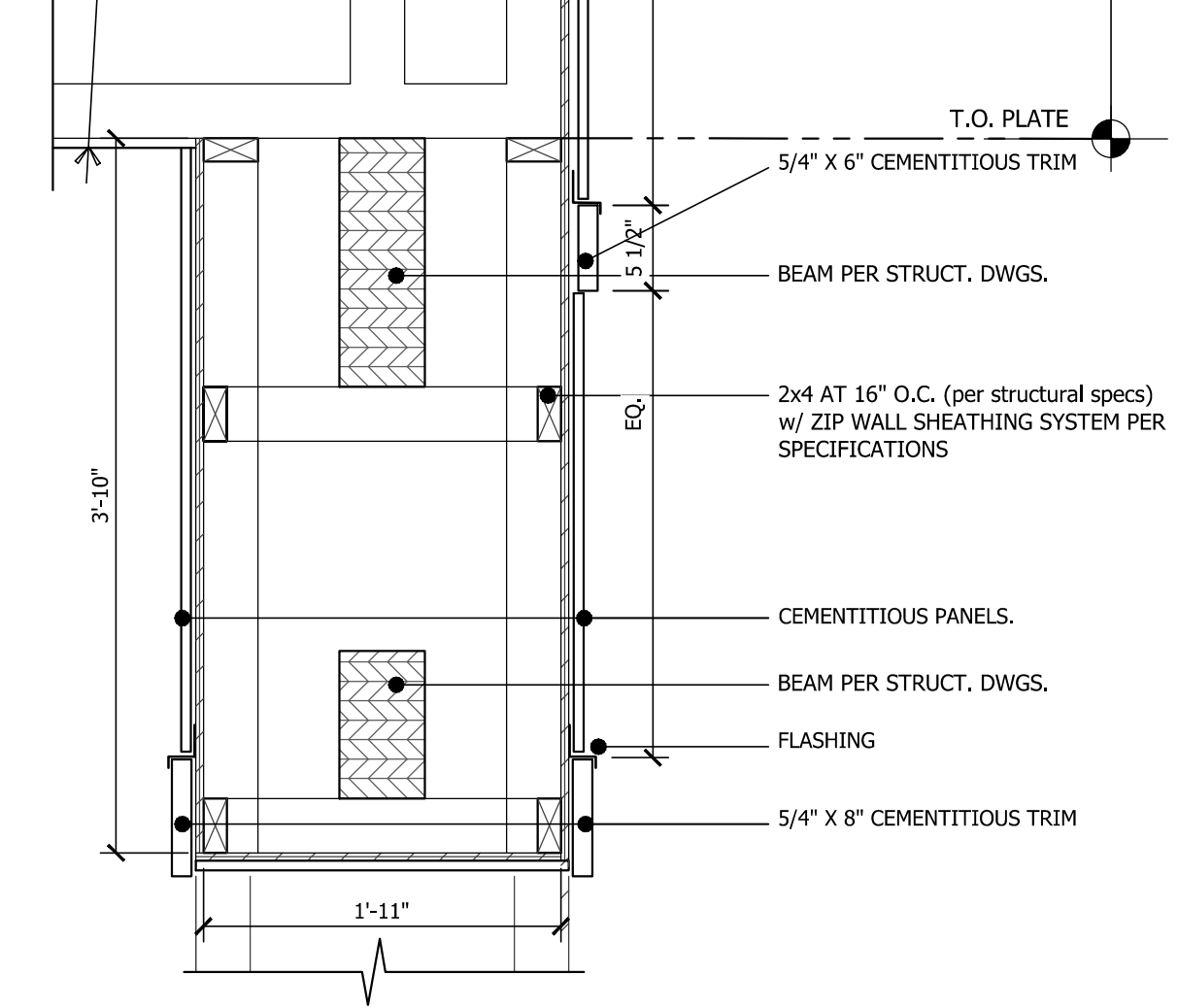
14 SIDE AT RAISED BREEZEWAY ROOF
D-CH-10 SCALE: 1"=1'-0"



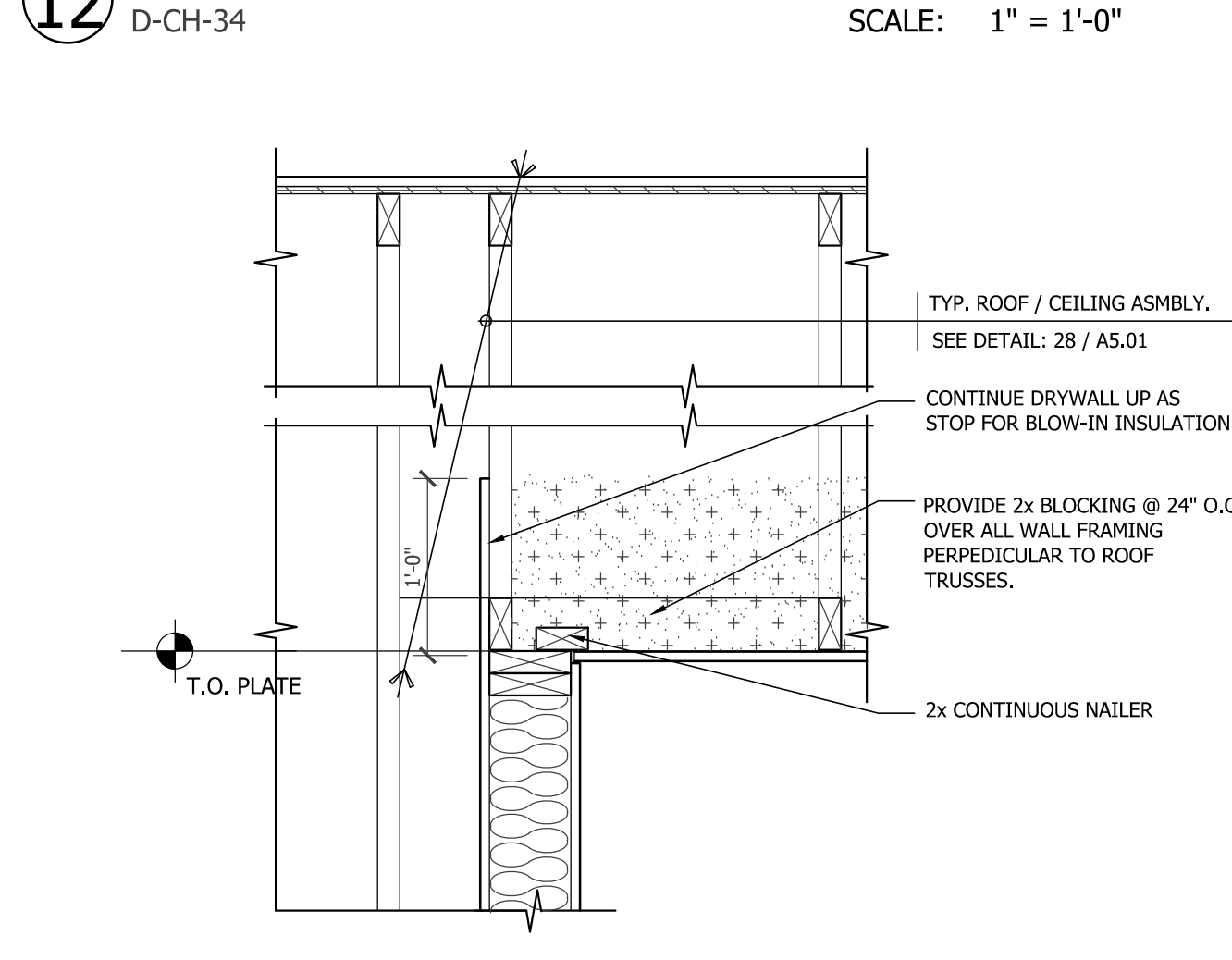
16 TYPICAL PENT ROOF AT LAP SIDING
D-CH-07 SCALE: 1"=1'-0"



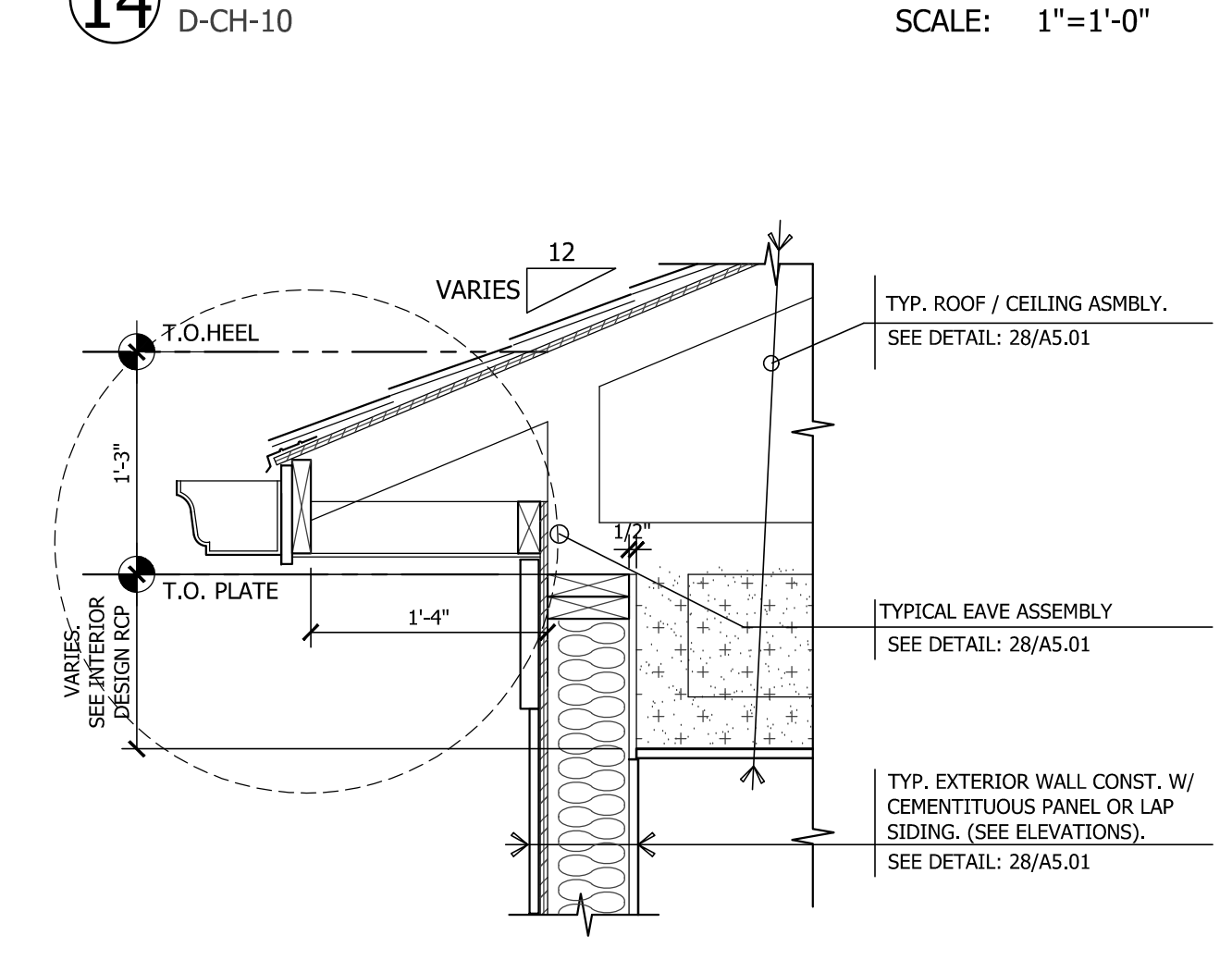
18 CORRIDOR BEARING WALL AT SLAB
D-CH-15 SCALE: 1"=1'-0"



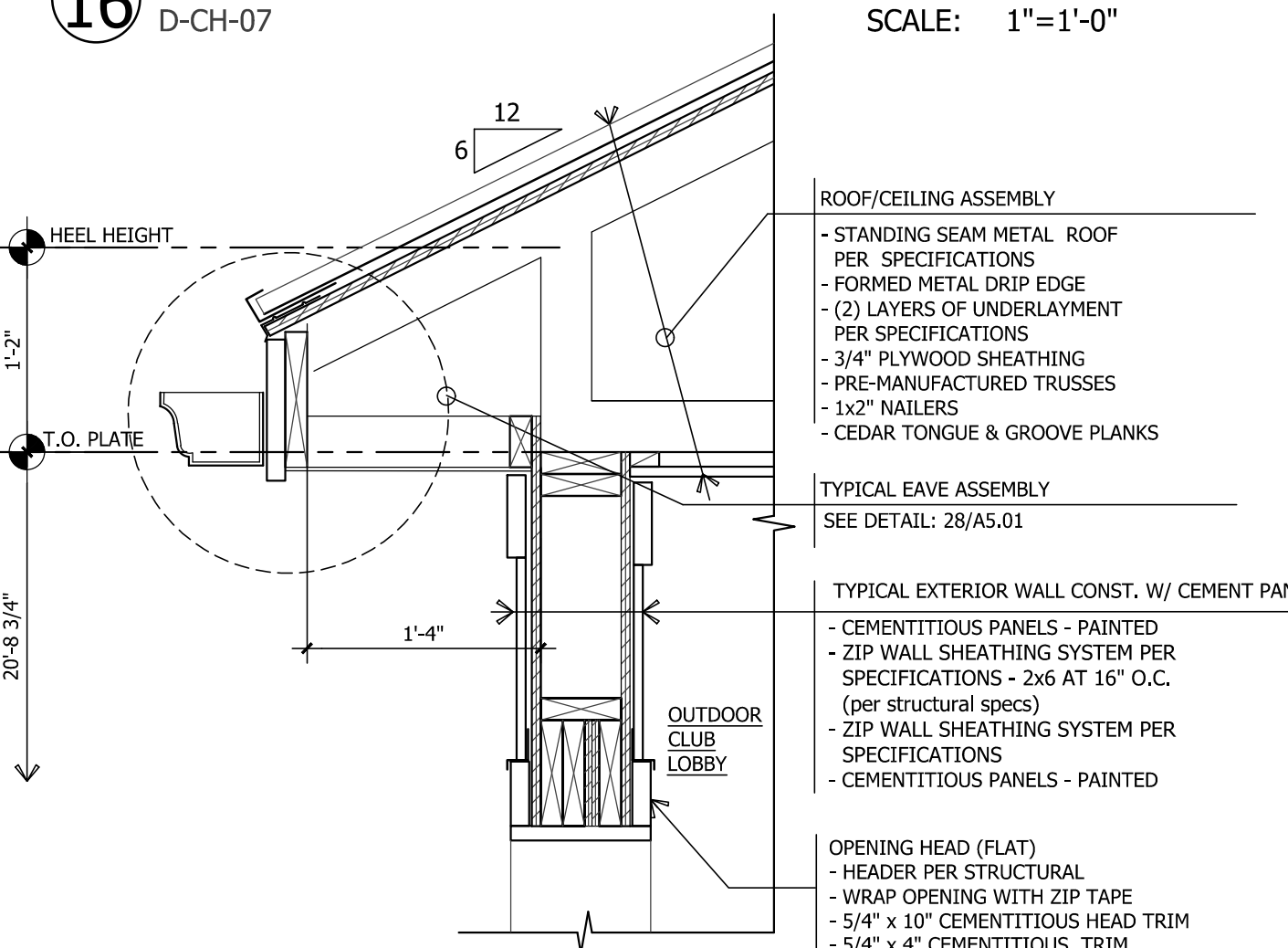
20 ENTRY @ BREEZEWAY REAR
D-CH-16 SCALE: 1"=1'-0"



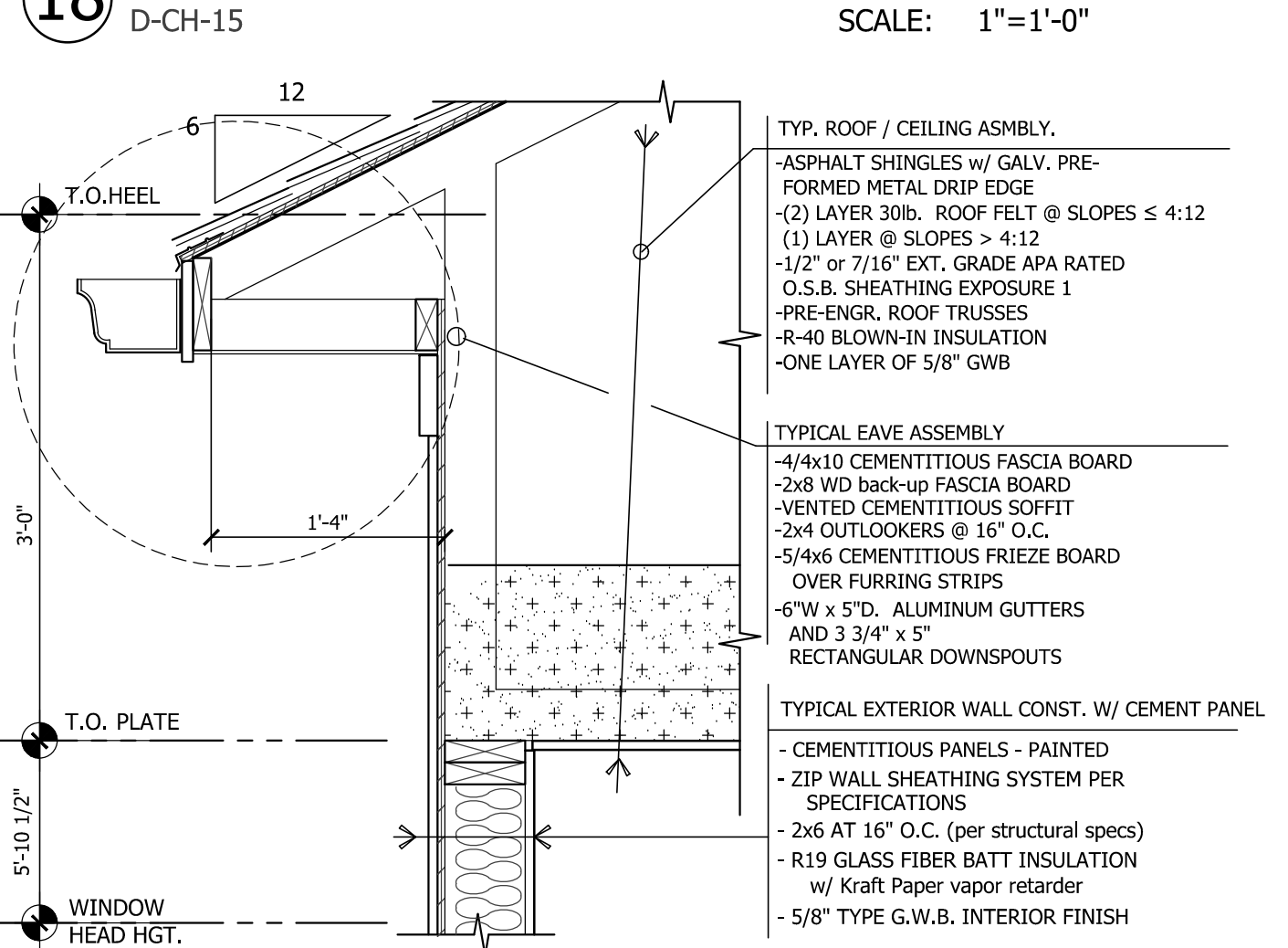
22 WALL CEILING INTERSECTION @ MECH LOFT
D-CH-33 SCALE: 1"=1'-0"



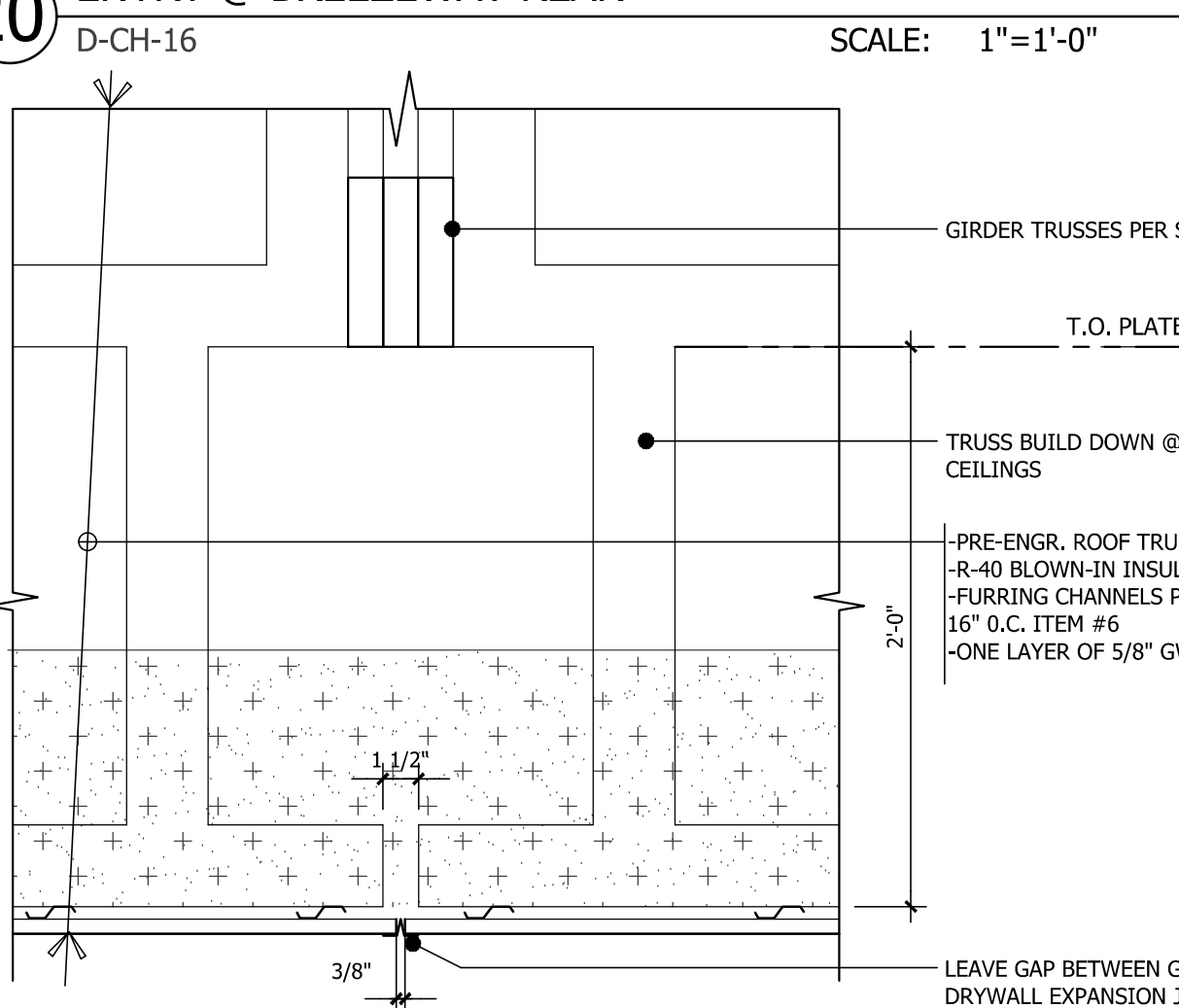
24 EXTERIOR WALL EAVE @ DROPPED CEILING
D-CH-30 SCALE: 1"=1'-0"



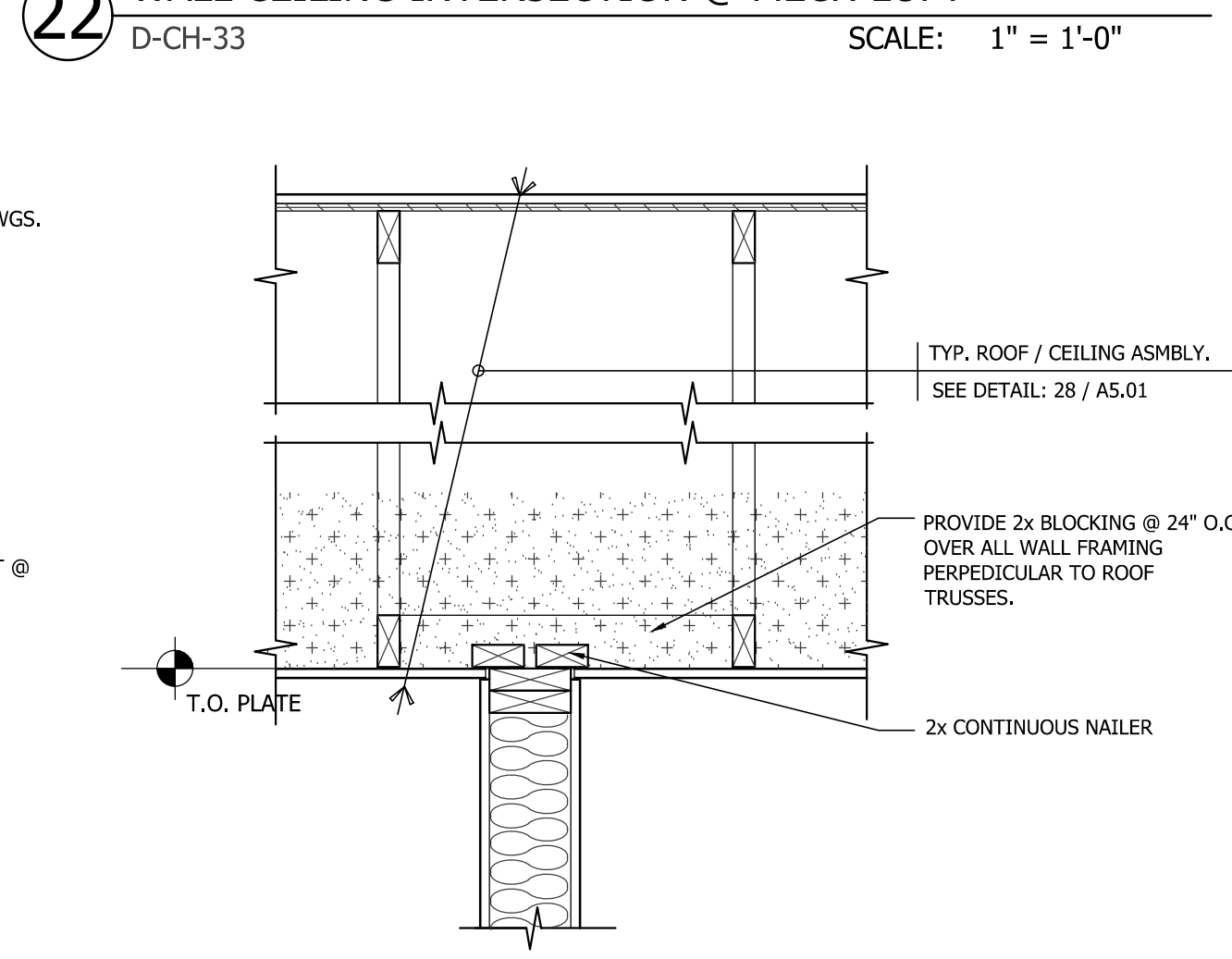
26 HIGH OPENING HEADER @ MAIN ENTRY
DTL-CH-06 SCALE: 1"=1'-0"



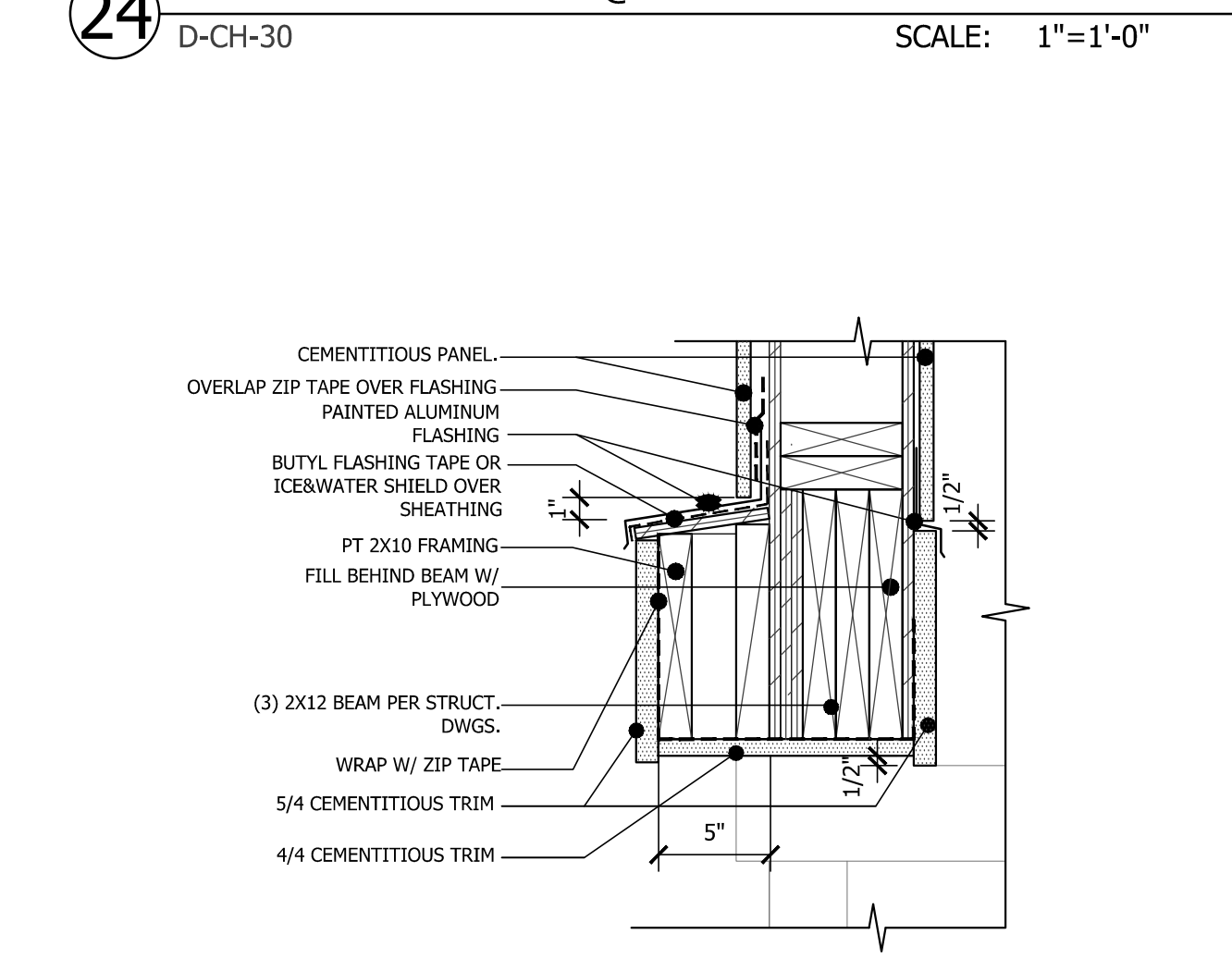
28 TYPICAL EXTERIOR WALL EAVE @ TOWER
D-CH-04 SCALE: 1"=1'-0"



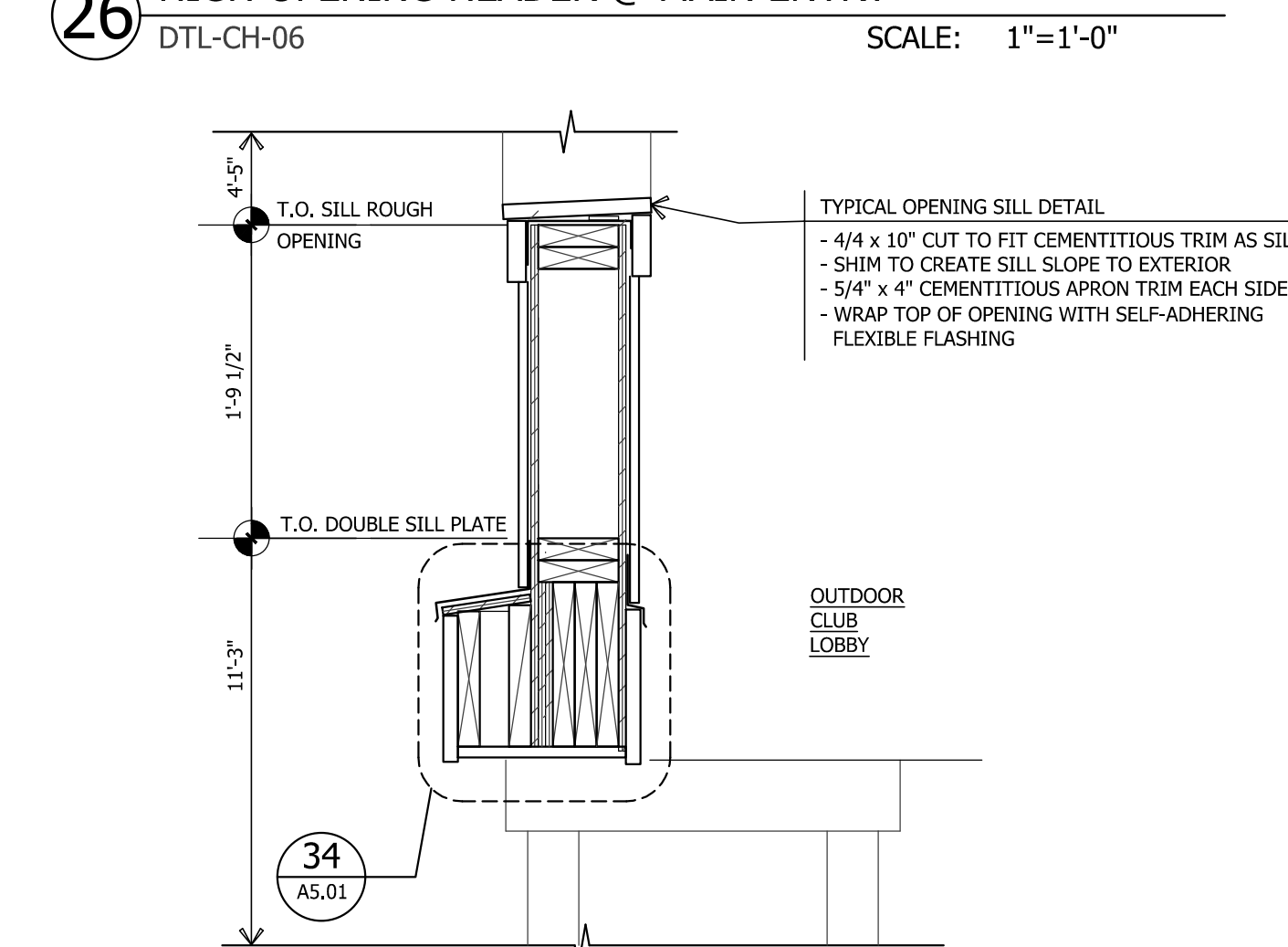
30 CEILING DETAIL
D-CH-17 SCALE: 1 1/2\"=1'-0"



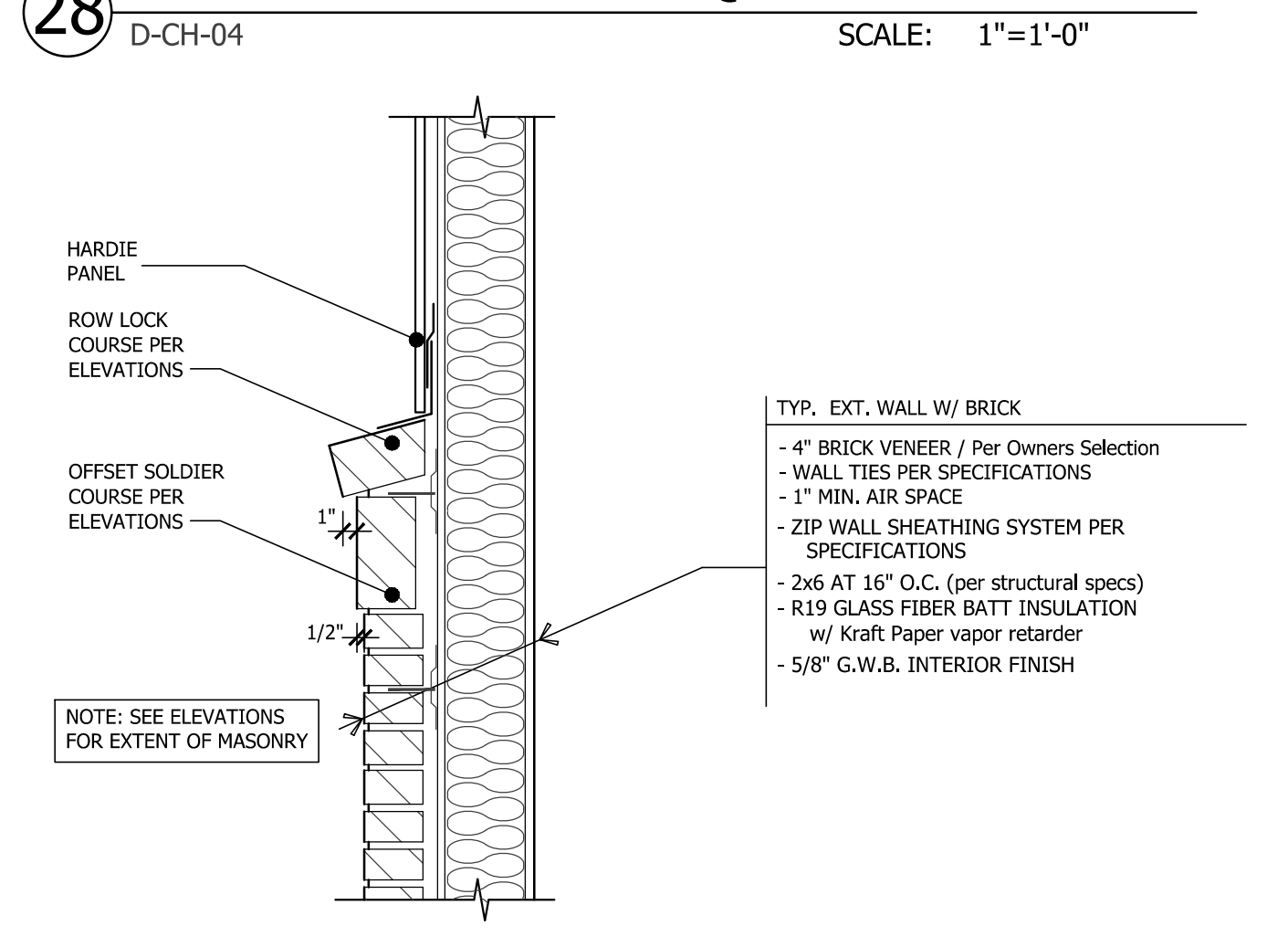
32 WALL CEILING INTERSECTION
D-CH-32 SCALE: 1"=1'-0"



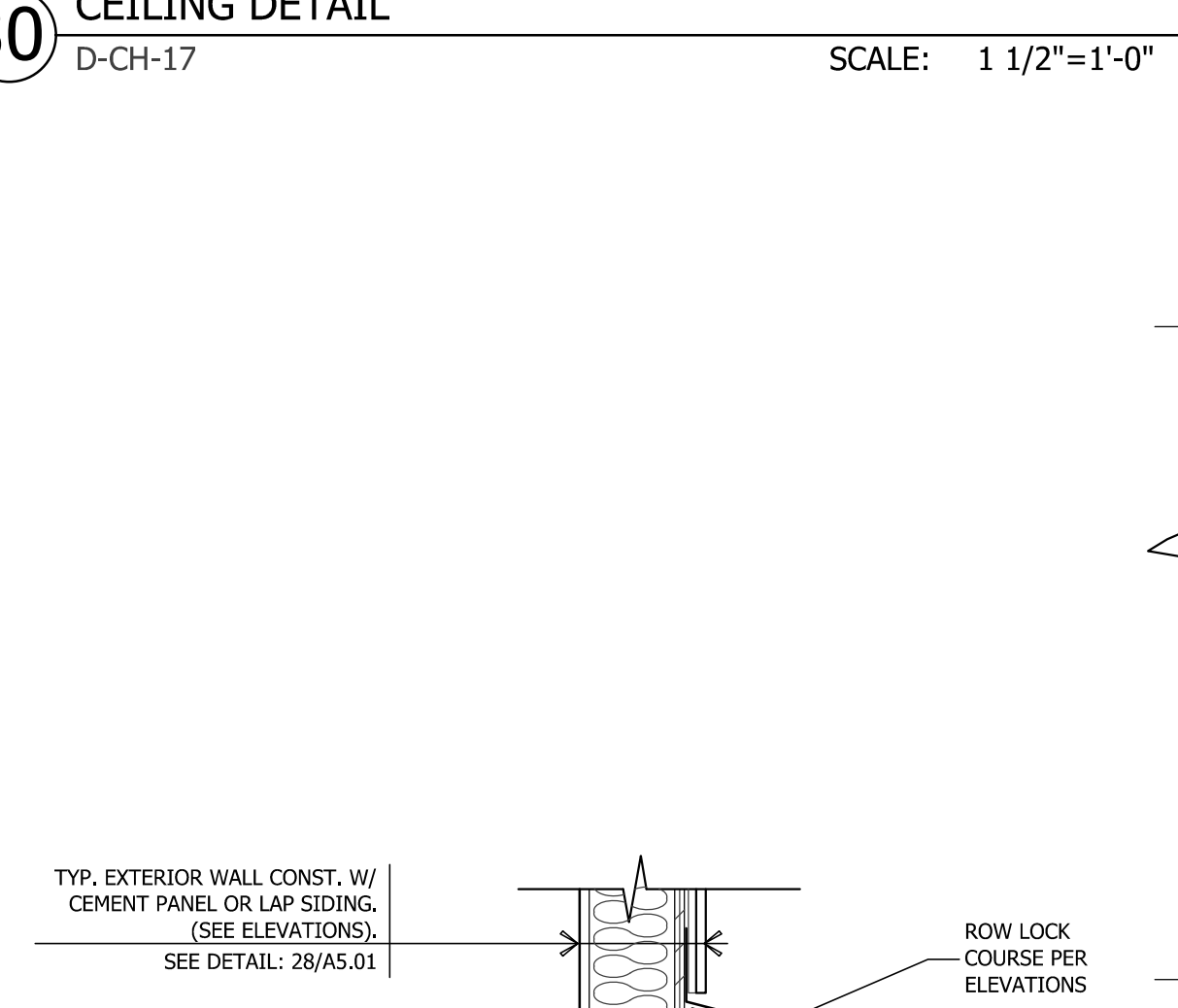
34 DETAIL @ BREEZEWAY ENTRANCE
D-CH-29 SCALE: 1 1/2\"=1'-0"



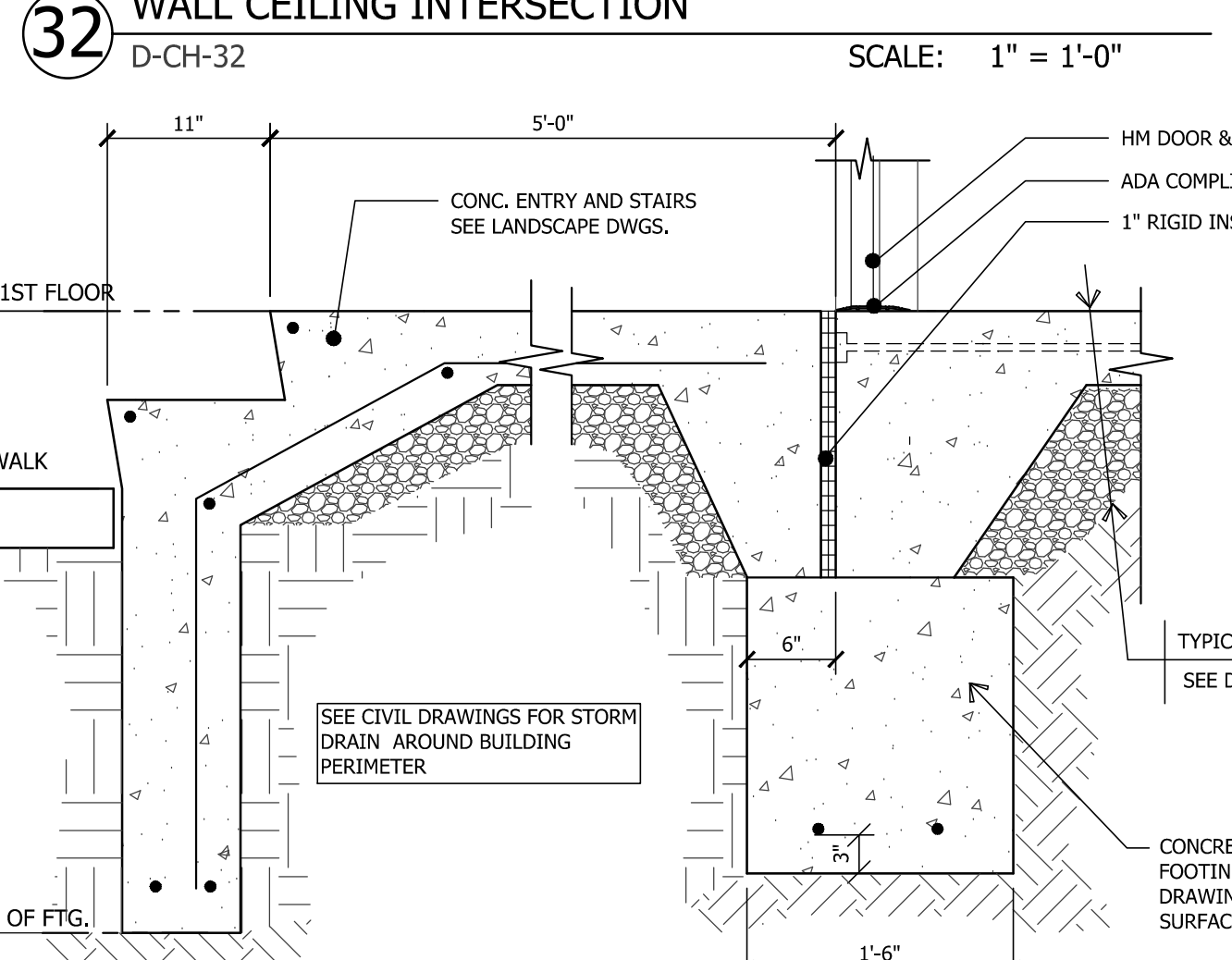
36 HIGH OPENING SILL @ MAIN ENTRY
DTL-CH-05 SCALE: 1"=1'-0"



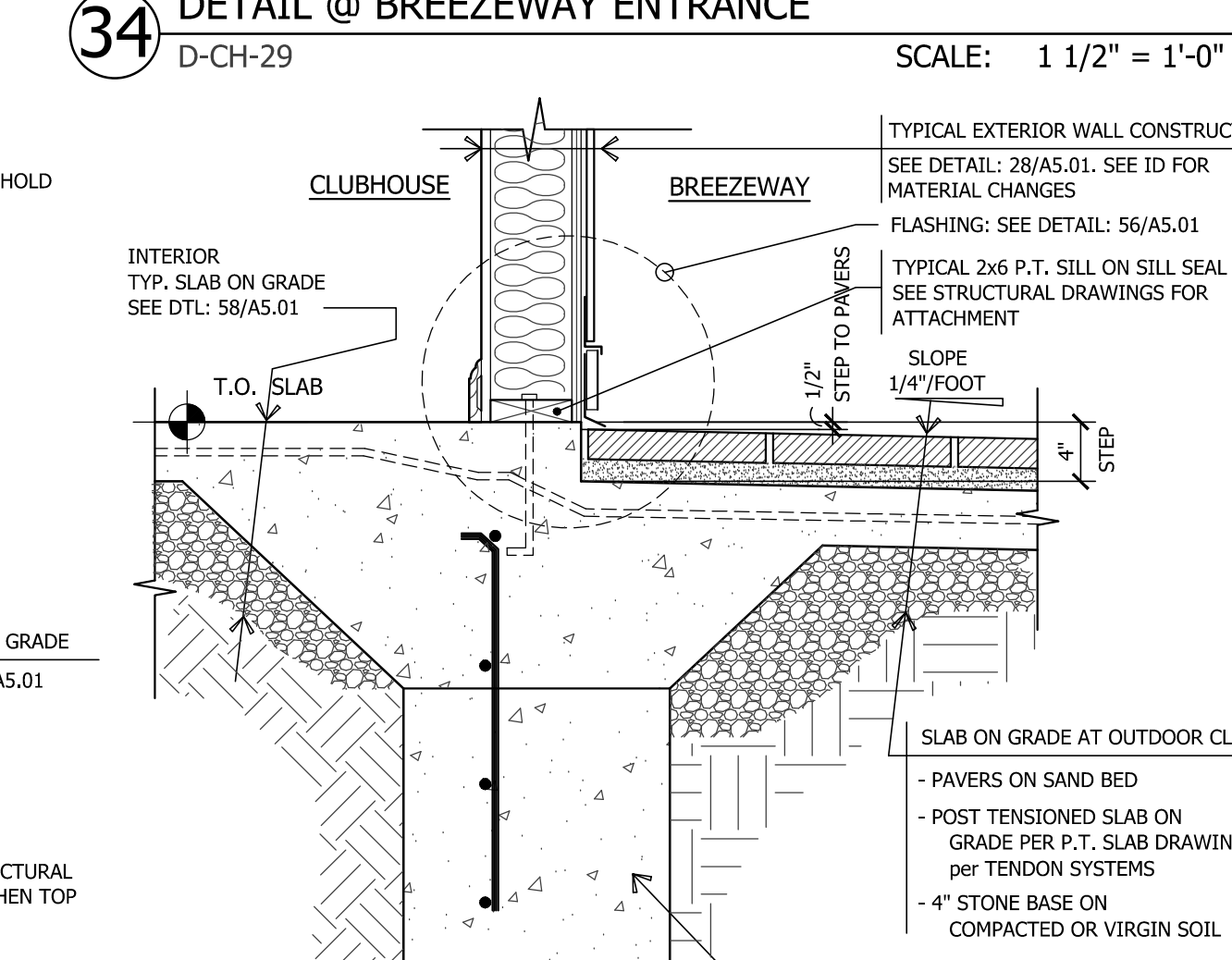
38 TOP OF BRICK @ TOWER
D-CH-02 SCALE: 1"=1'-0"



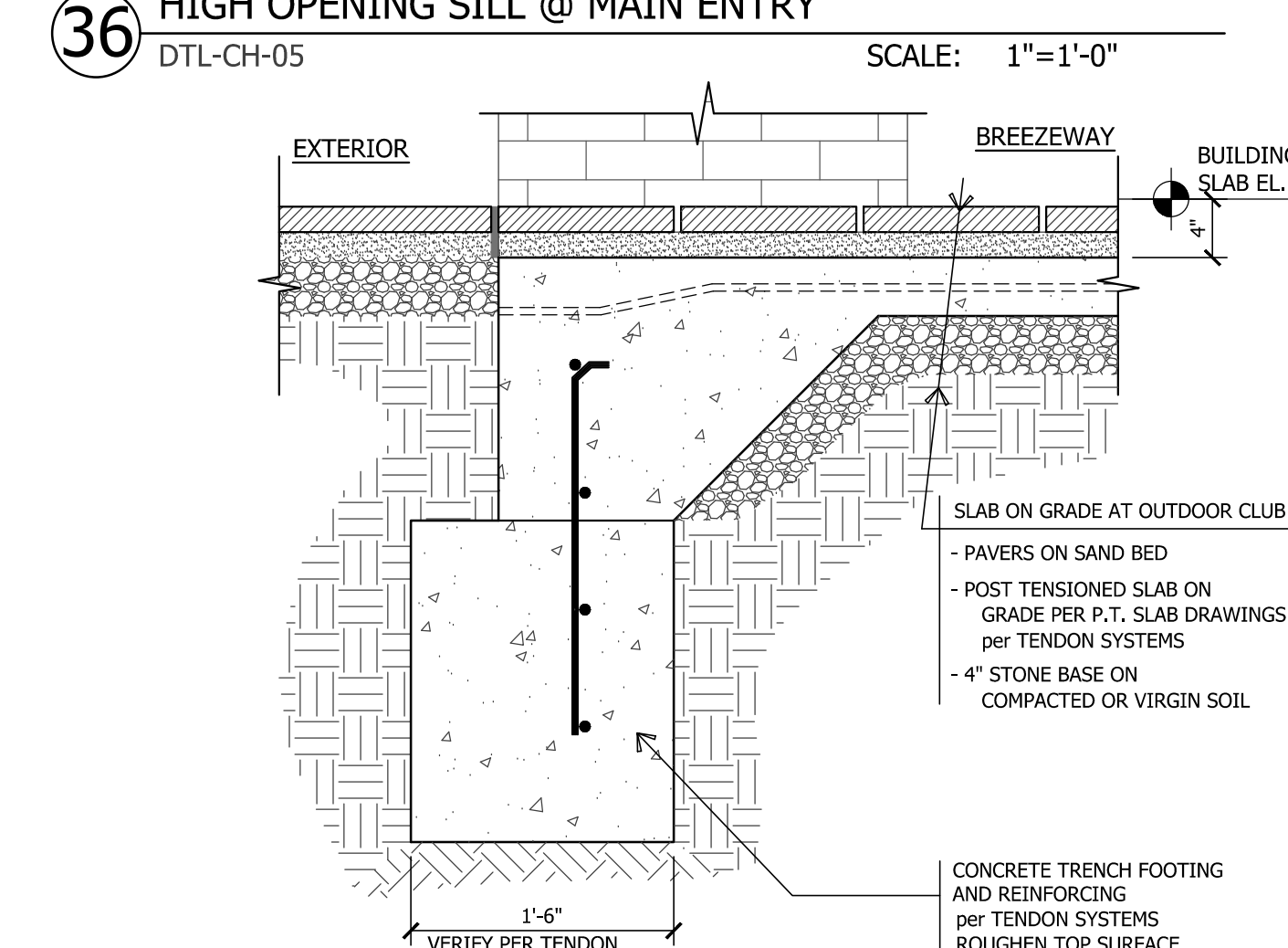
40 CEILING DETAIL
D-CH-17 SCALE: 1 1/2\"=1'-0"



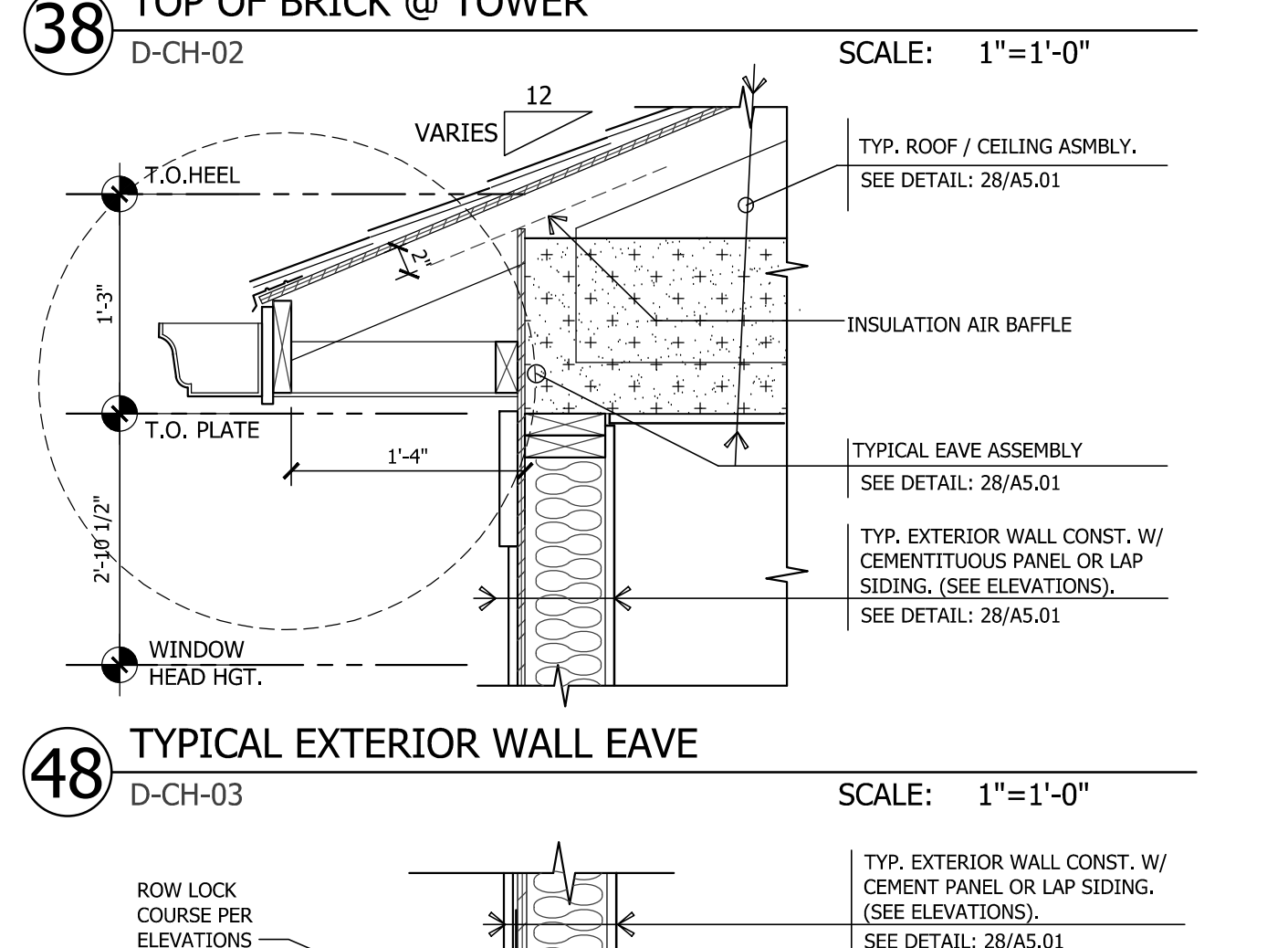
42 ENTRY AT MAIL ROOM
D-CH-36 SCALE: 1"=1'-0"



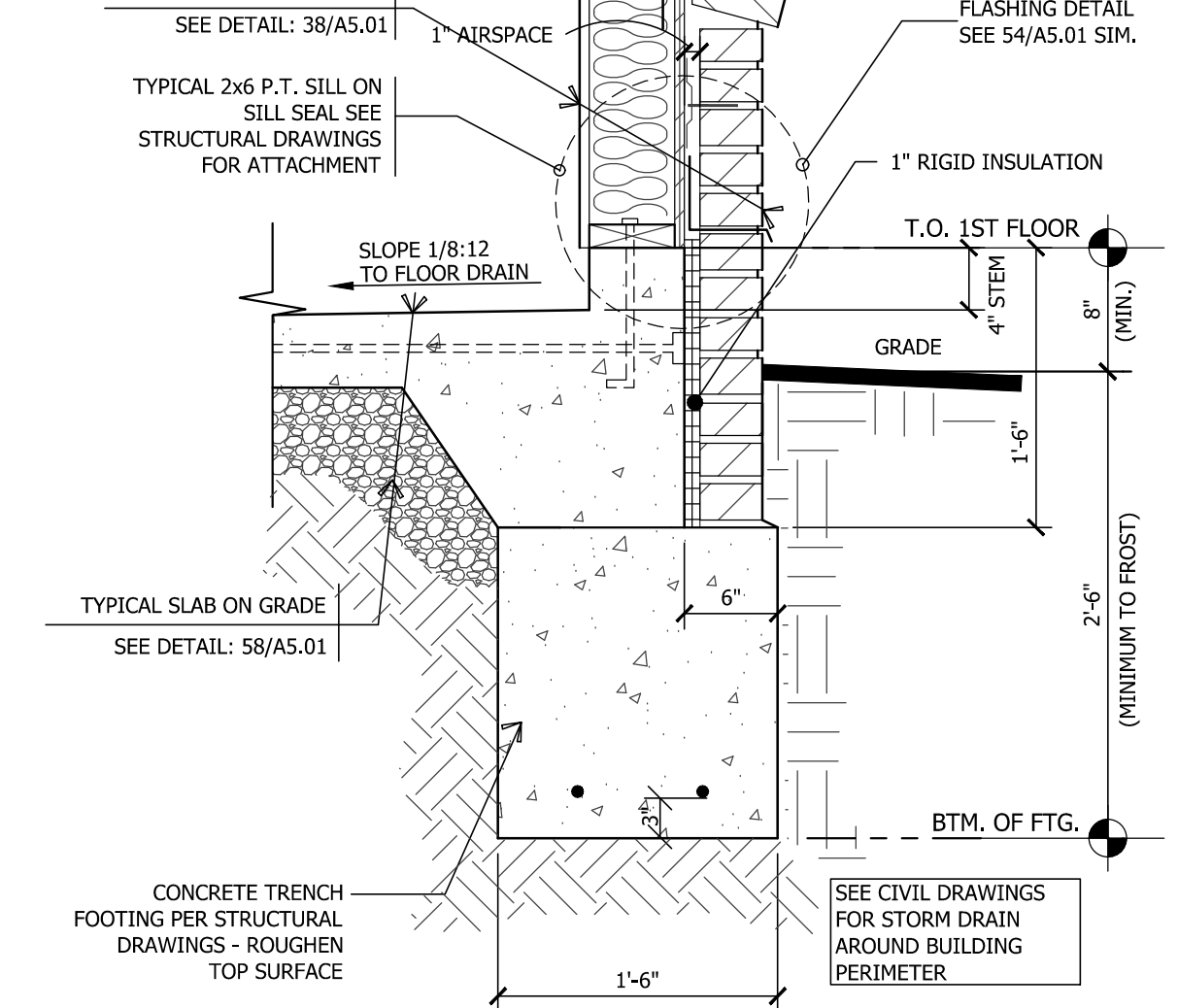
44 BREEZEWAY CONSTRUCTION AT EXTERIOR WALL
D-CH-11 SCALE: 1"=1'-0"



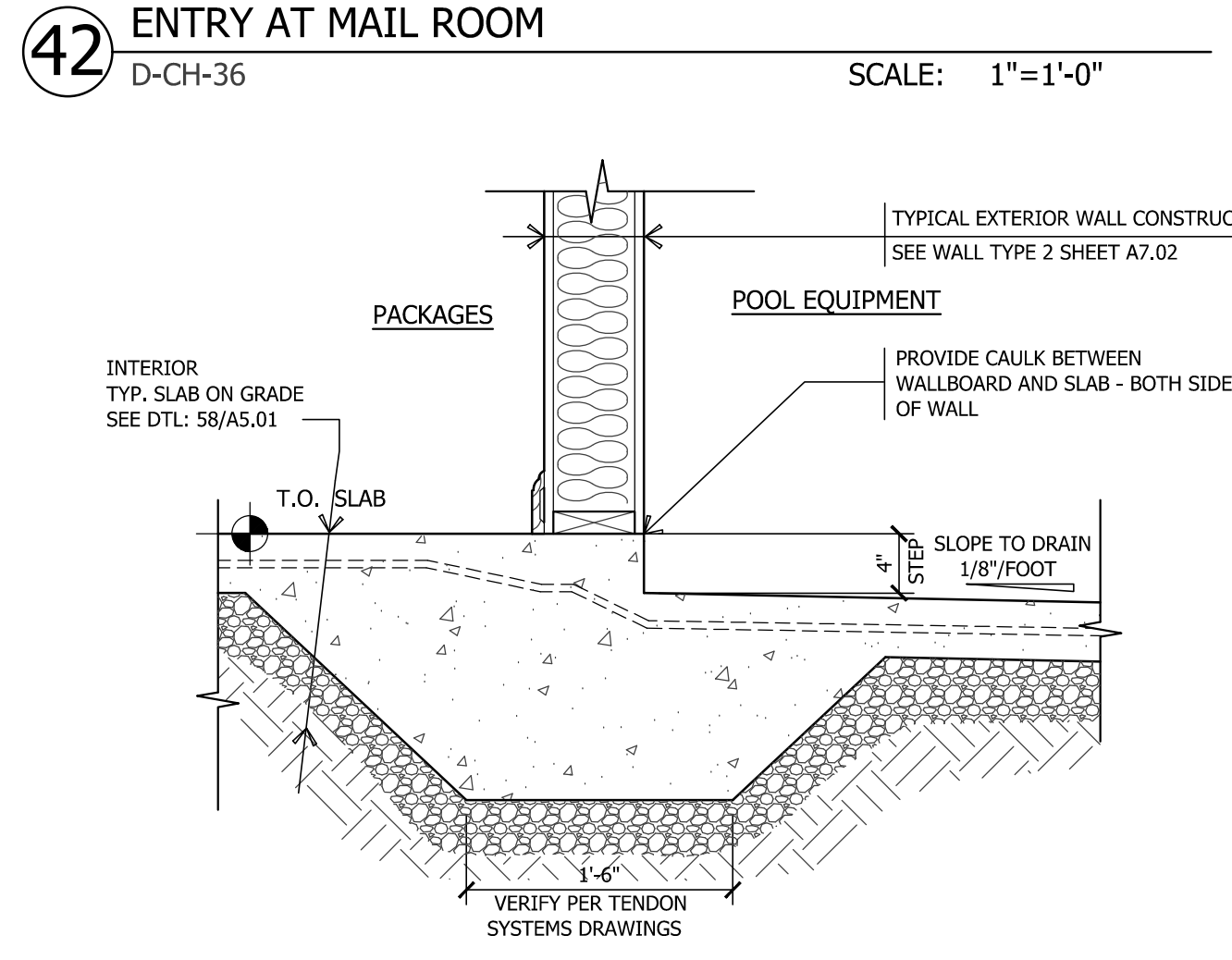
46 SLAB EDGE @ BREEZEWAY ENTRANCE
D-CH-12 SCALE: 1"=1'-0"



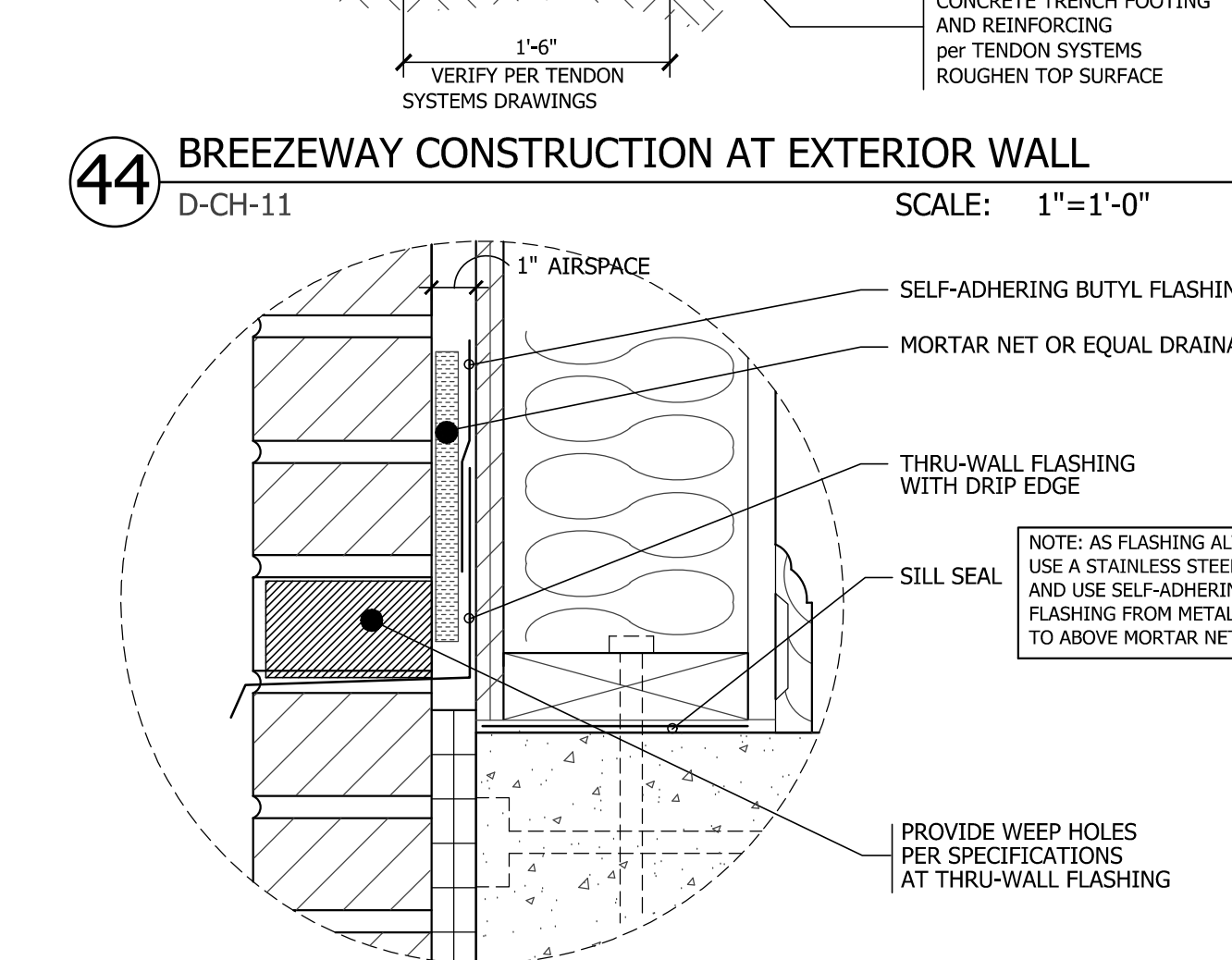
48 TYPICAL EXTERIOR WALL EAVE
D-CH-03 SCALE: 1"=1'-0"



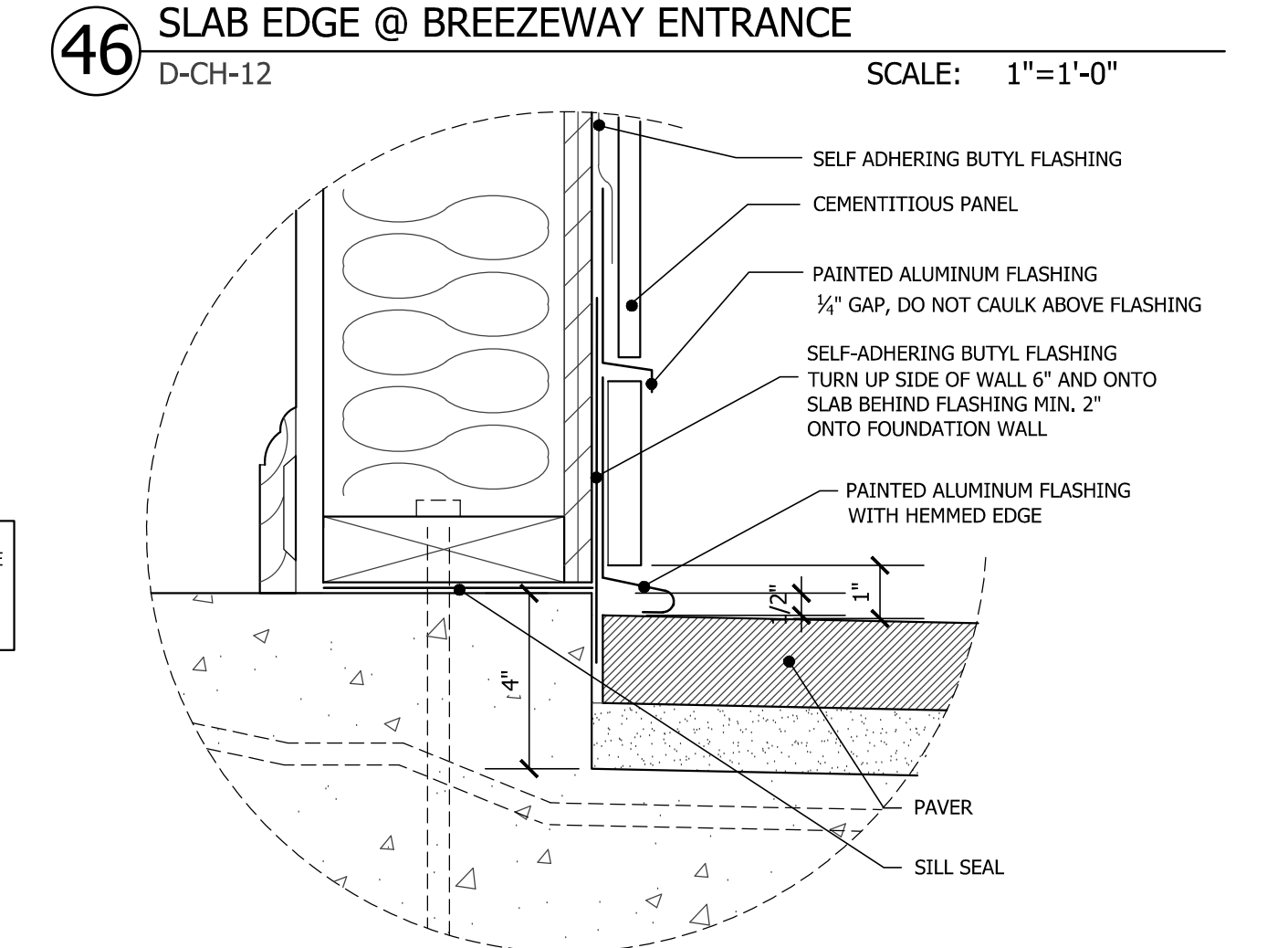
50 STEM WALL @ POOL EQUIPMENT ROOM
D-CH-19 SCALE: 1"=1'-0"



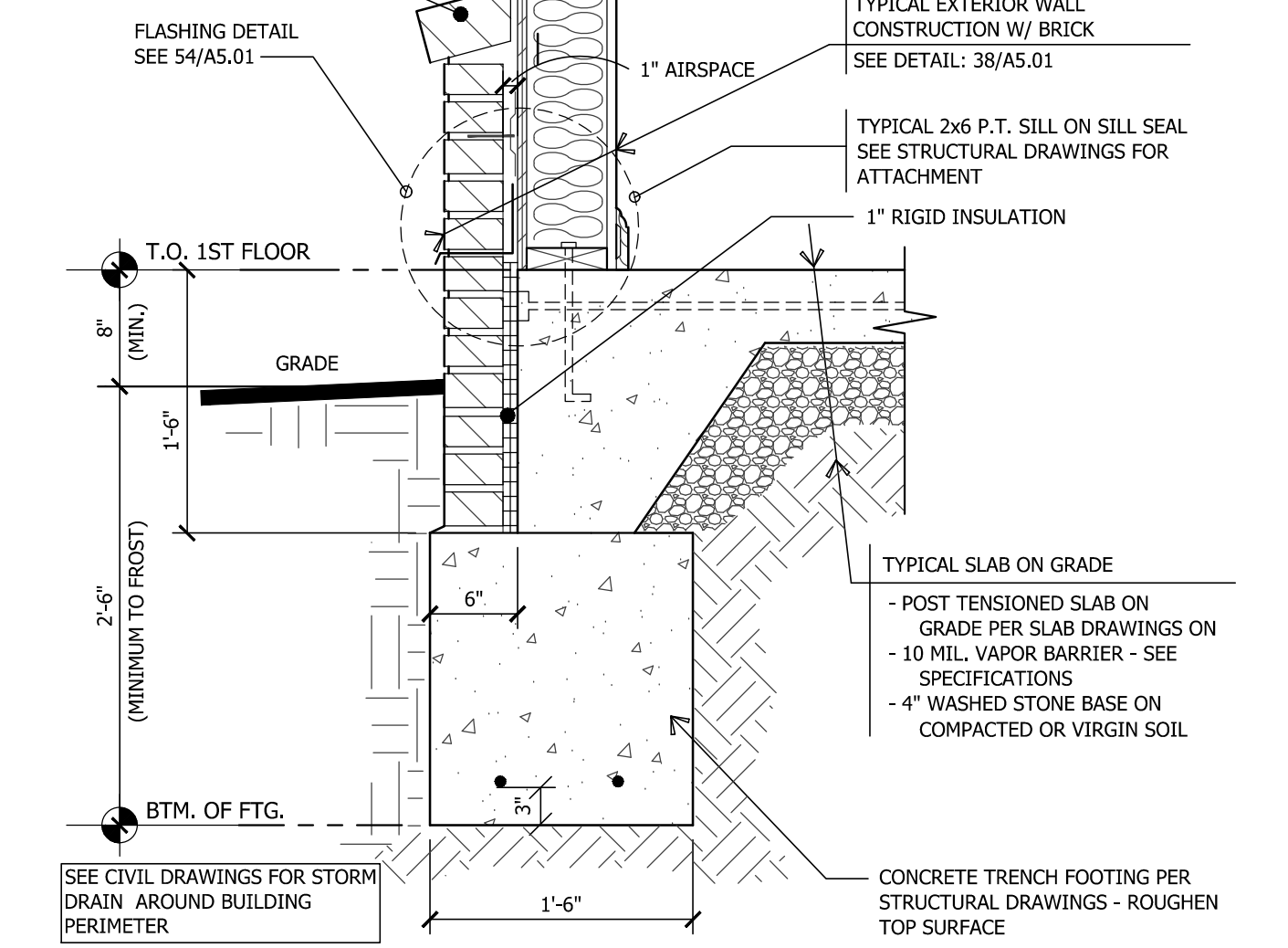
52 FOUNDATION @ DROPPED SLAB
D-CH-31 SCALE: 1"=1'-0"



54 THROUGH WALL FLASHING @ BRICK BASE
D-CH-08 SCALE: 3"=1'-0"



56 FLASHING DETAIL AT PATIO WALL
D-CH-09 SCALE: 3"=1'-0"



58 TYP FOOTING AND P.T. SLAB ON GRADE W/ BRICK WAINSCOT
D-CH-01 SCALE: 1"=1'-0"

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P (215) 665-1080 F (215) 561-5064

P.A.: JMR
P.M.: JOD
DRAWN BY: TT
PROJECT NO.: 1932-01

DATE	REVISION	ISSUED FOR CONSTRUCTION SET
06/06/2021	0	

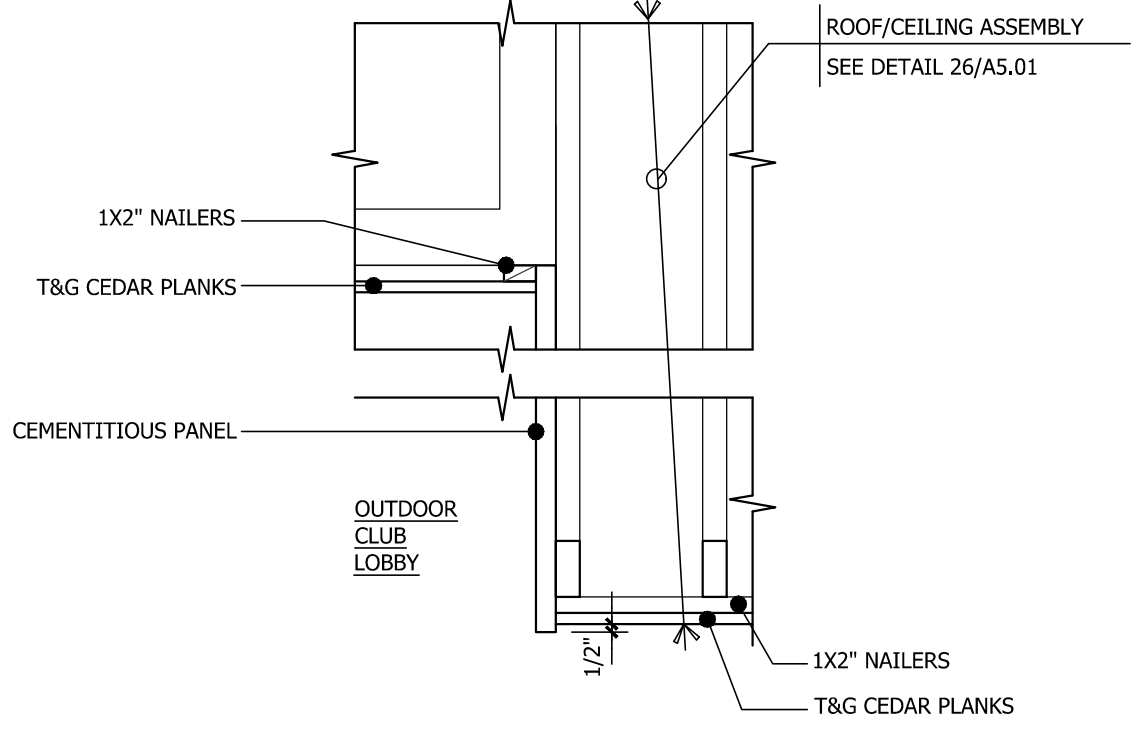
DETAILS
BAINBRIDGE MARKET COMMONS
FREDERICK, MD

THE BAINBRIDGE COMPANIES LLC
NOT FOR CONSTRUCTION

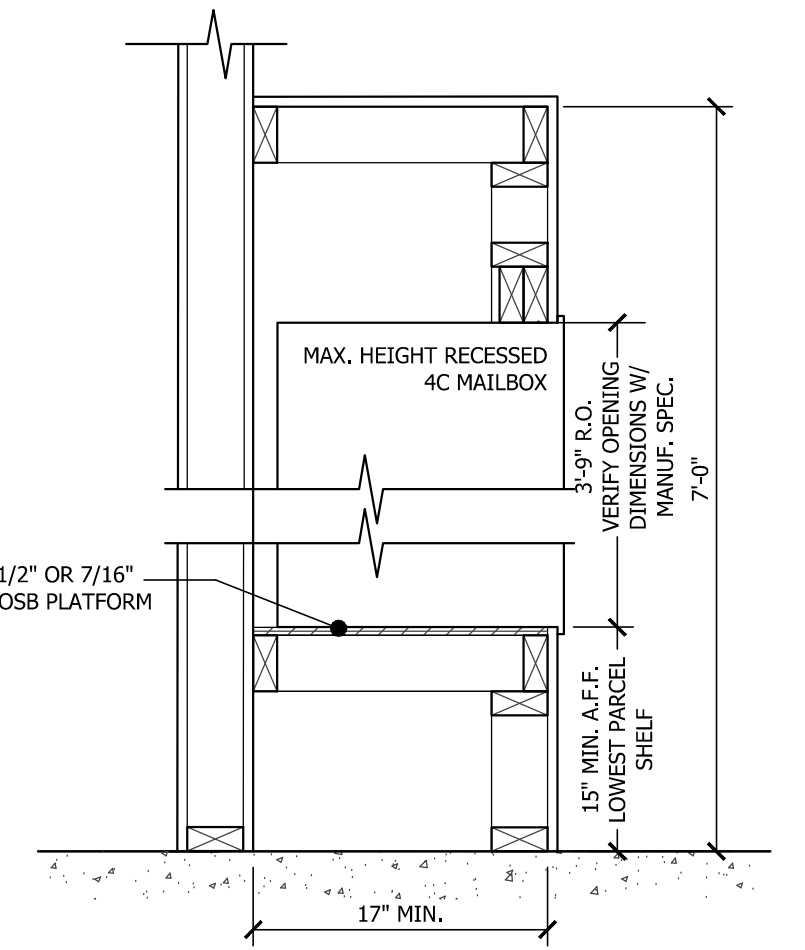
SCALE: AS NOTED
DATE: 10-02-2020

CLUBHOUSE

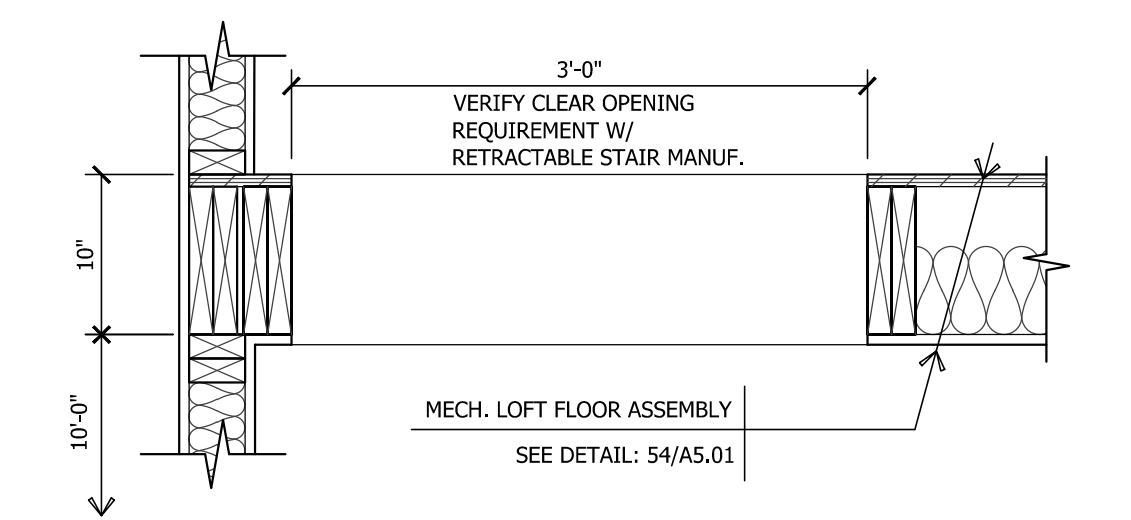
A5.01
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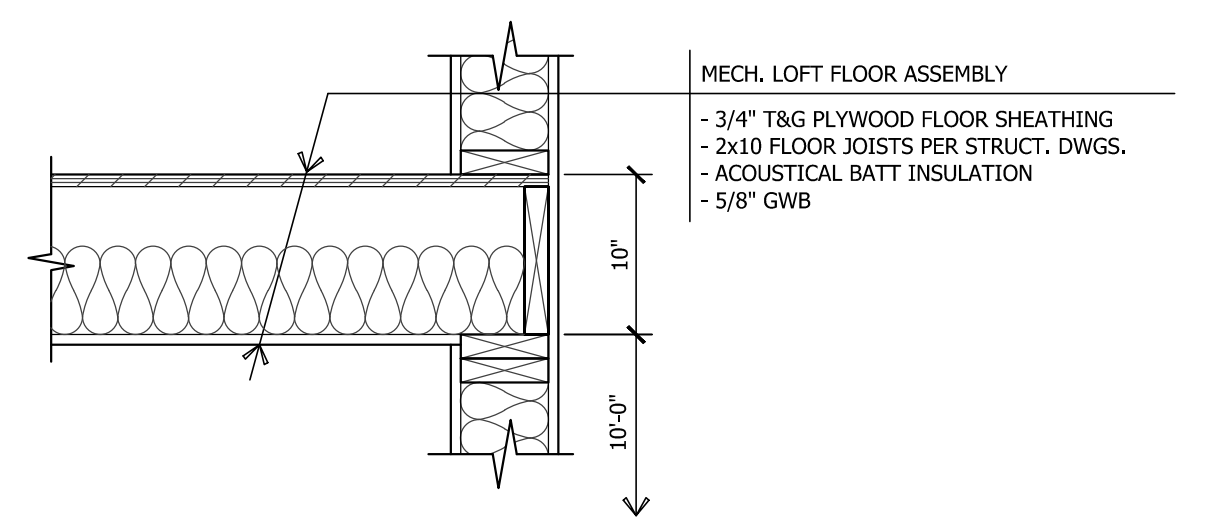
10 REAR HIGH WALL AT MAIN ENTRY
DTL-CH-42 SCALE: 1"=1'-0"



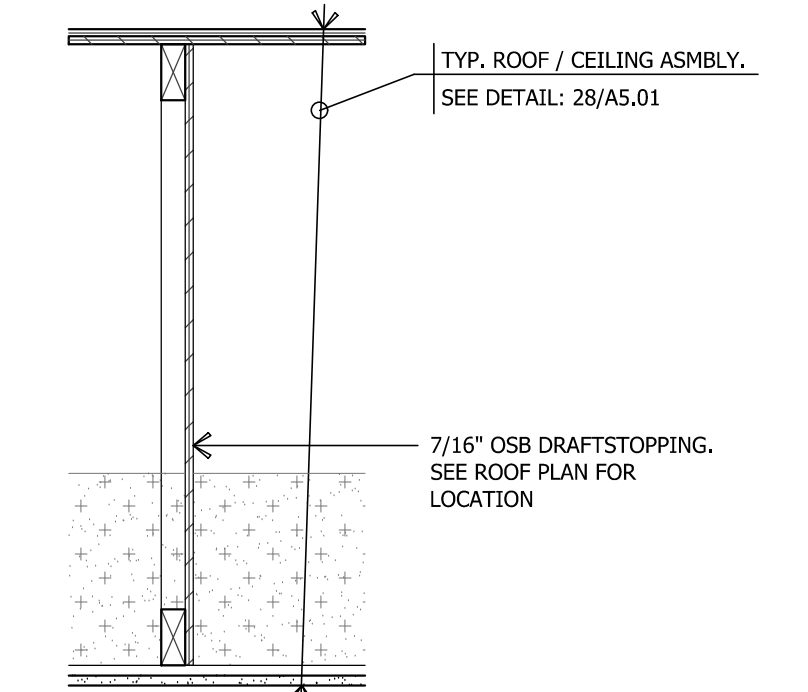
12 4C MAILBOX BUILD-OUT
D-CH-18 SCALE: 1"=1'-0"



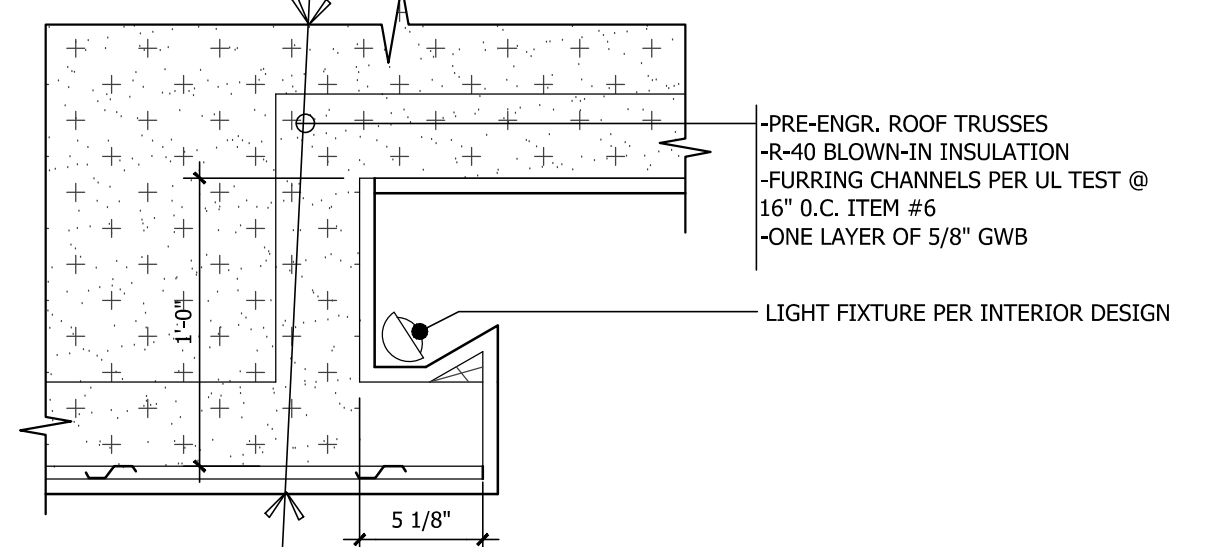
14 MECHANICAL LOFT OPENING
D-CH-13 SCALE: 1"=1'-0"



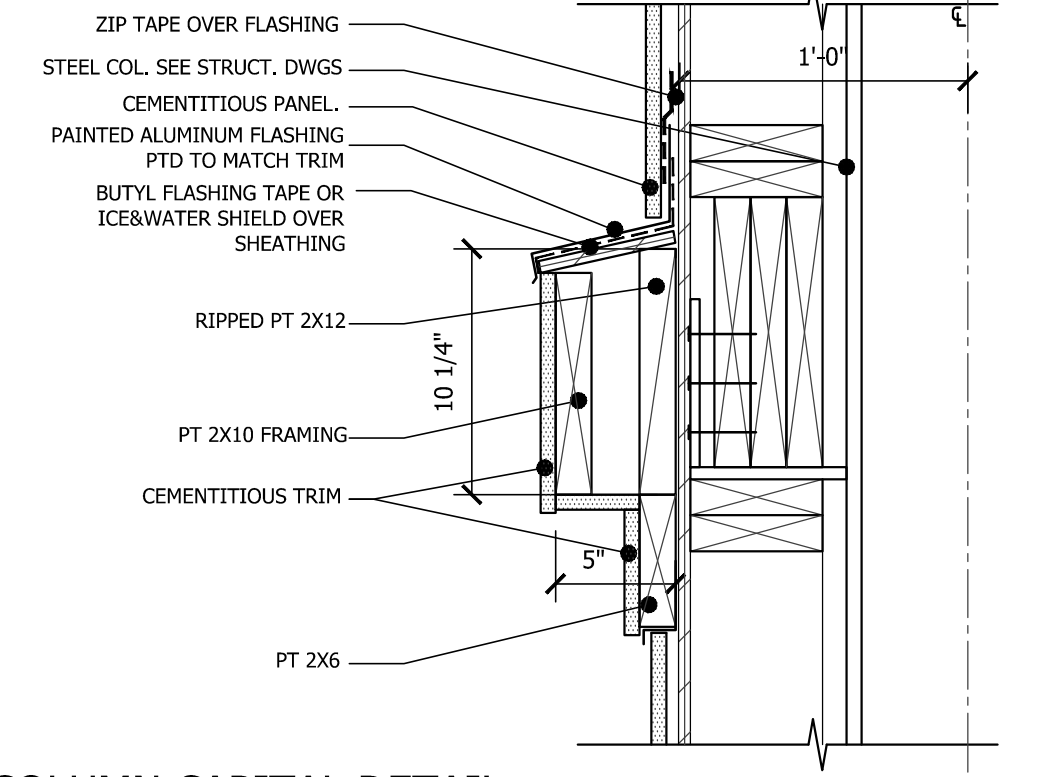
16 MECHANICAL LOFT @ END WALL
D-CH-14 SCALE: 1"=1'-0"



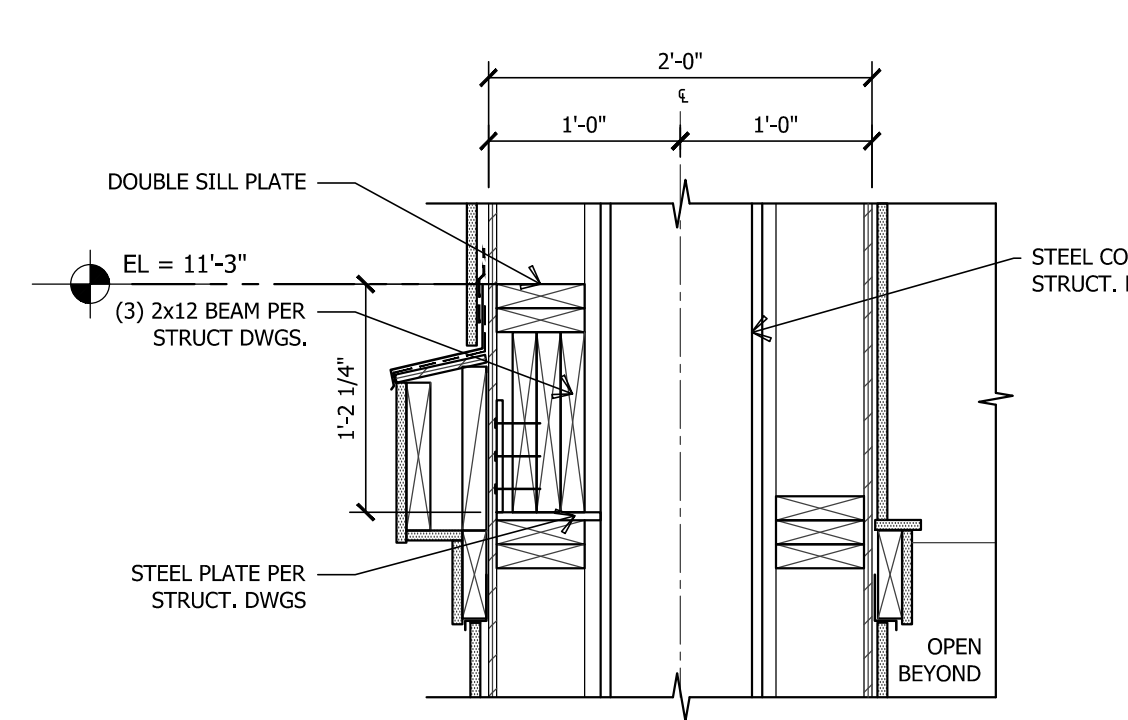
18 DRAFTING STOPPING
D-CH-25 SCALE: 1"=1'-0"



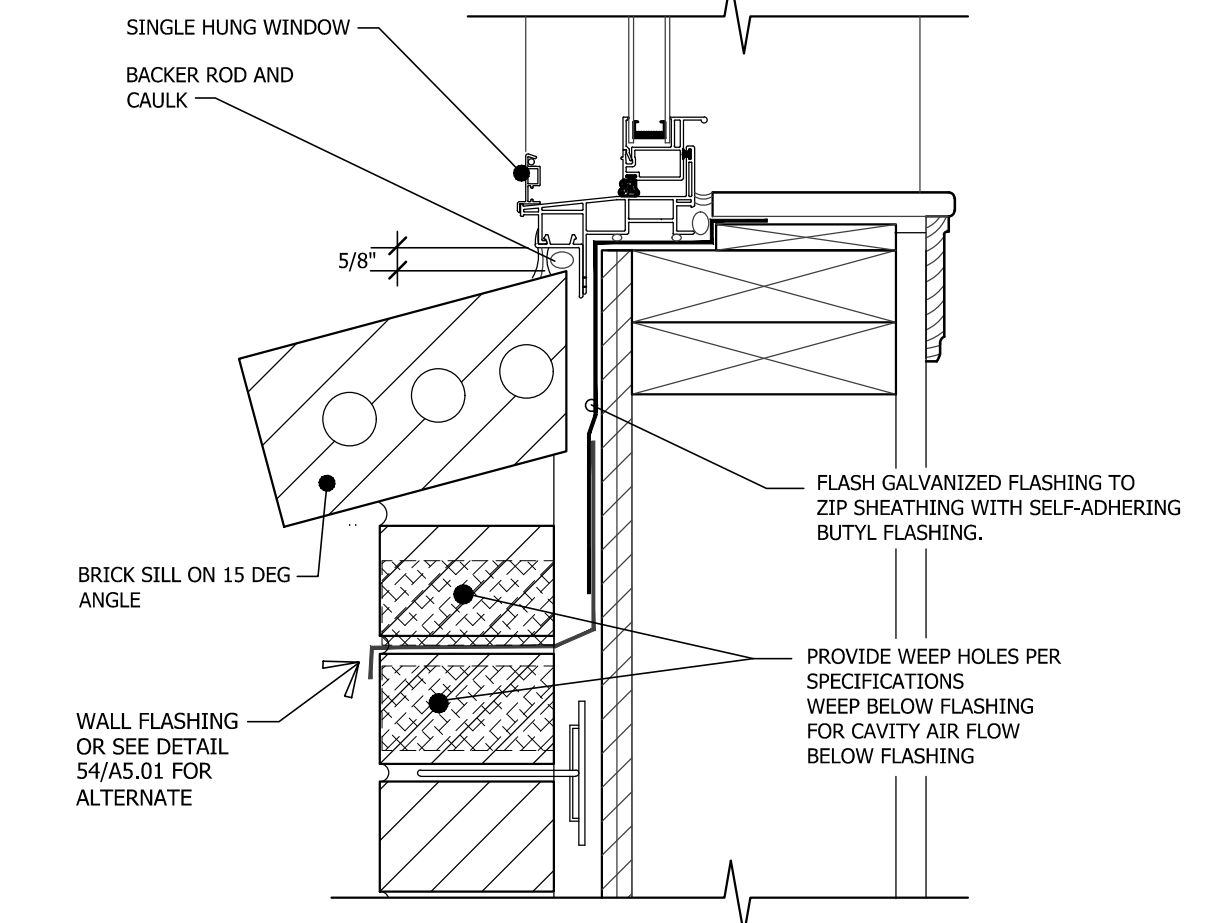
20 CEILING DETAIL
D-CH-39 SCALE: 1 1/2"=1'-0"



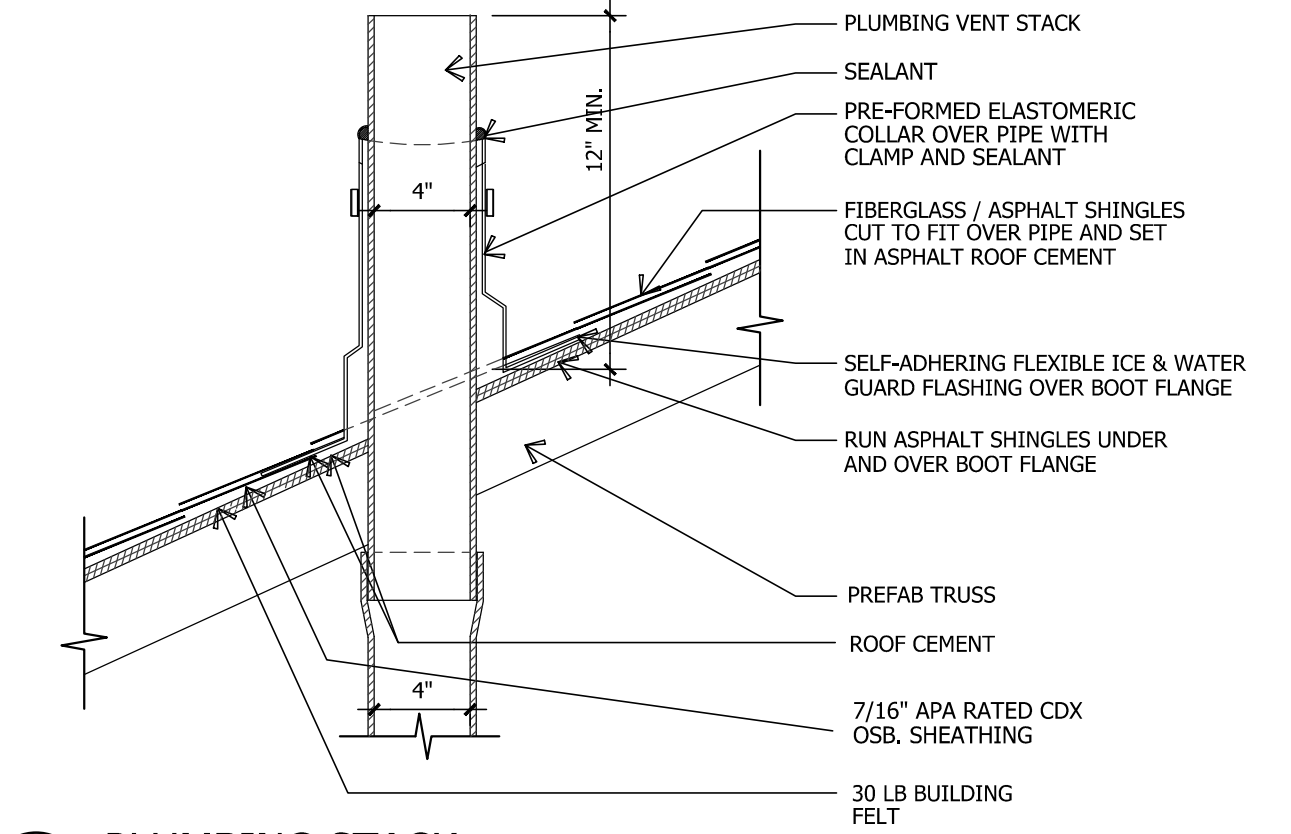
22 COLUMN CAPITAL DETAIL
D-CH-28 SCALE: 1 1/2"=1'-0"



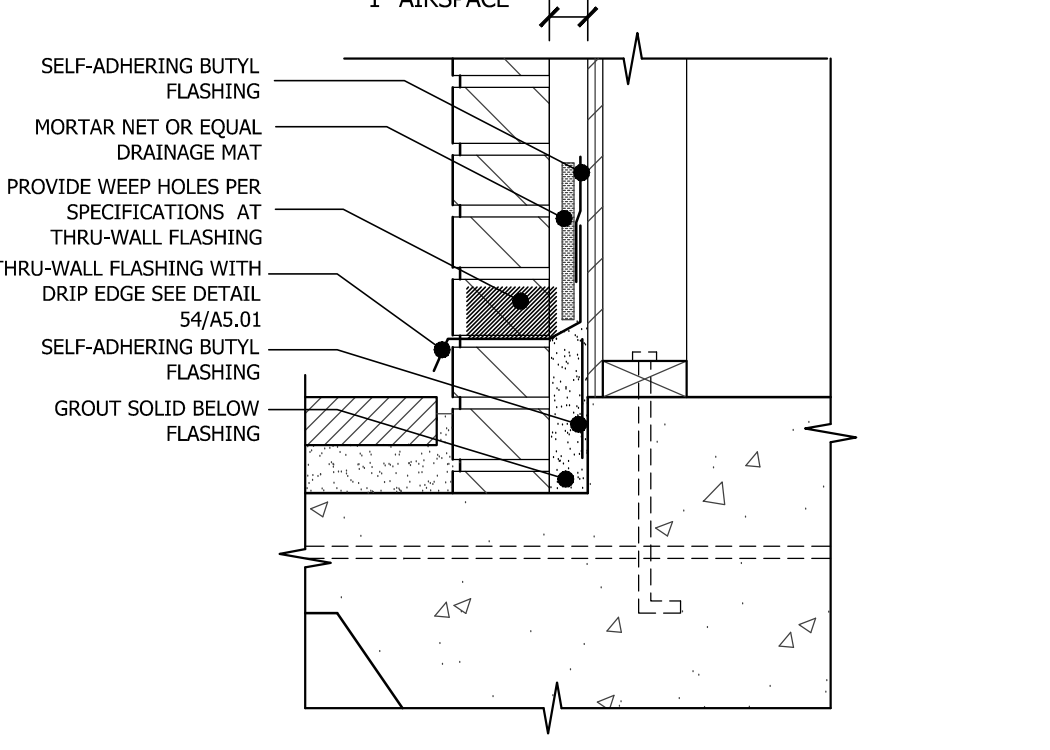
24 COLUMN CAPITAL AT ENTRANCE
D-CH-43 SCALE: 1"=1'-0"



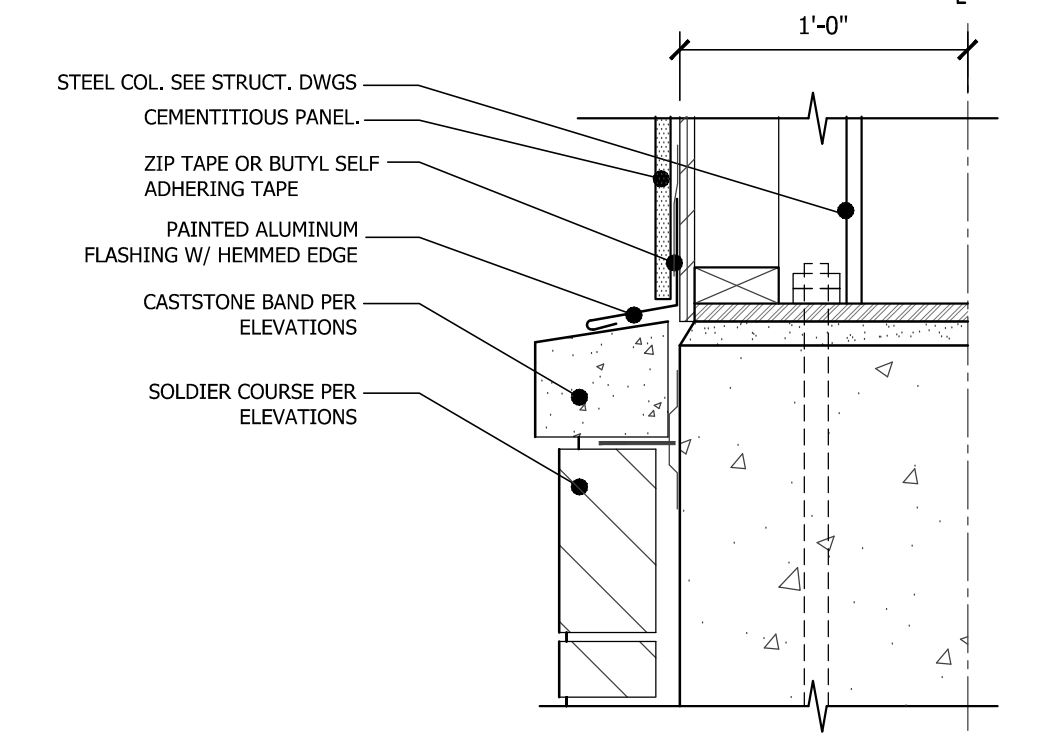
26 BRICK ROWLOCK @ WINDOW SILL
D-F-01 SCALE: 3"=1'-0"



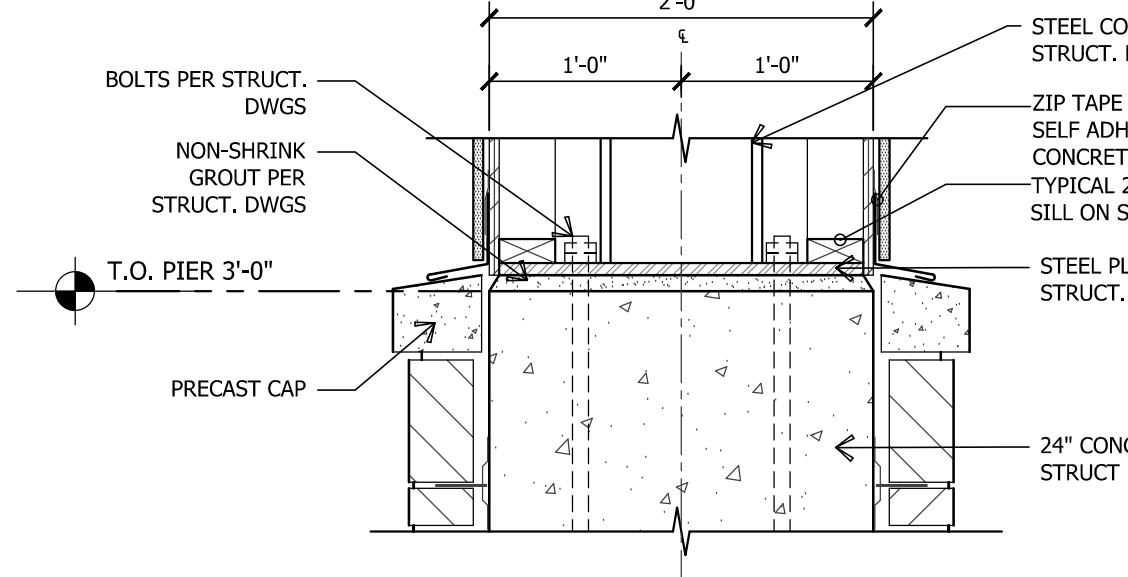
28 PLUMBING STACK
D-CH-24 SCALE: N.T.S.



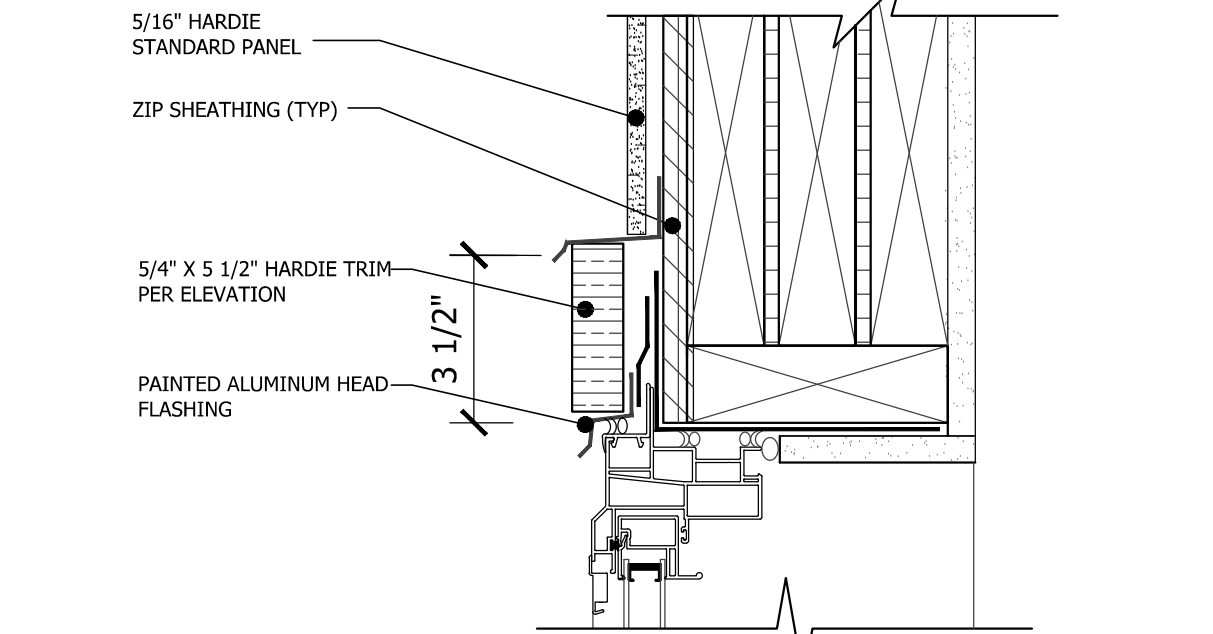
30 TOP OF BRICK @ COLUMN
D-CH-45 SCALE: 1 1/2"=1'-0"



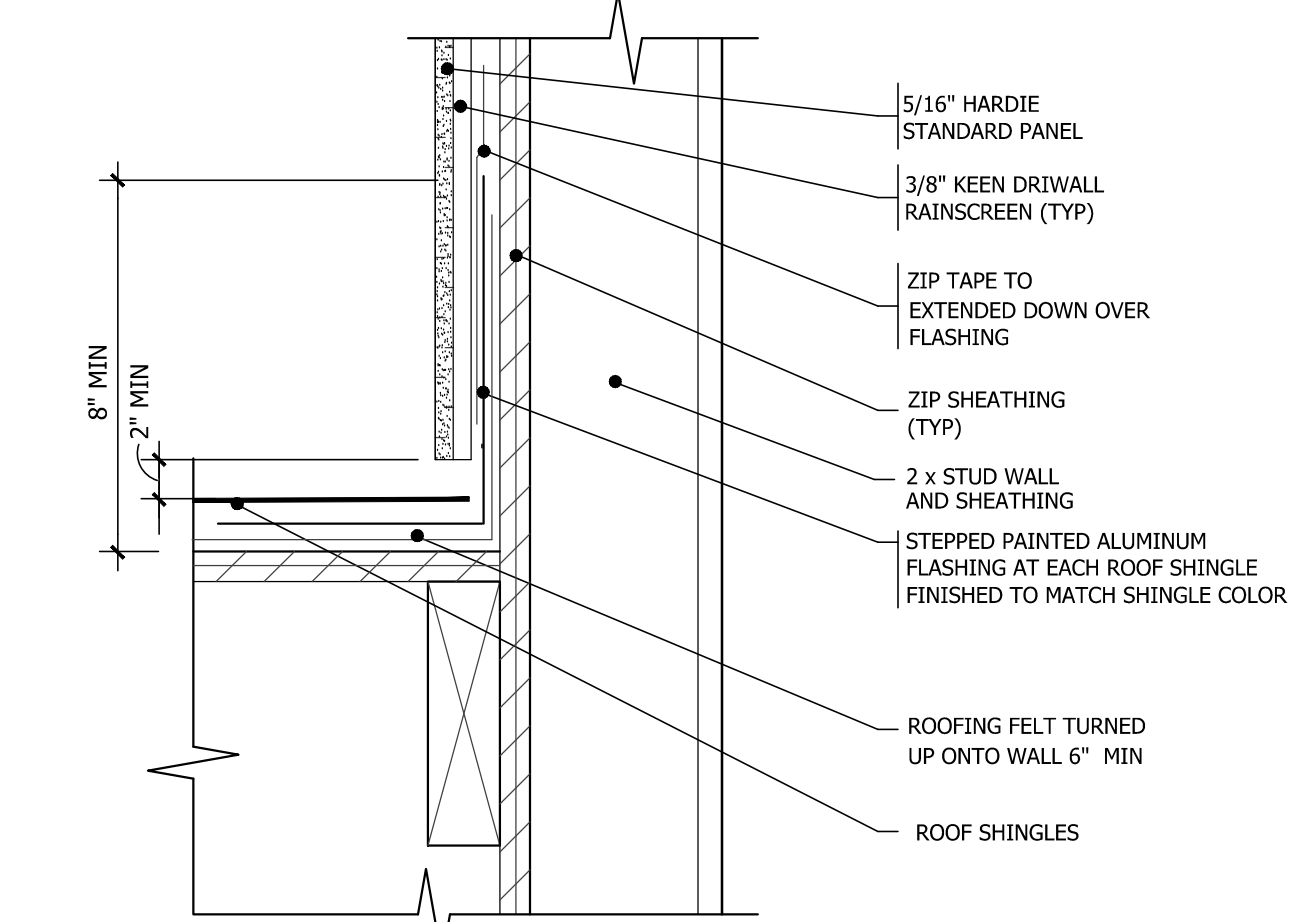
32 TOP OF BRICK @ COLUMN
D-CH-27 SCALE: 1 1/2"=1'-0"



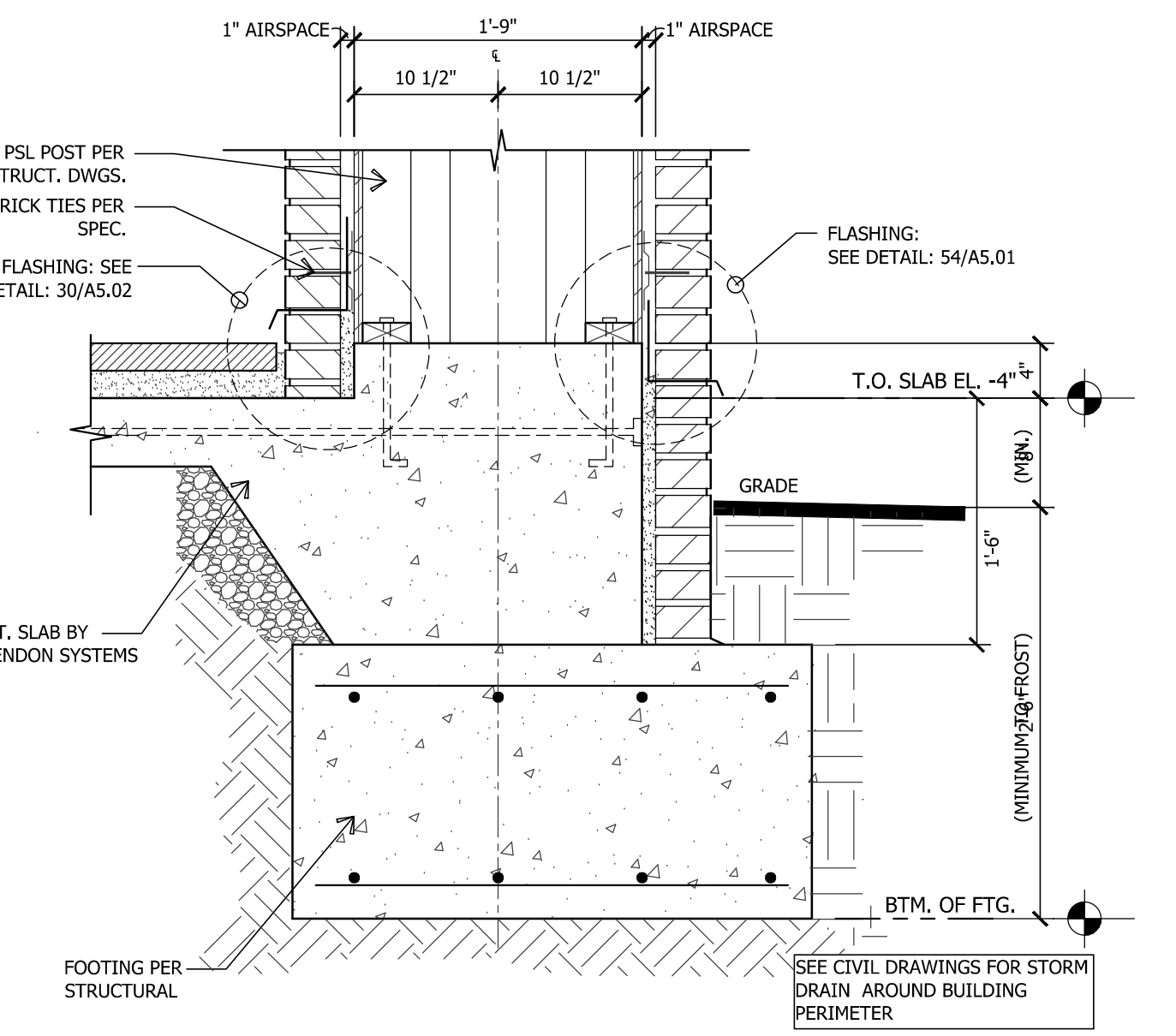
34 TOP OF BRICK AT ENTRANCE COLUMN
D-CH-41 SCALE: 1"=1'-0"



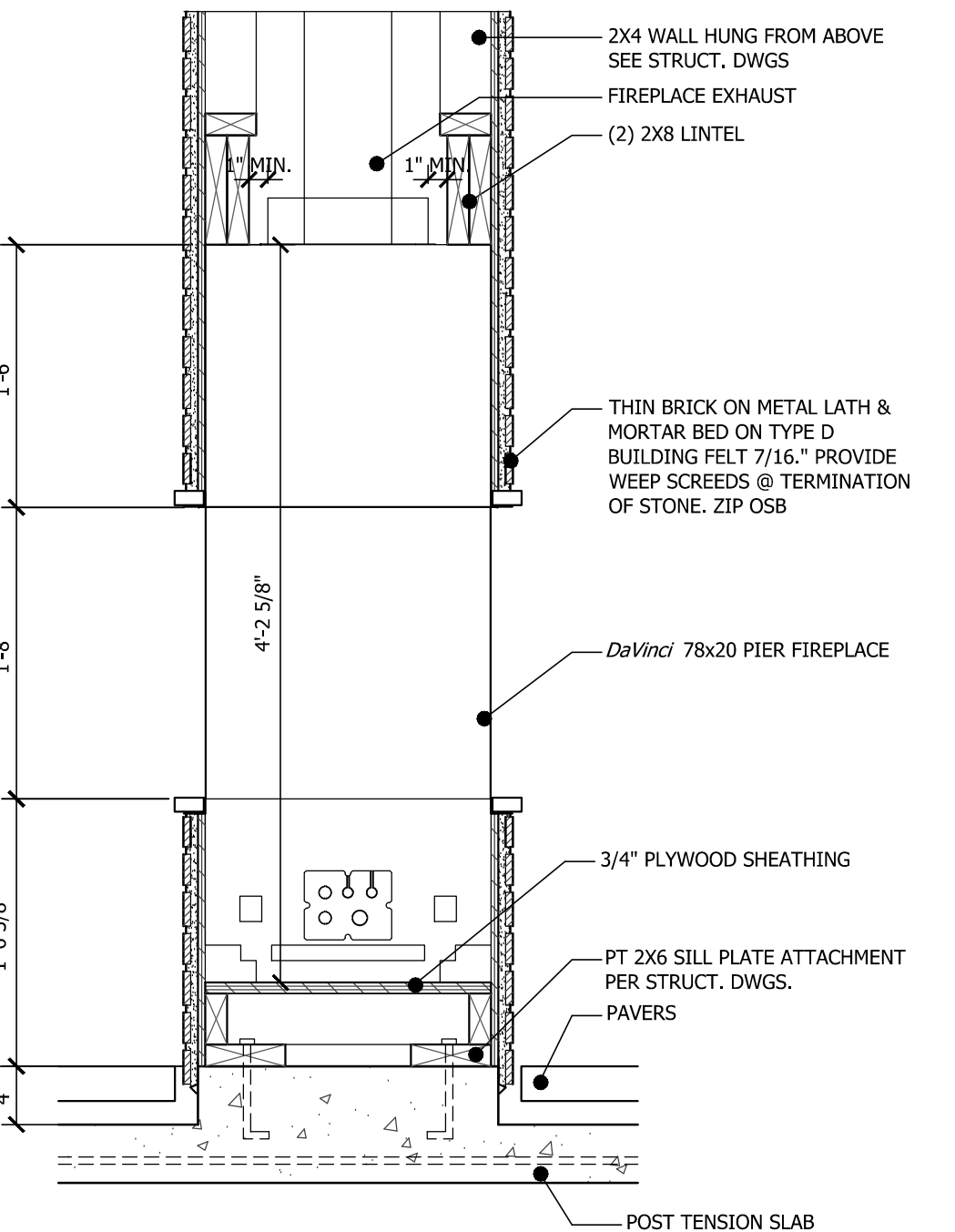
36 HARDIE PANEL AT WINDOW HEAD
D-F-04 SCALE: 3"=1'-0"



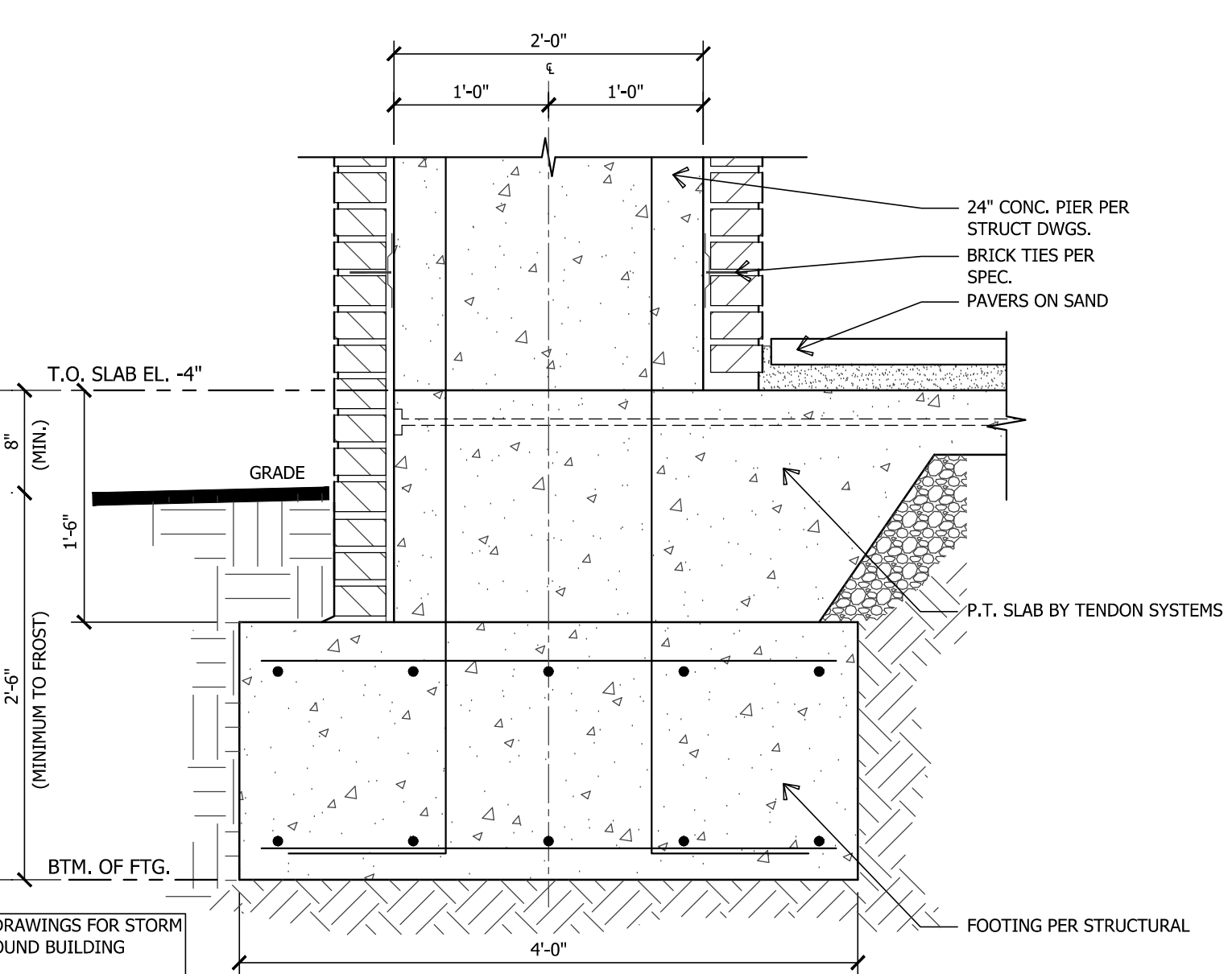
38 WALL TO ROOF FLASHING - TYPICAL DETAIL
D-CH-21 SCALE: N.T.S.



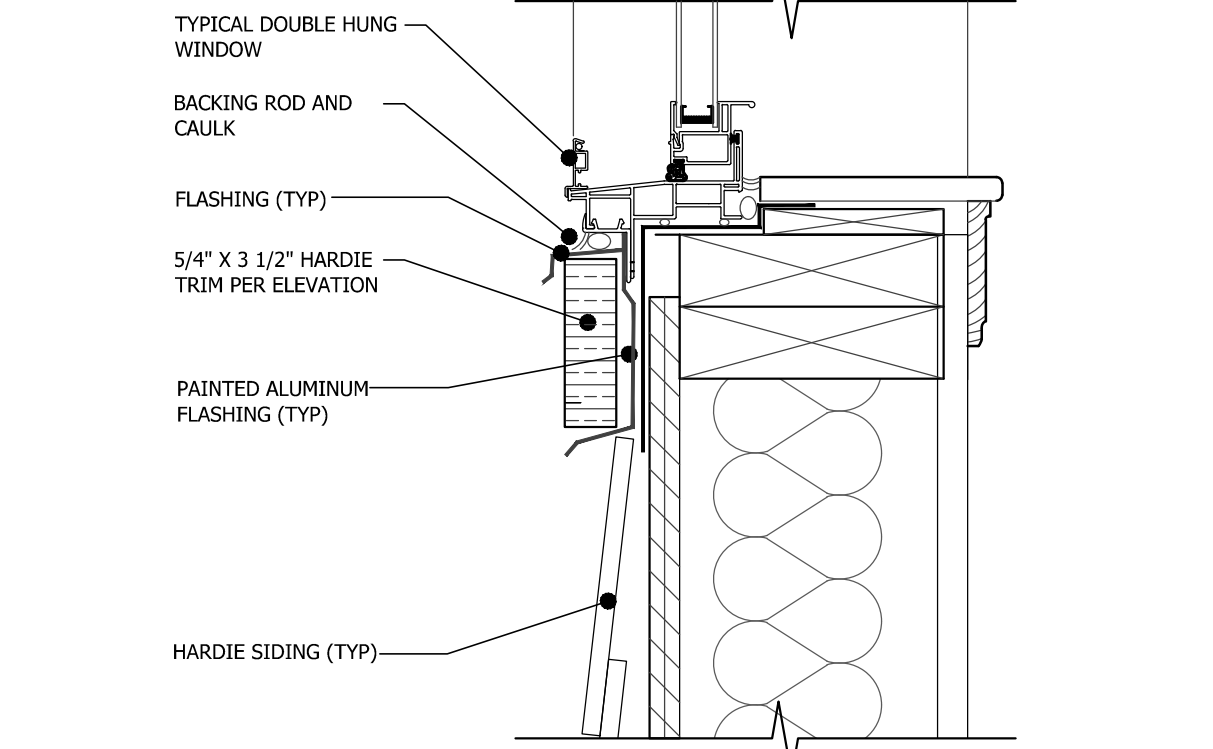
40 FOOTING AT REAR BREEZWAY COLUMN
D-CH-43 SCALE: 1"=1'-0"



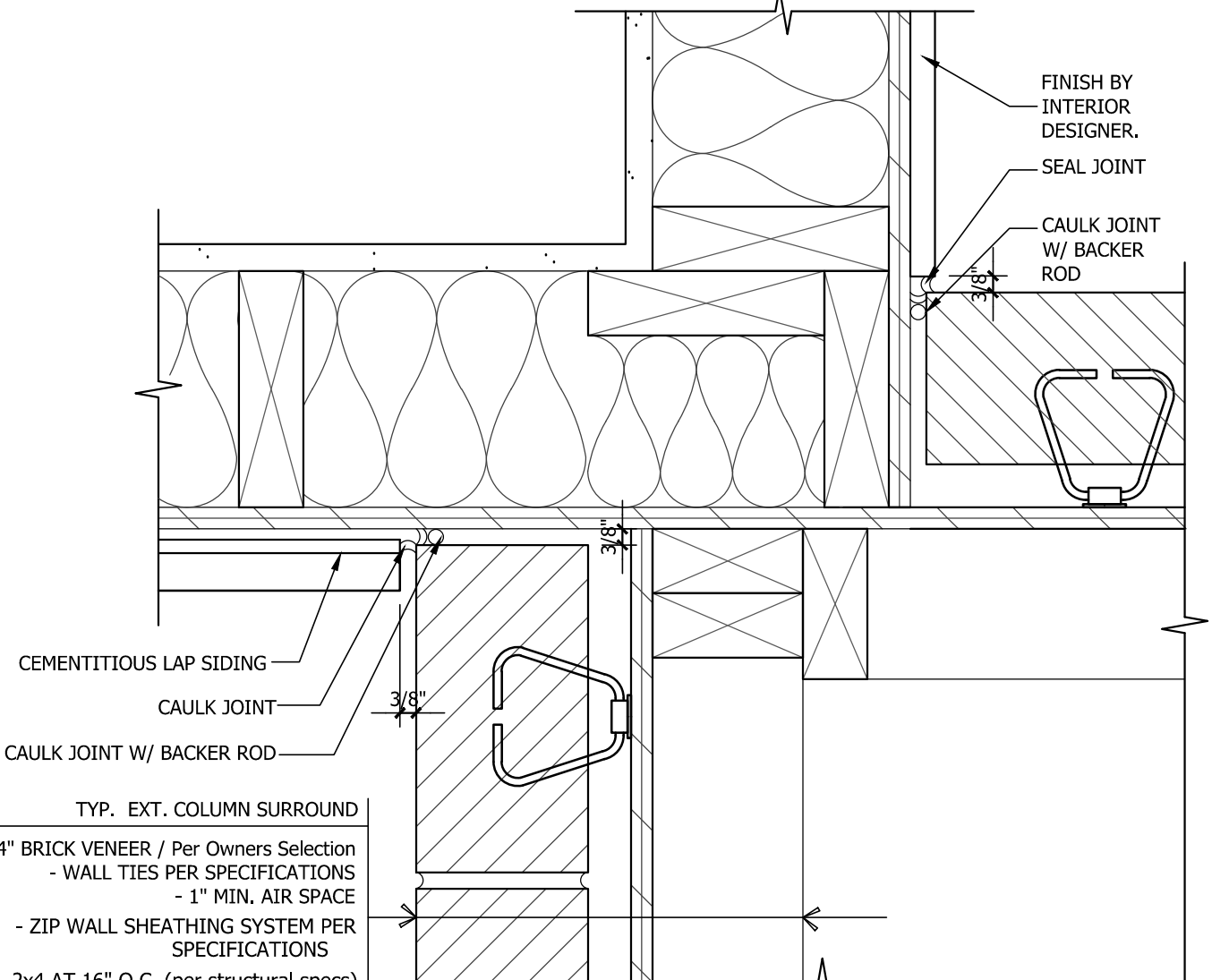
52 DETAIL @ EXTERIOR FIREPLACE
D-CH-40 SCALE: 1"=1'-0"



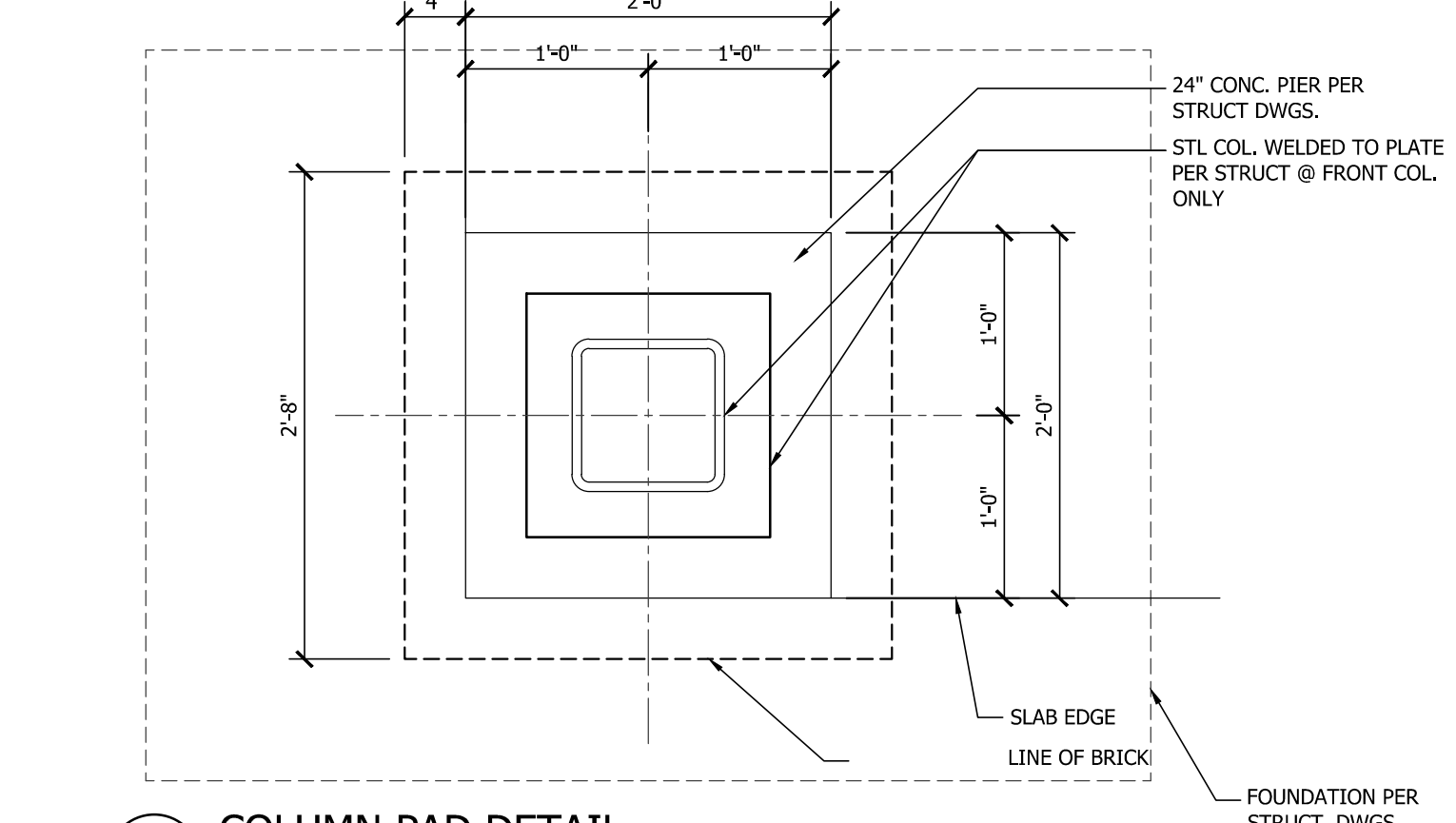
44 FOOTING AT ENTRANCE COLUMN
D-CH-38 SCALE: 1"=1'-0"



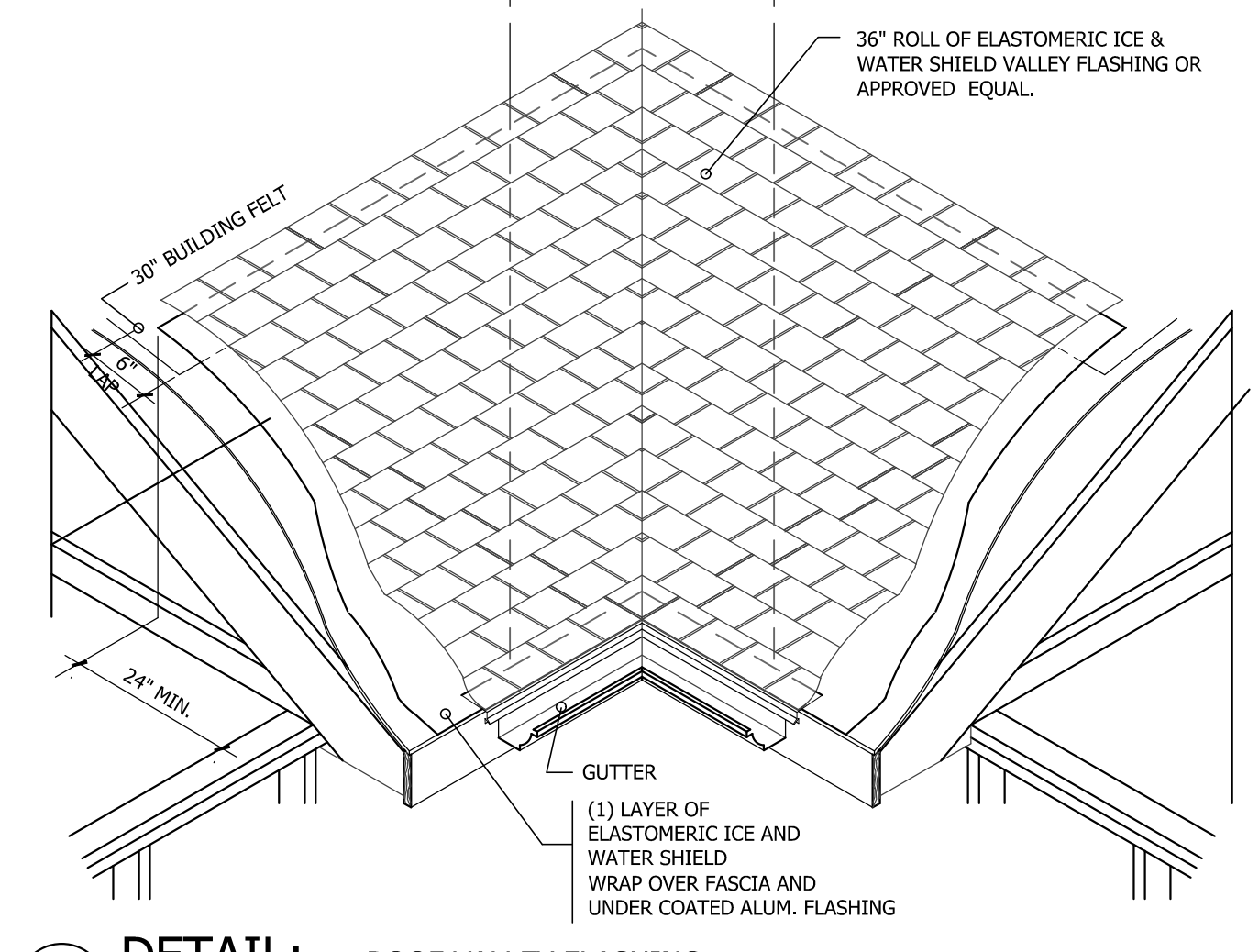
46 HARDIE PANEL AT WINDOW SILL
D-F-08 SCALE: 3"=1'-0"



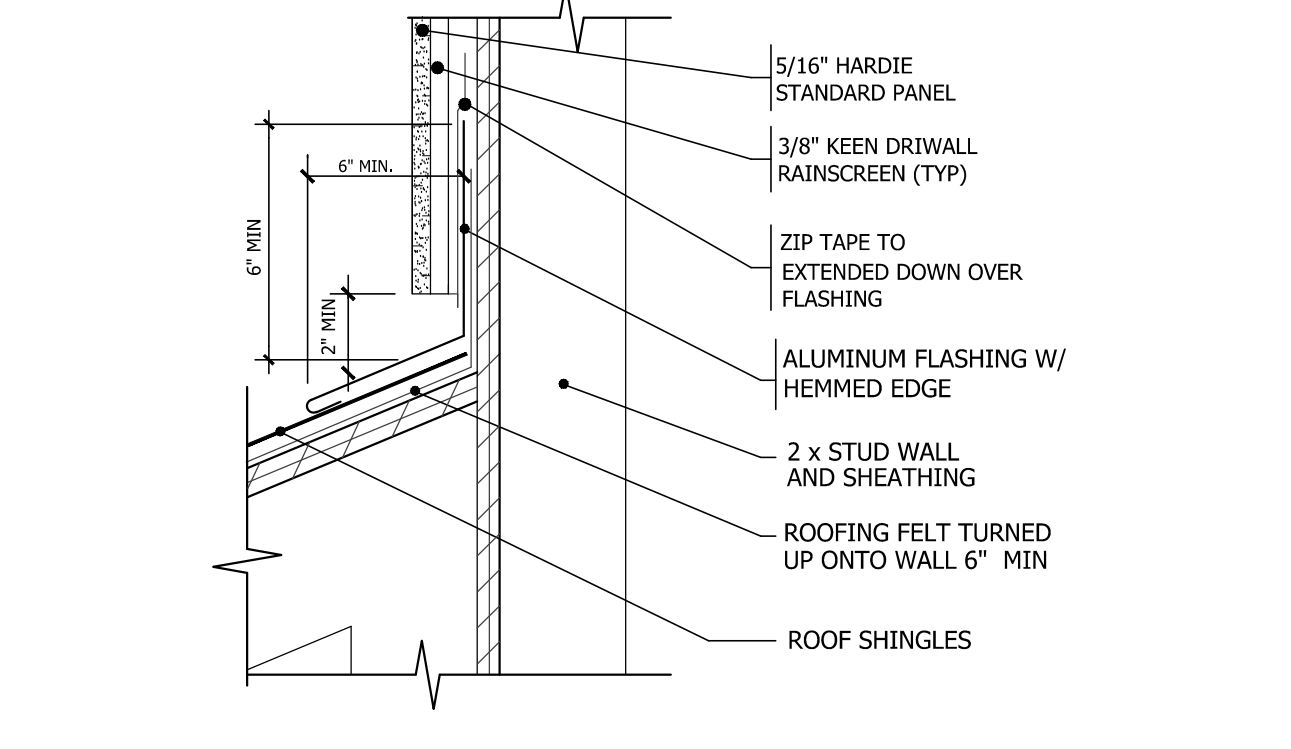
50 COLUMN TO WALL INTERFACE
D-CH-26 SCALE: 3"=1'-0"



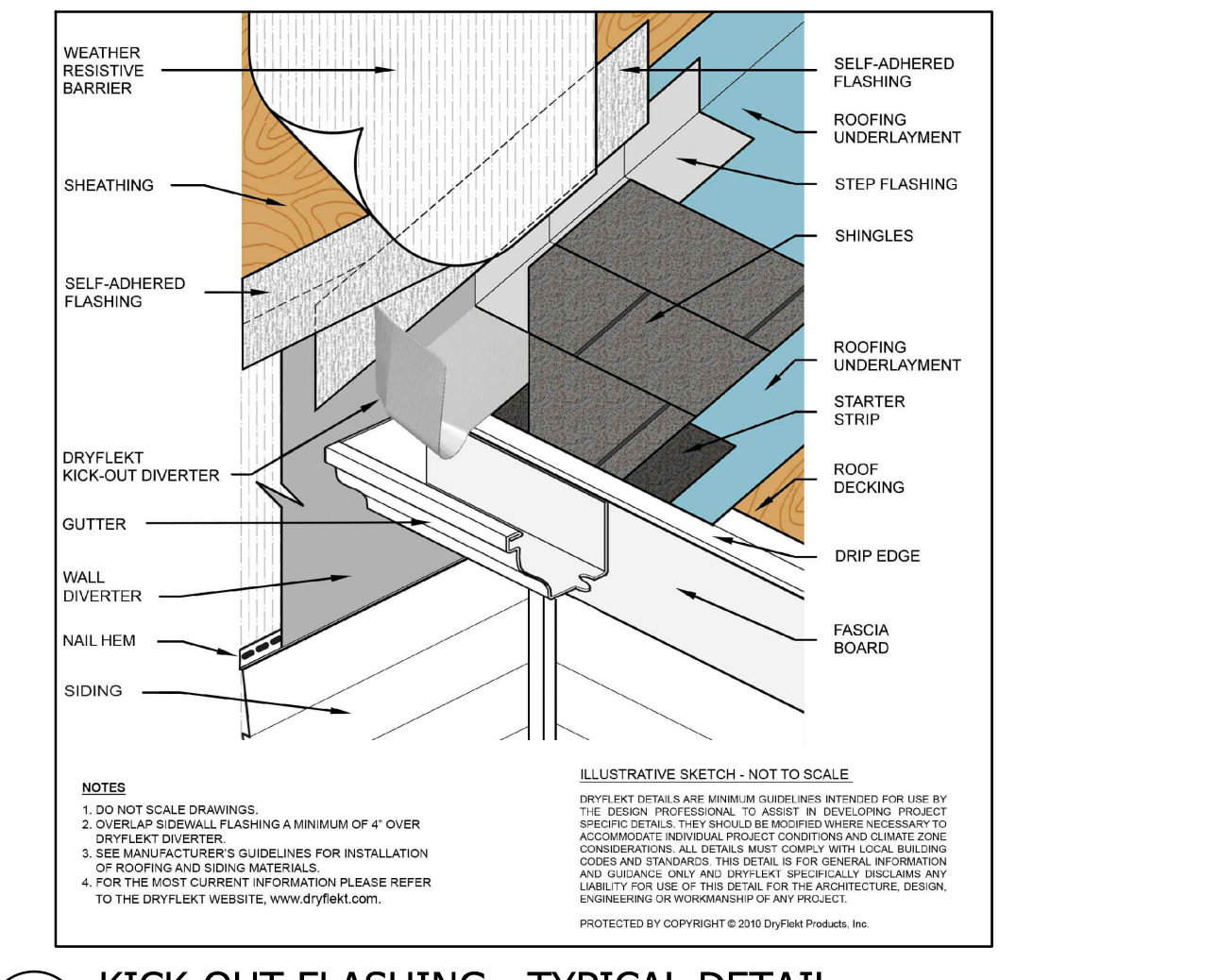
54 COLUMN PAD DETAIL
D-CH-37 SCALE: 1"=1'-0"



56 DETAIL: ROOF VALLEY FLASHING
D-CH-23 SCALE: N.T.S.

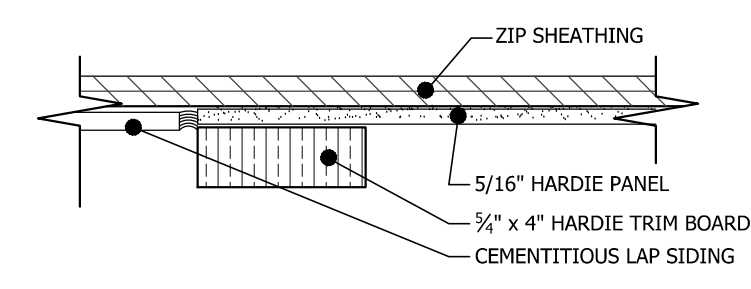


48 WALL TO ROOF FLASHING - TYPICAL DETAIL
D-CH-22 SCALE: N.T.S.

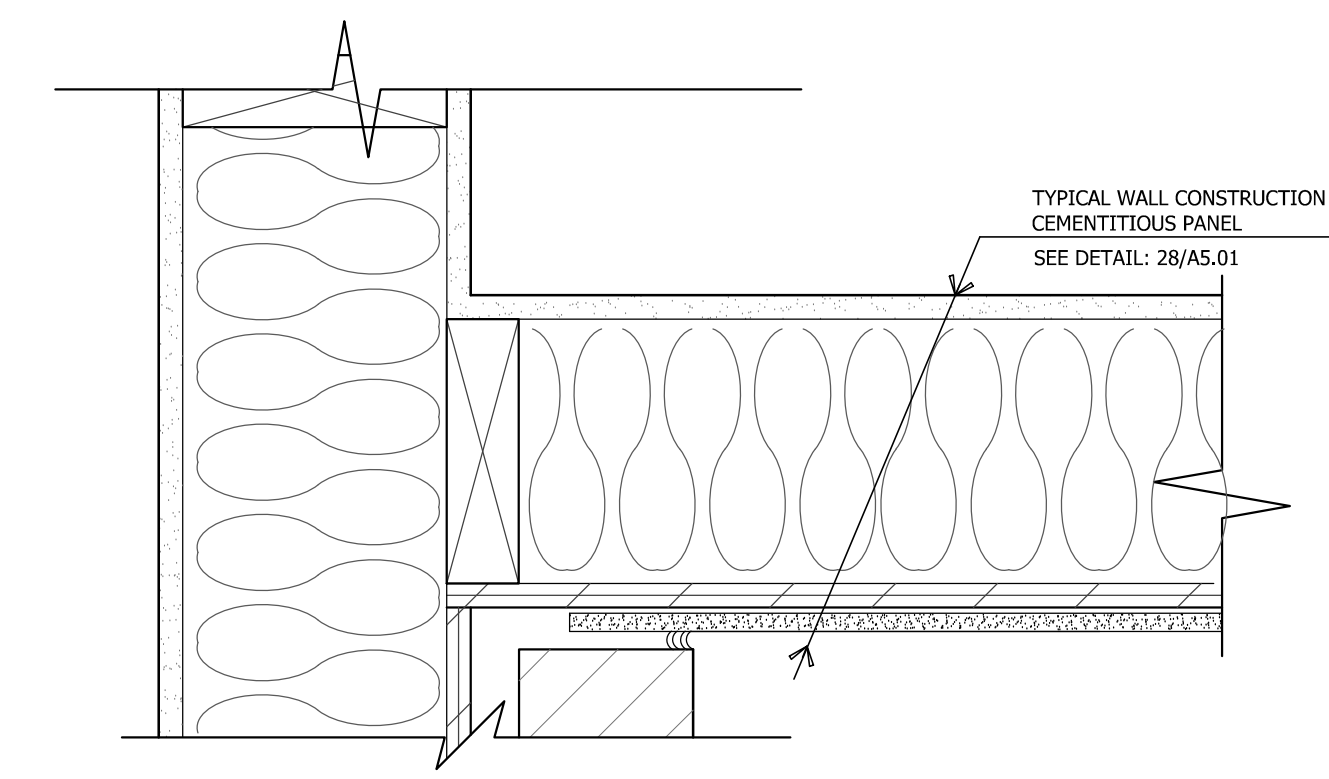


58 KICK-OUT FLASHING - TYPICAL DETAIL
D-CH-20 SCALE: 1"=1'-0"

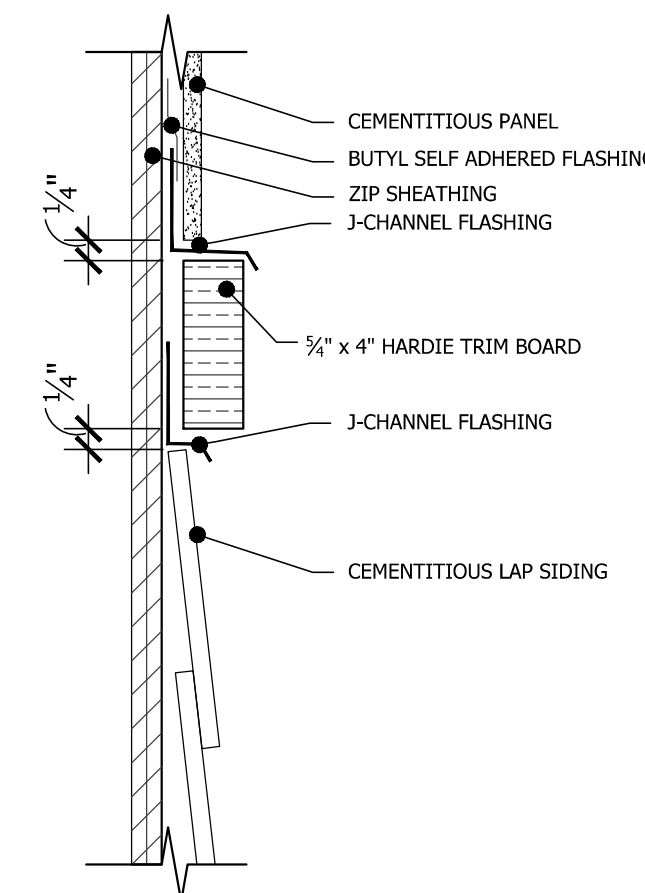
DATE	REVISION	ISSUED FOR CONSTRUCTION SET
08/05/2021	0	



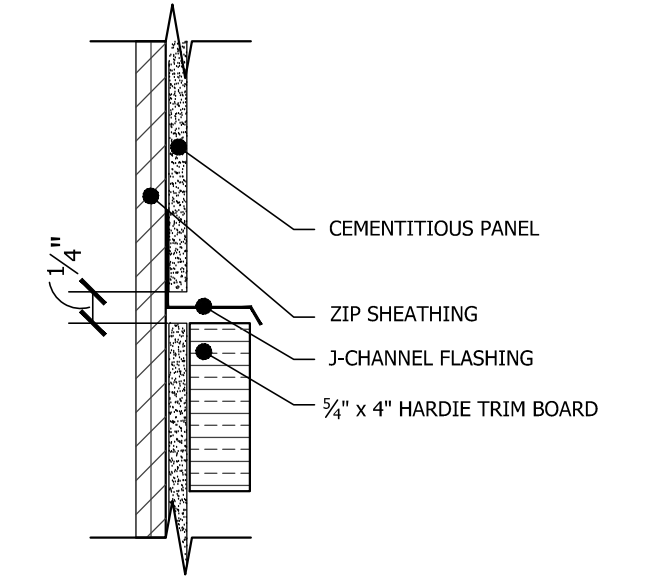
10 DETAIL: CEMENTITIOUS PANEL TO SIDING TRANSITION
D-CH-107 SCALE: 3"=1'-0"



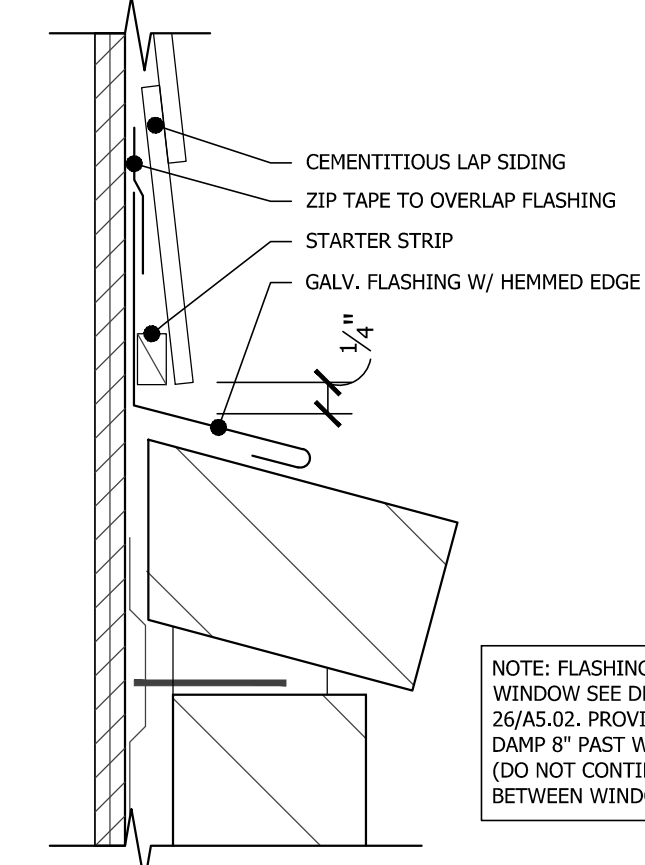
12 DETAIL: BRICK & CEMENTITIOUS PANEL/SIDING AT CORNER CONDITION
D-CH-107 SCALE: 3"=1'-0"



20 DETAIL: PANEL TRANSITION TO CEMENTITIOUS SIDING
D-CH-107 SCALE: 3"=1'-0"

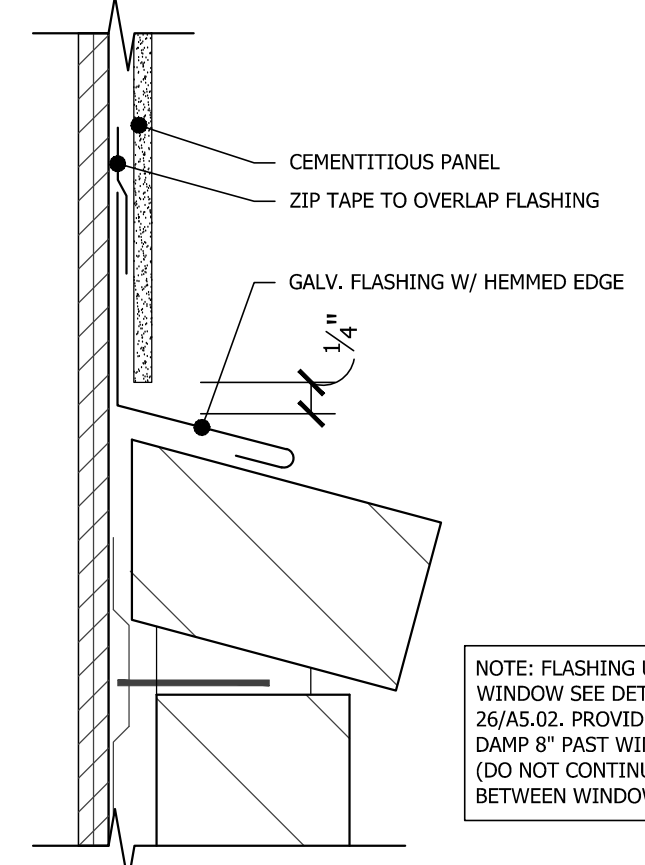


22 DETAIL: CEMENTITIOUS TRIM-GAP
D-CH-107 SCALE: 3"=1'-0"



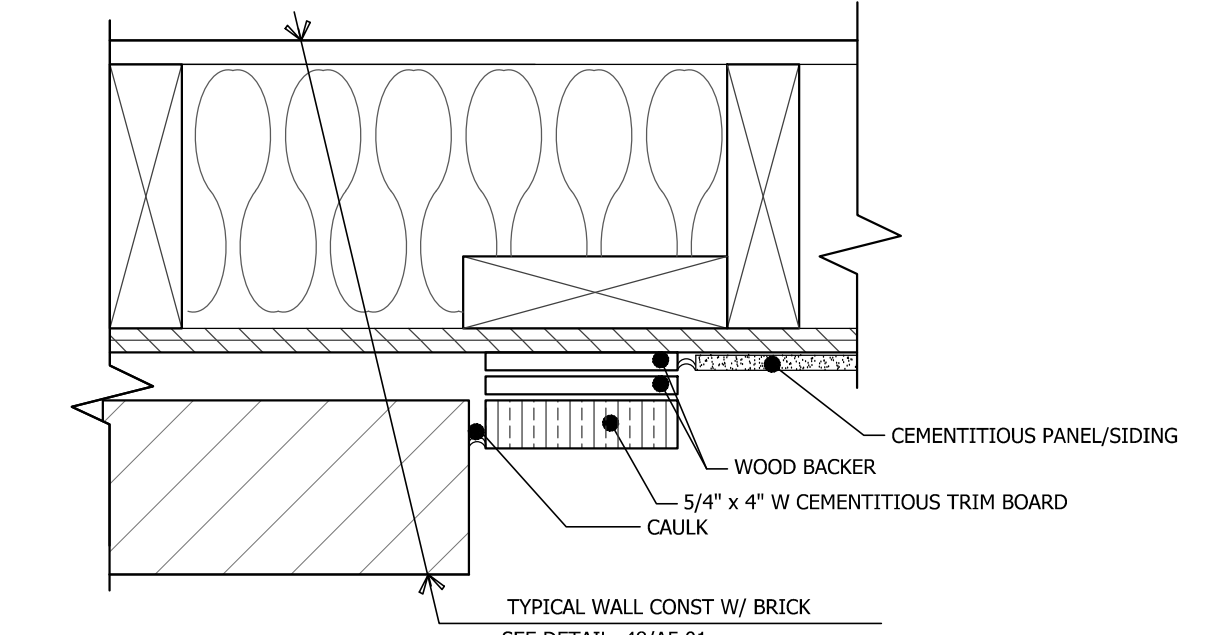
30 DETAIL: CEMENTITIOUS SIDING TRANSITION TO BRICK
D-CH-107 SCALE: 3"=1'-0"

NOTE: FLASHING UNDER WINDOW SEE DETAIL 26/AS.01. PROVIDE END DAMP 8\"/>

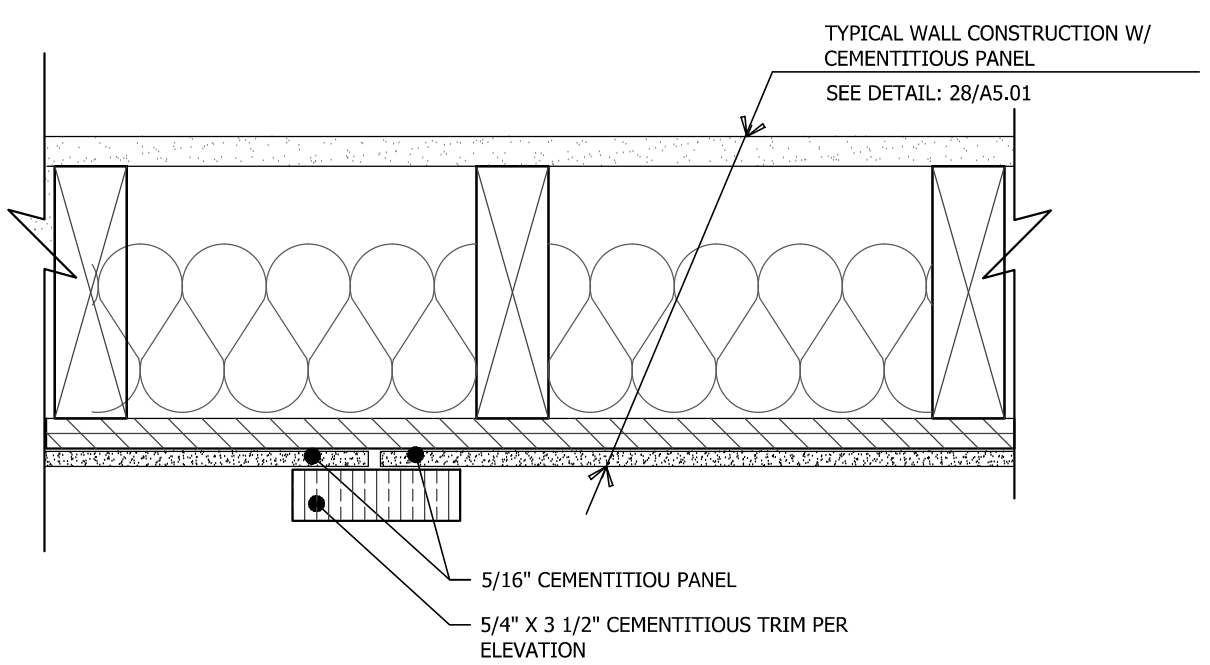


32 DETAIL: CEMENTITIOUS PANEL TRANSITION TO BRICK
D-CH-107 SCALE: 3"=1'-0"

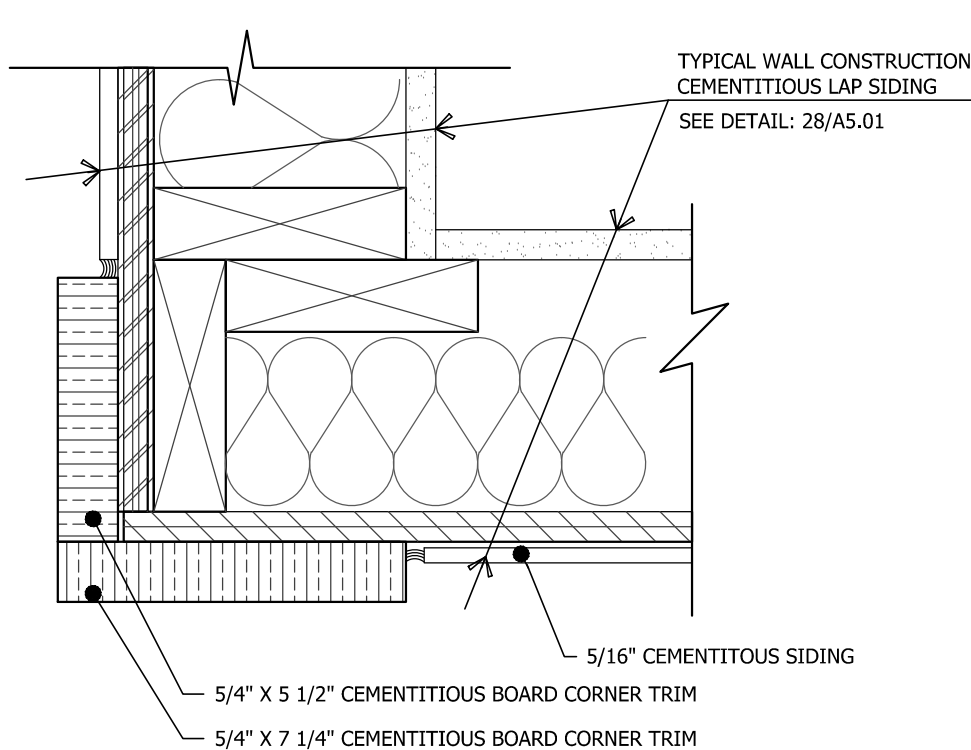
NOTE: FLASHING UNDER WINDOW SEE DETAIL 48/AS.01. PROVIDE END DAMP 8\"/>



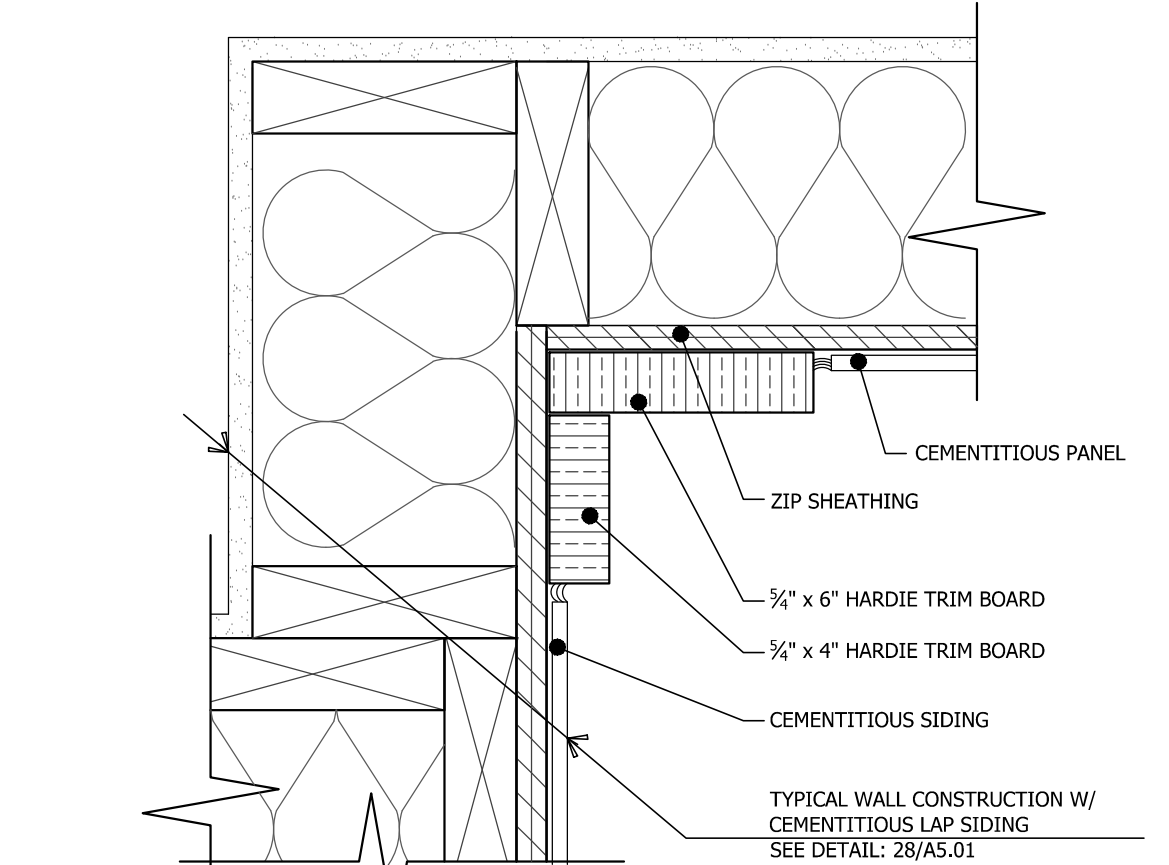
34 DETAIL: BRICK TRANSITION TO CEMENTITIOUS PANEL
D-TL-107 SCALE: 3"=1'-0"



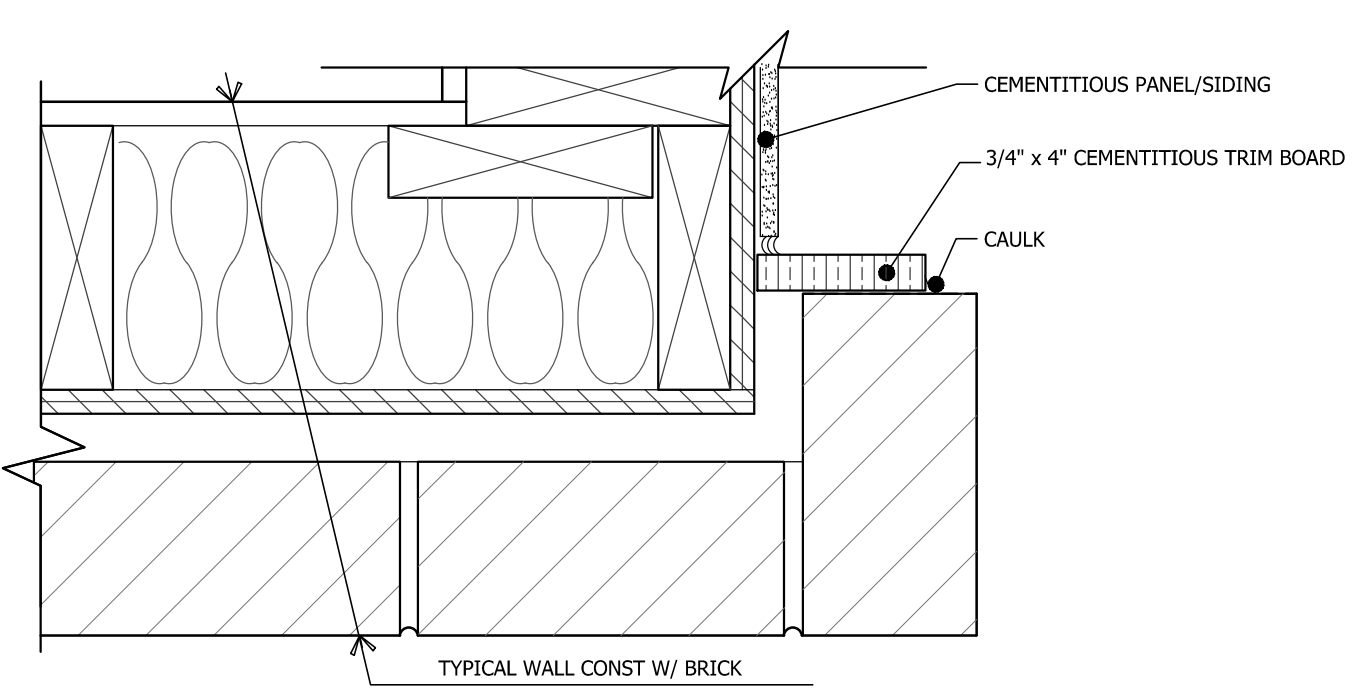
40 DETAIL: CEMENTITIOUS PANEL AND TRIM CONDITION
D-CH-107 SCALE: 3"=1'-0"



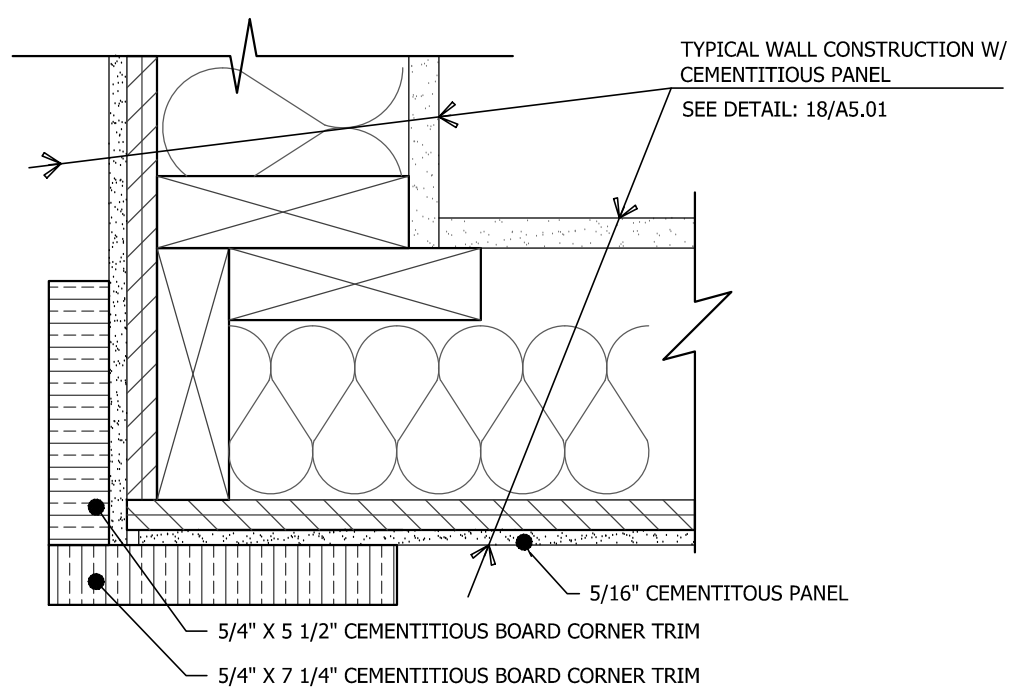
42 DETAIL: CEMENTITIOUS LAP SIDING AT CORNER CONDITION
D-CH-107 SCALE: 3"=1'-0"



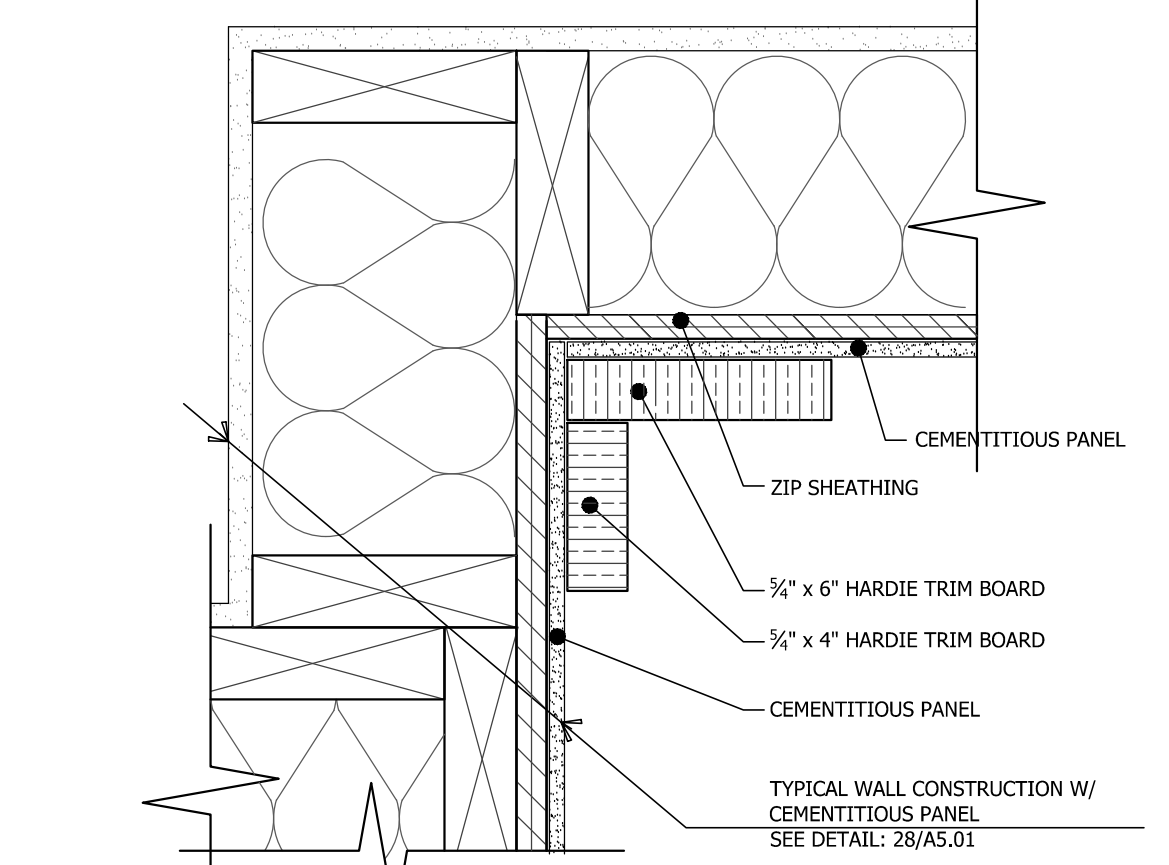
44 DETAIL: CEMENTITIOUS LAP SIDING AT INSIDE CORNER
D-CH-107 SCALE: 3"=1'-0"



50 DETAIL: BRICK & CEMENTITIOUS PANEL/SIDING AT CORNER
D-CH-107 SCALE: 3"=1'-0"



52 DETAIL: CEMENTITIOUS PANEL AT CORNER CONDITION
D-CH-107 SCALE: 3"=1'-0"



54 DETAIL: CEMENTITIOUS PANEL AT INSIDE CORNER
D-CH-107 SCALE: 3"=1'-0"

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P.A.: JMR
P.M.: JOD
DRAWN BY: TT
PROJECT NO.: 1932-01

NO.	REVISION	DATE
0	ISSUED FOR CONSTRUCTION SET	08/05/2021

DETAILS
BAINBRIDGE MARKET COMMONS
FREDERICK, MD
THE BAINBRIDGE COMPANIES LLC

SCALE: AS NOTED
DATE: 10-02-2020

CLUBHOUSE
A5.03
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NOT FOR CONSTRUCTION